

**AGENDA**  
**Regular Meeting of the**  
**Prosper Planning & Zoning Commission**  
108 W. Broadway St., Prosper, Texas  
Town of Prosper Municipal Chambers  
Tuesday, June 16, 2015, 6:00 p.m.

1. Call to Order / Roll Call.
2. Pledge of Allegiance.
3. Consider and act upon the appointment of the Planning & Zoning Commission Chair, Vice Chair, and Secretary.

**CONSENT AGENDA**

(Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. A Planning & Zoning Commissioner may remove any item for discussion and separate action. Planning & Zoning Commissioners may vote nay on any single item without comment and may submit written comments as part of the official record.)

- 4a. Consider and act upon minutes from the June 2, 2015 Regular Planning & Zoning Commission meeting.
- 4b. Consider and act upon a Final Plat of Windsong Ranch, Phase 3A-2, being 54 single family residential lots, on 20.1± acres, located on the west side of Gee Road, 1,200± feet north of Fishtrap Road. The property is zoned Planned Development-40 (PD-40). (D15-0046).
- 4c. Consider and act upon a Preliminary Plat for Windsong Ranch, Phase 2E, for 26 single family residential lots, on 7.8± acres, located on the southeast corner of Windsong Parkway and Fishtrap Road. The property is zoned Planned Development-40 (PD-40). (D14-0047).

**REGULAR AGENDA**

(If you wish to address the Planning & Zoning Commission during the regular agenda, please fill out a "Speaker Request Form" and present it to the Chair prior to the meeting. Citizens wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized by the Chair. Those wishing to speak on a non-public hearing related item will be recognized on a case-by-case basis, at the discretion of the Planning & Zoning Commission.)

5. Conduct a Public Hearing, and consider and act upon a request to amend the Future Land Use Plan from Medium Density Residential to High Density Residential, located on the southeast corner of First Street and Coit Road. (CA15-0004). [*Companion Case to Z15-0006*].
6. Conduct a Public Hearing, and consider and act upon a request to rezone 18.7± acres, from Single Family-15 (SF-15) to Planned Development-Single Family-10 (PD-SF-10), located on the southeast corner of First Street and Coit Road. (Z15-0006). [*Companion Case to CA15-0004*]

7. Conduct a Public Hearing, and consider and act upon a request for an amendment to Specific Use Permit-8 (SUP-8) for a Child Day Care Center, on 1.6± acres, located on the north side of Richland Boulevard, 300± feet west of Coit Road. The property is zoned Office (O). (S15-0005).
8. Conduct a Public Hearing, and consider and act upon an amendment to Planned Development-38 (PD-38), on 83.6± acres, located on the northeast corner of US 380 and Coit Road. (Z15-0008).
9. Conduct a Public Hearing, and consider and act upon a request to rezone 12.3± acres, from Commercial (C) to Planned Development-Retail (PD-R), located on the west side of Custer Road, 200± feet north of US 380. (Z15-0009).
10. Possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
11. Adjourn.

Note: The order in which items are heard on the agenda is subject to change.

#### **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the inside window at the Town Hall of the Town of Prosper, Texas, a place convenient and readily accessible to the general public at all times, and said Notice was posted on June 12, 2015, at 5:00 p.m. and remained so posted at least 72 hours before said meeting was convened.

\_\_\_\_\_  
Robyn Battle, Town Secretary

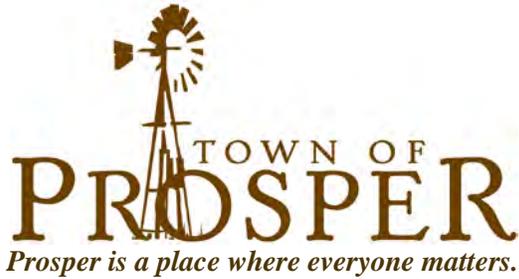
\_\_\_\_\_  
Date Noticed Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

#### **NOTICE**

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Planning & Zoning Commission.

**NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:** The Prosper Planning & Zoning Commission meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.



**MINUTES**  
**Regular Meeting of the**  
**Prosper Planning & Zoning Commission**  
108 W. Broadway St., Prosper, Texas  
Town of Prosper Municipal Chambers  
Tuesday, June 2, 2015, 6:00 p.m.

**1. Call to Order / Roll Call.**

Meeting was called to order at 6:00 p.m.

Commissioners present: Vice Chair, Craig Moody, Secretary Chris Keith, Brian Barnes, David Snyder, John Hema, Brandon Daniel

Commissioner(s) absent: John Alzner

Commissioner Hema arrived at 6:01 p.m.

Staff Present: John Webb, Director of Development Services; Alex Glushko, Senior Planner; and Pamela Clark, Planning Technician

**2. Recitation of Pledge of Allegiance.**

**CONSENT AGENDA**

- 3a. Consider and act upon minutes from the May 19, 2015 Regular Planning & Zoning Commission meeting.**
- 3b. Consider and act upon a Final Plat of Gee Road, Segment A, on 3.5± acres, being a segment of Gee Road, located at the intersection of US 380 and Gee Road. (D15-0008).**
- 3c. Consider and act upon a Preliminary Site Plan for a medical office development (Texas Health Resources), on 10.5± acres, located on the northeast corner of US 380 and future Mahard Parkway. The property is zoned Planned Development-47 (PD-47) and Specific Use Permit-12 (S-12). (D15-0023).**
- 3d. Consider and act upon a Site Plan for a medical office development (Texas Health Resources), on 10.4± acres, located on the northeast corner of US 380 and future Mahard Parkway. The property is zoned Planned Development-47 (PD-47) and Specific Use Permit-12 (S-12). (D15-0024).**
- 3e. Consider and act upon a Final Plat for the TXHR Addition, Block A, Lot 1, on 10.5± acres, located on the northeast corner of US 380 and future Mahard Parkway. The property is zoned Planned Development-47 (PD-47) and Specific Use Permit-12 (S-12). (D15-0025).**
- 3f. Consider and act upon a Final Plat of Meadowbrook, Phase 1, being 247 single family residential lots, on 72.7± acres, located on the east side of Coit Road, 2,600± feet south of First Street. The property is zoned Planned Development-25 (PD-25). (D15-0031).**

- 3g. Consider and act upon an Amending Plat of SJT Addition, Block 2, Lot 2, on 0.5± acre, located on the southeast corner of Main Street and Third Street. The property is zoned Downtown Retail (DTR). (D15-0042).
- 3h. Consider and act upon a Final Plat of Frontier Estates, Phase 3, for 75 single family residential lots, on 27.0± acres, located 1,400 feet east of Preston Road, 1,500 feet south of Frontier Parkway. The property is zoned Planned Development-15 (PD-15). (D15-0043).
- 3i. Consider and act upon a Site Plan for an office building (Prosper Bank), on 2.3± acres, located on the northwest corner of Preston Road and First Street. The property is zoned Planned Development-17 (PD-17). (D15-0044).
- 3j. Consider and act upon a Final Plat of the Prosper Bank Addition No. 1, Block A, Lot 1, on 2.3± acres, located on the northwest corner of Preston Road and First Street. The property is zoned Planned Development-7 (PD-7). (D15-0045).
- 3k. Consider and act upon a Final Plat of Teel Parkway, Segment B, on 5.4± acres, being a segment of Teel Parkway located at the intersection of US 380. (D15-0048).
- 3l. Consider and act upon a Final Plat of Fishtrap Road and Gee Road, Segment C, on 8.7± acres, being a segment of Fishtrap Road and Gee Road, located from Teel Parkway to Gee Road. (D15-0049).

Motioned by Snyder, seconded by Barnes, to approve the Consent Agenda subject to staff recommendations. Motion approved 5-0.

#### **REGULAR AGENDA**

- 4. **Possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

*Webb:* Provided a status update on the recently discussed residential design standards and a timeline for approval.

- 5. **Adjourn.**

Motioned by Snyder, seconded by Hema, to adjourn at 6:03 p.m.

---

Pamela Clark, Planning Technician

---

Chris Keith, Secretary



## PLANNING

**To:** Planning & Zoning Commission  
**From:** Alex Glushko, AICP, Senior Planner  
**Through:** John Webb, AICP, Director of Development Services  
**Re:** Planning & Zoning Commission Meeting – June 16, 2015

---

**Agenda Item:**

Consider and act upon a Final Plat of Windsong Ranch, Phase 3A-2, being 54 single family residential lots, on 20.1± acres, located on the west side of Gee Road, 1,200± feet north of Fishtrap Road. The property is zoned Planned Development-40 (PD-40). (D15-0046).

**Description of Agenda Item:**

The Final Plat shows 54 single family residential lots. Access will be provided from Gee Road. The Final Plat conforms to the Planned Development-40 (PD-40) development standards and the approved Preliminary Plat.

**Budget Impact:**

There are no significant budget implications associated with the approval of this Final Plat.

**Legal Obligations and Review:**

The Final Plat meets minimum development requirements.

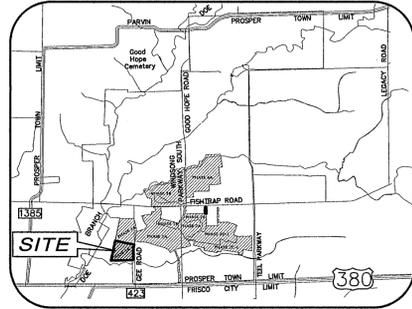
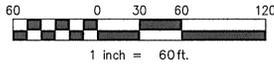
**Attached Documents:**

1. Final Plat

**Town Staff Recommendation:**

Town staff recommends approval of the Final Plat subject to:

1. Town staff approval of all additions and/or alterations to the easements on the Final Plat.
2. Town staff approval of civil engineering, landscape, irrigation, and screening plans.
3. Town staff approval of all right-of-way dedication, turn lanes, drive openings, street sections, hike and bike trails and easements, and sidewalks.
4. Town staff approval of trees located in the right-of-way.



LOCATION MAP  
1" = 1000'

Line #	Length	Direction
BL1	60.00'	S 89°53'32" W
BL2	50.00'	S 74°03'25" E
BL3	62.56'	S 12°36'51" W

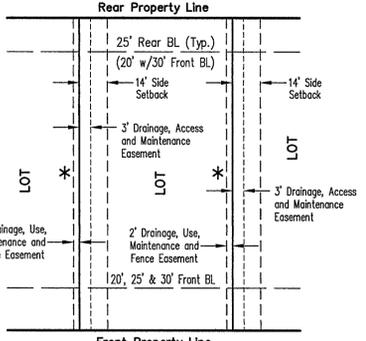
Curve #	Length	Radius	Chord	Chord Bearing	Delta
BC1	263.95'	2155.00'	263.78'	S 76°44'50" E	7°01'04"
BC2	329.89'	1845.00'	329.45'	S 79°57'19" E	10°14'41"
BC3	355.26'	1600.00'	354.53'	S 06°15'12" W	12°43'19"

**NOTES:**

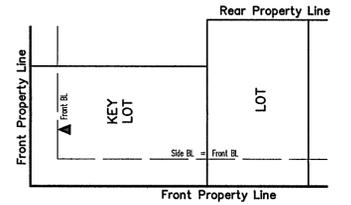
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- All corners are 1/2 inch iron rods with red plastic caps stamped "SPIARS ENG RPLS 5252" unless otherwise noted.
- All development will comply with Town of Prosper PD-40 Requirements.
- This property is not subject to the street tree agreement between TVG Texas I, LLC and the Town of Prosper.
- All open space areas, Lots 1-6, Block X, to be owned and maintained by the H.O.A.
- Lots 1-5, Block X, to be used for amenities, sidewalks, trails, and landscaping; Easements for these uses are granted by this plat.
- Front yard setbacks are staggered per requirements of PD-40 and Zoning Ordinance Section 9.3.F.
- Flood plain reclamation subject to engineering approval of flood study, wetland delineation study, habitat study, and vegetative study.
- All fences adjacent to open space shall be ornamental metal. All other fencing shall be constructed of cedar, board on board, with a top rail, and shall be supported with galvanized steel posts. A common fence stain color shall be established.
- Lot 3, Block X is a floodway, access, and drainage easement.
- Hike & bike trail easements will be provided (Min. 20' Wide) for hike & bike trails per final approved landscape plans.
- No transformers or utility pedestals shall be allowed in the sidewalk and utility easement.

**Legend**

- 1/2" IR Iron Rod Set
- 1/2" RF Iron Rod Found
- BL Building Line Setback
- ROW Right Of Way
- DE Drainage Easement
- SSE Sanitary Sewer Easement
- WE Water Easement
- HOA Home Owners Association
- SUE Sidewalk & Utility Easement (See Note 9)
- UE Utility Easement
- WME Wall Maintenance Easement
- H.O.A. Easement
- Street Name Change
- Denotes Lot Frontage To Street
- No Drive Access
- 10'x10' Transformer Easement
- \* Indicates 2' Side Setback (See Note 9)



STANDARD LOT DETAIL



STANDARD KEY LOT DETAIL

**FINAL PLAT**

**WINDSONG RANCH PHASE 3A-2**

20.092 Acres Out Of The  
 P. BARNES SURVEY ~ ABSTRACT No. 79  
 M.E.P. & P. R.R. SURVEY ~ ABSTRACT No. 1476  
 J. SALING SURVEY ~ ABSTRACT No. 1675  
 TOWN OF PROSPER  
 DENTON COUNTY, TEXAS

OWNER / APPLICANT  
TVG TEXAS I, LLC

1001 Windsong Parkway South  
 Prosper, Texas 75078  
 Telephone (972) 238-7410  
 Contact: David Blom

ENGINEER / SURVEYOR

Spiars Engineering, Inc.  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 422-0077  
 TBPE No. F-2121  
 Contact: Matt Dorsett

54 LOTS DEVELOPED TO PD-40 STANDARDS  
 20.092 ACRES (2.69 UNITS/ACRE)

**Lot Summary Phase 3A-2**

Type A (Min. 8,000 SF)	37
Type B (Min. 9,000 SF)	12
Type C (Min. 10,500 SF)	4
Type D (Min. 12,500 SF)	1
<b>Total</b>	<b>54</b>

**BLOCK A, LOT 3  
 WESTFORK CROSSING ADDITION  
 DOC. NO. 2012-93  
 P.R.D.C.T.**

**BLOCK A, LOT 3  
 WESTFORK CROSSING ADDITION  
 DOC. NO. 2012-93  
 P.R.D.C.T.**

Plotted by: Robinson Plot Date: 6/27/2015 2:19 PM

Drawn by: Robinson

Drawn by: Robinson Date: 5/15/2015 10:52:30 AM

Drawn by: Robinson

OWNER'S CERTIFICATE

BEING a tract of land situated in the M.E.P. & P.R.R. Survey, Abstract No. 1476, the J. Saling Survey, Abstract No. 1675, and the P. Barnes Survey, Abstract No. 79, Town of Prosper, Denton County, Texas, the subject tract being a portion of a tract of land conveyed to TVG Texas I, LLC, according to the deed recorded in Document No. 2012-59927 of the Deed Records, Denton County, Texas, the subject tract being more particularly described as follows;

BEGINNING at an X-CUT set on the centerline of Future Gee Road and along the south line of said TVG Texas I tract;

THENCE, S 89°53'32" W, a distance of 60.00 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" set;

THENCE, S 89°00'13" W, a distance of 390.00 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" set;

THENCE, S 89°55'33" W, a distance of 645.33 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" set;

THENCE, N 12°39'45" E, a distance of 994.23 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE, S 77°20'15" E, a distance of 154.26 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE around a non-tangent curve to the right having a central angle of 07°01'04", a radius of 2,155.00 feet, a chord of S 76°44'50" E - 263.78 feet, an arc length of 263.95 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE, S 74°03'25" E, a distance of 50.00 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE around a non-tangent curve to the left having a central angle of 10°14'41", a radius of 1,845.00 feet, a chord of S 79°57'19" E - 329.45 feet, an arc length of 329.89 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE, S 77°23'09" E, a distance of 152.89 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" found;

THENCE, S 12°36'51" W, a distance of 62.56 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" set;

THENCE around a tangent curve to the left having a central angle of 12°43'19", a radius of 1600.00 feet, a chord of S 06°15'12" W - 354.53 feet, an arc length of 355.26 feet, to a 1/2" iron rod with a plastic cap stamped "SPIARSEN" set;

THENCE, S 00°06'28" E, a distance of 349.96 feet, to the POINT OF BEGINNING with the subject tract containing 875,200.11 square feet or 20.092 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That TVG TEXAS I, LLC, acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as WINDSONG RANCH PHASE 3A-2 an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. TVG TEXAS I, LLC, does herein certify the following:

- 1. The streets and alleys are dedicated for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereto.
7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 2015

TVG TEXAS I, LLC.
A Texas Limited Liability Company

By: BP-Terra Verde Investors, LLC
A Delaware limited liability company,
Its Sole Member

By: Terra Verde BP Manager, LLC
A Delaware limited liability company,
Its Managing Member

By:
Name: D. Craig Martin
Title: Manager
Address: 1001 Windsong Parkway South
Prosper, Texas 75078

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared D. Craig Martin, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2015

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2015 by the Planning & Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_ Planning & Zoning Commission Chair
\_\_\_\_\_ Town Secretary
\_\_\_\_\_ Engineering Department
\_\_\_\_\_ Planning Department

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of \_\_\_\_\_, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Notary Public, State of Texas

DRAINAGE AND FLOODWAY EASEMENT

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Lot 3, Block X, as shown on the plat is called "Drainage and Floodway Easement" and is the natural drainage channel crossing each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage courses in the Drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage to private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points, to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the plat.

VISIBILITY AND MAINTENANCE EASEMENT (VAM)

The area or areas shown on the plat as "VAM" (Visibility and Maintenance) Easement(s) are hereby given and granted to the Town of Prosper (Called "Town"), its successors and assigns, as an easement to provide visibility, right of access, and maintenance upon and across said VAM Easement. The Town shall have the right, but not the obligation, to maintain all landscaping within the VAM Easement. Should the Town exercise this maintenance right it shall be permitted to remove and dispose of any and all landscaping improvements, including without limitation, any trees, shrubs, flowers, ground cover, structure, and/or fixtures. The Town in its sole discretion may withdraw maintenance of the VAM Easement at any time. The ultimate maintenance responsibility for the VAM Easement shall rest with the property owner(s). No building, fence, shrub, tree, or other improvements or growths, which in any way endanger or interfere with the visibility, shall be constructed in, on, over, or across the VAM Easement. The Town shall also have the right, but not the obligation, to add any landscape improvements to the VAM Easement, to erect any traffic control devices or signs on the VAM Easement and to remove any obstruction thereon. The Town, its successors, assigns, or agents shall have the right and privilege at all times to enter upon the VAM Easement or any part thereof for the purposes and with all rights and privileges set forth herein.

LIEN HOLDER:

TEXAS CAPITAL BANK, NATIONAL ASSOCIATION

By: Jerry Schillaci, Sr. Vice President

STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Jerry Schillaci, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2015

Notary Public, State of Texas

Table with 4 columns: Lot #, Block #, Square Feet, Lot Type. Rows 1-16.

Table with 4 columns: Lot #, Block #, Square Feet, Lot Type. Rows 13-24.

Table with 4 columns: Lot #, Block #, Square Feet, Lot Type. Rows 1-16.

Table with 4 columns: Lot #, Block #, Square Feet, Lot Type. Rows 17-26.

Table with 3 columns: Open Space Lot #, Block #, Acres. Rows 1-6.

Table with 3 columns: Line #, Length, Direction. Rows L3-L16.

Table with 5 columns: Curve #, Length, Radius, Chord, Chord Bearing, Delta. Rows C1-C14.

Table with 5 columns: Curve #, Length, Radius, Chord, Chord Bearing, Delta. Rows C15-C17.

Table with 3 columns: Line #, Length, Direction. Rows L1-L2.

FINAL PLAT

WINDSONG RANCH PHASE 3A-2

20.092 Acres Out Of The
P. BARNES SURVEY ~ ABSTRACT No. 79
M.E.P. & P. R.R. SURVEY ~ ABSTRACT No. 1476
J. SALING SURVEY ~ ABSTRACT No. 1675
TOWN OF PROSPER
DENTON COUNTY, TEXAS

OWNER / APPLICANT
TVG TEXAS I, LLC
1001 Windsong Parkway South
Prosper, Texas 75078
Telephone (972) 238-7410
Contact: David Blom

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephones: (972) 422-0077
TBPE No. F-2121
Contact: Matt Dorsett



## PLANNING

**To:** Planning & Zoning Commission  
**From:** Alex Glushko, AICP, Senior Planner  
**Through:** John Webb, AICP, Director of Development Services  
**Re:** Planning & Zoning Commission Meeting – June 16, 2015

---

**Agenda Item:**

Consider and act upon a Preliminary Plat for Windsong Ranch, Phase 2E, for 26 single family residential lots, on 7.8± acres, located on the southeast corner of Windsong Parkway and Fishtrap Road. The property is zoned Planned Development-40 (PD-40). (D14-0047).

**Description of Agenda Item:**

The Preliminary Plat shows 26 single family residential lots. Access will be provided from Windsong Ranch Parkway and Redstem Drive. The Preliminary Plat conforms to Planned Development-40 (PD-40) development standards.

**Budget Impact:**

There are no significant budget implications associated with the approval of this Preliminary Plat.

**Legal Obligations and Review:**

The Preliminary Plat meets minimum development requirements.

**Attached Documents:**

1. Preliminary Plat

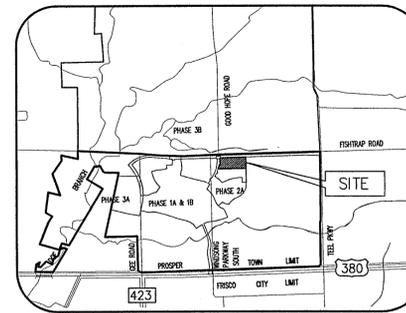
**Town Staff Recommendation:**

Town staff recommends approval of the Preliminary Plat subject to:

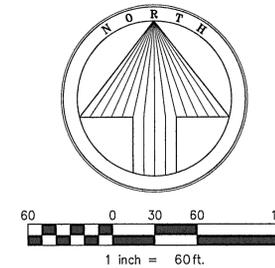
1. Additions and/or alterations to the easements on the Preliminary Plat by Town staff.
2. Town staff approval of all preliminary water, sewer, and drainage plans.
3. Town staff approval of all thoroughfare locations, right-of-way dedications, easements, driveways, turn lanes, drive openings, median openings, roundabouts, sidewalks, and hike and bike trails.
4. Town staff approval of trees located within the right-of-way.
5. Removal of "(By Other)" in reference to the hike and bike trail.

WINDSONG RANCH  
PHASE 3B

FUTURE  
WINDSONG RANCH  
PHASE 4B



LOCATION MAP  
N.T.S.



WINDSONG RANCH  
PHASE 1C

WINDSONG RANCH PKWY

FISHTRAP ROAD

PADDOCK LANE

WINDSONG RANCH  
PHASE 2B

POROSA LANE

PROSPER INDEPENDENT  
SCHOOL DISTRICT  
DOC. NO. 2014-92181  
D.R.D.C.T.

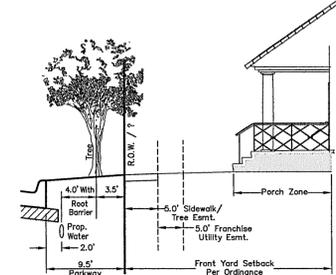
TVG TEXAS I, LLC  
DOC. NO. 2012-59927  
D.R.D.C.T.

J. BATES SURVEY ABST. NO. 1620

- NOTES:**
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - All corners are 1/2 inch iron rods with red plastic caps stamped "SPIARS ENG RPLS 5252" unless otherwise noted.
  - All development will comply with Town of Prosper PD-40 Requirements.
  - All open space areas, Lots 1-4, Block X, to be owned and maintained by the H.O.A.
  - Front yard setbacks are staggered per requirements of PD-40 and Zoning Ordinance Section 9.3.F.
  - No flood plain exists on site.
  - All fences adjacent to open space shall be ornamental metal.
  - No transformers or utility pedestals shall be allowed in the sidewalk and utility easement.
  - This property is subject to the street tree agreement between TVG Texas I, LLC and the Town of Prosper.
  - Detention shall be provided offsite by means of regional detention pond.
  - Lots 1-4, Block X to be used for sidewalks, trails and landscaping. Easements for these uses are granted by this plat.

**Legend**

○ 1/2" IR	Iron Rod Set	U.E.	Utility Easement
○ 1/2" RF	Iron Rod Found	W.M.E.	Wall Maintenance Easement
BL	Building Line Setback	H.O.A.	H.O.A. Easement
R.O.W.	Right Of Way	▲	Street Name Change
D.E.	Drainage Easement	◀	Denotes Lot Frontage To Street
S.S.E.	Sanitary Sewer Easement	▨	No Drive Access Or Parking
W.E.	Water Easement	⊠	10'x10' Transformer Easement
H.O.A.	Home Owners Association		
S.U.E.	Sidewalk & Utility Easement (See Note 9)		



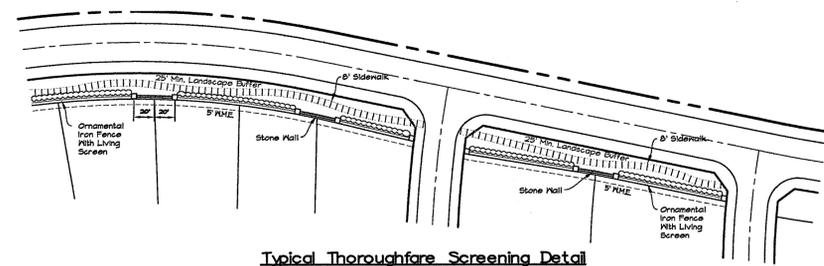
Parkway Detail  
Not To Scale

26 LOTS DEVELOPED TO PD-40 STANDARDS  
7.750 ACRES (3.35 UNITS/ACRE)  
AVERAGE LOT SIZE = 9,881.77 SF

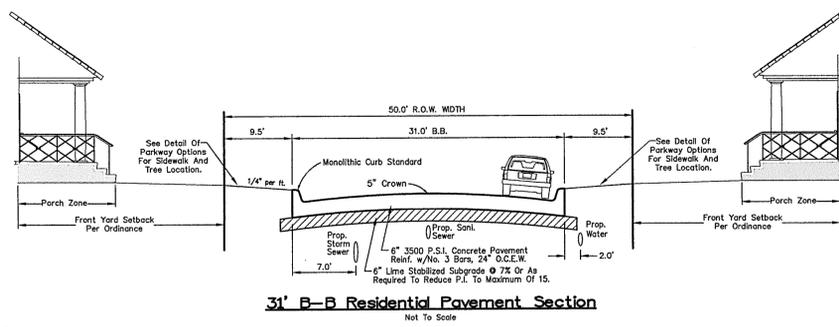
**Lot Summary Phase 2E**

Type B (Min. 9,000 SF)	23
Type C (Min. 10,500 SF)	3
<b>Total</b>	<b>26</b>

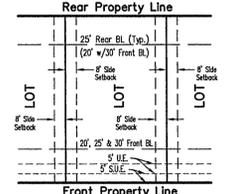
- Sidewalk alignment as shown is conceptual. Final alignment shall comply with Town of Prosper design requirements.
- Thoroughfare screening shall include trees every 30' per Town of Prosper design requirements.



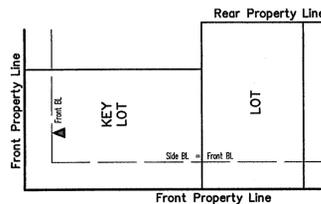
Typical Thoroughfare Screening Detail



31' B-B Residential Pavement Section  
Not To Scale



STANDARD LOT DETAIL FOR LOT TYPE A, B, C, & D



STANDARD KEY LOT DETAIL

PRELIMINARY PLAT  
**WINDSONG RANCH**  
**PHASE 2E**

7.750 Acres Out Of The  
J. Bates Survey ~ Abstract No. 1620  
TOWN OF PROSPER  
DENTON COUNTY, TEXAS

OWNER / APPLICANT  
TVG TEXAS I, LLC  
1001 Windsong Parkway South  
Prosper, Texas 75078  
Telephone (972) 347-9270  
Contact: David Blom

ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBPE No. F-2121  
Contact: Matt Dorsett





## PLANNING

**To:** Planning & Zoning Commission

**From:** Alex Glushko, AICP, Senior Planner

**Through:** John Webb, AICP, Director of Development Services

**Re:** Planning & Zoning Commission Meeting – June 16, 2015

---

**Agenda Item:**

Conduct a Public Hearing, and consider and act upon a request to amend the Future Land Use Plan from Medium Density Residential to High Density Residential, located on the southeast corner of First Street and Coit Road. (CA15-0004). *[Companion Case to Z15-0006].*

**Description of Agenda Item:**

Town staff has received a request to rezone 18.7± acres, from Single Family-15 (SF-15) to Planned Development-Single Family-10 (PD-SF-10), located on the southeast corner of First Street and Coit Road, Zoning Case #Z15-0006. To consider a rezoning request that does not conform to the Future Land Use Plan, an amendment to the Future Land Use Plan must be considered. A letter from the applicant detailing the basis for the request is attached.

The applicant is proposing to amend the Future Land Use Plan from Medium Density Residential to High Density Residential. The Medium Density Residential District recommends a maximum density of 2.5 dwelling units per acre, with single family residential lot sizes ranging between 12,500 square feet and 15,000 square feet in size. The High Density Residential District recommends a maximum density of greater than 2.5 dwelling units per acre, with single family residential lot sizes smaller than 10,000 square feet in size. With the associated rezoning request the applicant is proposing lot sizes that are a minimum of 10,000 square feet in size at a density of 2.4 dwelling units per acre. The rezoning request does not conform to the Medium Density Residential District in terms of recommended lot size.

**Legal Obligations and Review:**

The Planning & Zoning Commission is required to hold a Public Hearing prior to acting on an amendment to the Future Land Use Plan.

**Attached Documents:**

1. Existing and Proposed Future Land Use Plan
2. Letter requesting Future Land Use Plan amendment
3. Pages 29-30 and 64 of the Comprehensive Plan

**Town Staff Recommendation:**

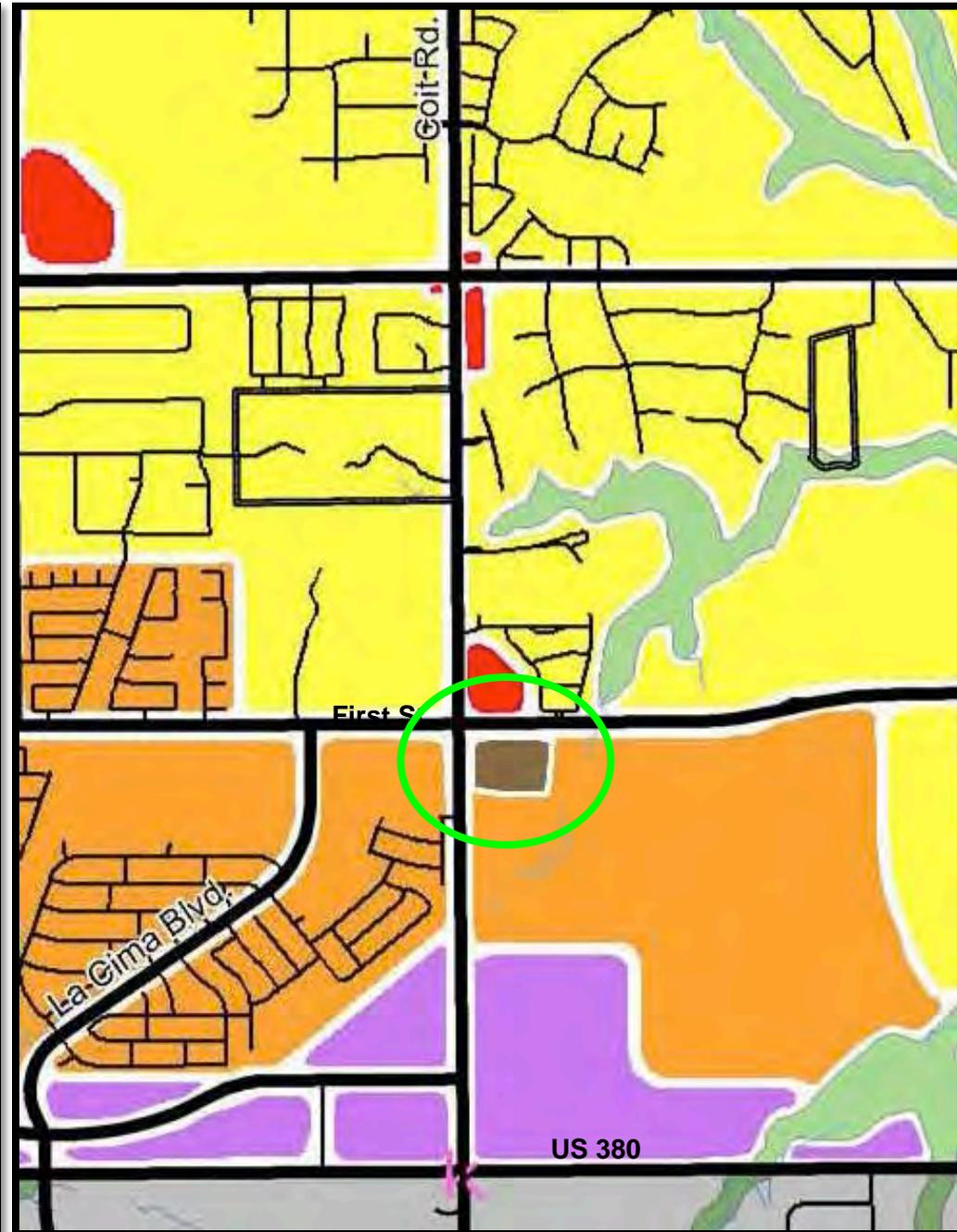
Town staff does not see a preponderance of rationale to warrant a change and recommends the Planning & Zoning Commission deny the Future Land Use Plan amendment.

**Town Council Public Hearing:**

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for the Town Council at their Regular meeting on July 14, 2015.

# CURRENT FUTURE LAND USE PLAN – MEDIUM DENSITY RESIDENTIAL

# PROPOSED FUTURE LAND USE PLAN – HIGH DENSITY RESIDENTIAL



**COIT 18 PARTNERS, LTD**  
**1518 LEGACY DRIVE #220**  
**FRISCO, TEXAS 75034**

May 22, 2015

Town of Prosper  
409 E First St.  
Prosper, TX 75078

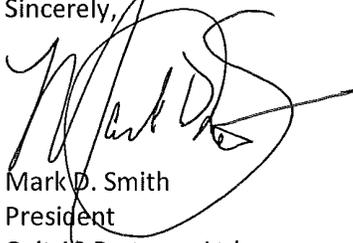
To Whom It May Concern:

As the current land owner of the property located at the southwest corner of 1st Street and Coit Road, I would like to address the proposed amendment to the Future Land Use Plan for the property. Our plans are to put a high quality development on the ground with higher building standards than the Town of Prosper currently requires. We are partnering with the developer and plan on staying involved throughout the building process to help insure a high quality residential project for the Town of Prosper. We would also like you to consider the following as this case moves forward:

- The proposed change to the Future Land Use Plan will allow the subject property to develop as an upscale single-family community, mirroring existing products established in communities adjacent to and in the immediate area of the proposed development.
- We believe that the proposed amendment from medium density residential to high density residential does not deviate from the intent and envision of the Future Land Use Plan. Although the amendment does not match the Town's exact vision for this property, a high density residential use will support the theme and trend of this area, providing a high-end product for future residents of the Town of Prosper for forty-four (44) lots.
- The proposed high density residential development's intent is to provide a quality of product and community equal to or greater than the adjacent communities. It will no doubt have a positive effect on the area.
- A high density residential development will provide a similar selection of homes, in regard to square footage, quality and price, as the adjacent communities in the area. The owner and developer are committed to crafting a product that exceeds the typical standards of development, enriching the area as a whole.
- The adjacent communities were developed as medium density residential, and we feel that it is logical to match this use on the subject property. It will help maintain a sense of cohesion for this area by offering more of a product that is market driven.
- The proposed high density residential development will be designed to industry standards at minimum, always keeping in mind the safety and well-being of the general public. This development will provide a product that exceeds base standards in many aspects, including the quality of home, aesthetics attributed by landscape and hardscape features, and general appearance of the community. The owner wants to contribute to the betterment of this area, further promoting a sense of community.
- This proposed development will provide forty-four (44) quality homes for future citizens of the Town of Prosper, promoting economic growth and helping the Town to flourish for years to come.

We appreciate your consideration regarding the proposed rezoning of the subject tract and look forward to putting a quality residential development on the ground in the Town of Prosper.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark D. Smith". The signature is stylized and cursive, with a long horizontal stroke extending to the right.

Mark D. Smith  
President  
Coit 18 Partners, Ltd

## Land Use Types

### Residential Low Density

This land use is indicative of large-lot single-family homes. Typically speaking, lot sizes within any low density development will range between 15,000 square feet and 1+ acre in size. While a variety of lot sizes may be used, the total gross density of low density residential neighborhoods should not exceed 1.6 dwelling units per acre. Large-lot homes will provide a continuation of the rural atmosphere and feel that was intensely expressed by Prosper's residents. Most low density residential areas will be located in Northwest and Northeast Prosper.



### Residential Medium Density

Medium density residential is also representative of single family detached dwelling units. Lot sizes in medium density residential neighborhoods could range between 12,500 and 20,000 square feet in size. A variation in lot sizes may be permitted to achieve a goal range in density. While a variety of lot sizes may be used within medium density residential neighborhoods, the gross density of such developments will typically not be less than 1.6 dwelling units per acre or greater than 2.5 dwelling units per acre.



# COMMUNITY CHARACTER

## Residential High Density

High density residential represents the most intense residential land uses permitted in Prosper. High density single family uses will consist of developments greater than 2.5 dwelling units per acre and lot sizes smaller than 10,000 square feet. Within Prosper, the high-density residential district is reflective of the Artesia development, where single family residential lot sizes and dwelling units per acre will be substantially higher than the rest of the community. High density residential may be located within the Dallas North Tollway, Highway 380, town Center and Old Town Districts. In such areas, high density residential may take the form of multifamily or single family attached dwelling units and may include mixed-use lofts/apartments, patio homes, snout houses, brownstones and townhomes.



## Retail and Neighborhood Services

Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.



# COMMUNITY CHARACTER

## Maintaining compatibility between the Zoning Map and the Future Land Use Plan

Chapter 211 of the Texas Local Government Code states that “zoning regulations must be adopted in accordance with a comprehensive plan.” Consequently, a zoning map and zoning decisions should reflect the Future Land Use Plan to the fullest extent possible. Therefore, approval of development proposals that are inconsistent with the Future Land Use Plan will often result in inconsistency between the Future Land Use Plan and the zoning regulations.

At times, the Town will likely encounter development proposals that do not directly reflect the purpose and intent of the land use pattern as shown on the Future Land Use Plan map. Review of such development proposals should include the following considerations:

- Will the proposed change enhance the site and the surrounding area?
- Is the proposed change a better use than that originally envisioned and depicted on the Future Land Use Plan map?
- Will the proposed use impact adjacent residential areas in a negative manner?
- Will the proposed use be compatible with and/or enhance adjacent residential uses?
- Are uses adjacent to the proposed use similar in nature in terms of

appearance, hours of operation, and other general aspects of compatibility?

- Does the proposed use present a significant benefit to the public health, safety, welfare and/or social well-being of the community?
- Would it contribute to the Town’s long-term economic stability?

Development proposals that are inconsistent with the Future Land Use Plan map (or that do not meet its general intent) should be reviewed based upon the above questions and should be evaluated on their own merit. It should be incumbent upon the applicant making such a proposal to provide evidence that the proposal meets the aforementioned considerations, supports community goals and objectives as set forth within this Plan, and represents long term economic and/or social benefits for the community as a whole, not just a short-term financial gain for whoever is developing the project.

It is important to recognize that proposals not directly consistent with the Plan could reflect higher and better long-term uses than those originally envisioned and shown on the Future Land Use Plan map for a particular area. This may be due to changing markets, demographics and/or economic trends that occur at some point in the future after the Plan is adopted. If such changes occur, and especially if there are demonstrated significant social and/or economic benefits to the Town of Prosper, then these proposals should be approved and the Future Land Use Plan map should be amended accordingly.





**PLANNING**

**To: Planning & Zoning Commission**  
**From: Alex Glushko, AICP, Senior Planner**  
**Through: John Webb, AICP, Director of Development Services**  
**Re: Planning & Zoning Commission Meeting – June 16, 2015**

**Agenda Item:**

Conduct a Public Hearing, and consider and act upon a request to rezone 18.7± acres, from Single Family-15 (SF-15) to Planned Development-Single Family-10 (PD-SF-10), located on the southeast corner of First Street and Coit Road. (Z15-0006). *[Companion Case to CA15-0004]*

**Description of Agenda Item:**

The zoning and land use of the surrounding properties are as follows:

	<b>Zoning</b>	<b>Current Land Use</b>	<b>Future Land Use Plan</b>
<b>Subject Property</b>	Single Family-15	Undeveloped	Medium Density Residential
<b>North</b>	Retail and Planned Development-18-Single Family	Undeveloped and Single Family Residential (Greenspoint)	Retail & Neighborhood Services and Low Density Residential
<b>East</b>	Planned Development-25-Single Family	Undeveloped	Medium Density Residential
<b>South</b>	Planned Development-25-Single Family	Undeveloped	Medium Density Residential
<b>West</b>	Planned Development-6-Single Family and Specific Use Permit-10	St. Paul’s Episcopal Church and La Cima Subdivision	Medium Density Residential

Requested Zoning – Z14-0016 is a request to rezone 18.7± acres, from Single Family-15 (SF-15) to Planned Development-Single Family-10 (PD-SF-10), located on the southeast corner of First Street and Coit Road. The proposed PD-SF-10 regulations are attached. The proposed PD-SF-10 District would allow for the development of 44 single family residential lots on the

property, a density of 2.4 dwelling units per acre. The following is a comparison of the proposed PD-SF-10 District standards to the straight SF-10 and SF-15 District standards.

	<b>Proposed PD-SF-10 District</b>	<b>Straight SF-10 District</b>	<b>Straight SF-15 District</b>
<b>Min. Lot Area</b>	10,000 square feet	10,000 square feet	15,000 square feet
<b>Min. Lot Width</b>	80 feet	80 feet	100 feet
<b>Min. Lot Depth</b>	125 feet	125 feet, 110 feet for cul-de-sac, eyebrow, and irregular shaped lots	135 feet
<b>Min. Dwelling Area</b>	1,800 square feet	1,800 square feet	1,800 square feet
<b>Front Yard Setback</b>	25 feet	25 feet	35 feet
<b>Side Yard Setback</b>	8 feet, 15 feet on corner lots adjacent to a side street	8 feet, 15 feet on corner lots adjacent to a side street	10 feet, 15 feet on corner lots adjacent to a side street
<b>Rear Yard Setback</b>	25 feet	25 feet	25 feet
<b>Maximum Height</b>	40 feet	40 feet	40 feet

The other development standards that vary from straight zoning are as follows:

- Exterior Materials and Detailing – The proposed PD development standards require 100% masonry on all walls visible from any street, and 80% masonry on the remaining sides. Chimneys are required to be masonry. There are standards for gutters, plate heights, house numbers, mailboxes, and stone features.
- Walls, Fencing, and Screening – The proposed PD development standards require walls and screens visible from streets or common areas to be constructed of either materials to match the exterior materials of the homes, or wrought iron, consistent wrought iron fencing is required for lots adjacent to greenbelts, service equipment is required to be screened to match residential architecture or landscaping, and retaining walls facing front yards or greenbelts are required to be constructed of brick or stone.
- Garages, Driveways, and Walkways – The proposed PD requires all driveways fronting a street to be constructed of brick pavers, stone, interlocking pavers, exposed aggregate, salt-finish concrete, or broom finish concrete with brick or stone borders. All sidewalks from the public sidewalk or driveway must be constructed of brick, stone, slate, flagstone, exposed aggregate or salt finish concrete, or other approved materials.

- Trees – The proposed PD requires a minimum of two, four-inch caliper trees in the front yard, and any lot with more than seventy feet of frontage adjacent to streets or a park to have no less than one five-inch caliper tree for each thirty-five feet of street or park frontage.

Town staff presented the applicant with the current draft listing of residential design standards being considered by the Planning & Zoning Commission and Town Council, in order to allow the development standards to be incorporated into the PD request; however the applicant has chosen not to include the development standards.

Future Land Use Plan – The Future Land Use Plan recommends Medium Density Residential for the property. The Medium Density Residential District recommends a maximum of 2.5 dwelling units per acre, with single family lot sizes between 12,500 square feet and 15,000 square feet. The proposed Planned Development-SF-10 District would allow for the development of 44 single family residential lots, with a minimum lot area of 10,000 square feet, at a density of 2.4 dwelling units per acre. The zoning request does not conform to the existing Future Land Use Plan.

Thoroughfare Plan – The property is not adjacent to any future thoroughfares.

Water and Sanitary Sewer Services – Water and sanitary sewer services have been extended to the property.

Access – Access to the property will be provided from Coit Road and First Street.

Schools – This property is located within the Prosper Independent School District (PISD).

Parks – It is not anticipated that this property will be needed for the development of a park.

Environmental Considerations – No 100-year floodplain exists on the site.

**Legal Obligations and Review:**

Notification was provided to neighboring property owners as required by state law. Town staff has not received any Public Hearing Notice Reply forms.

**Attached Documents:**

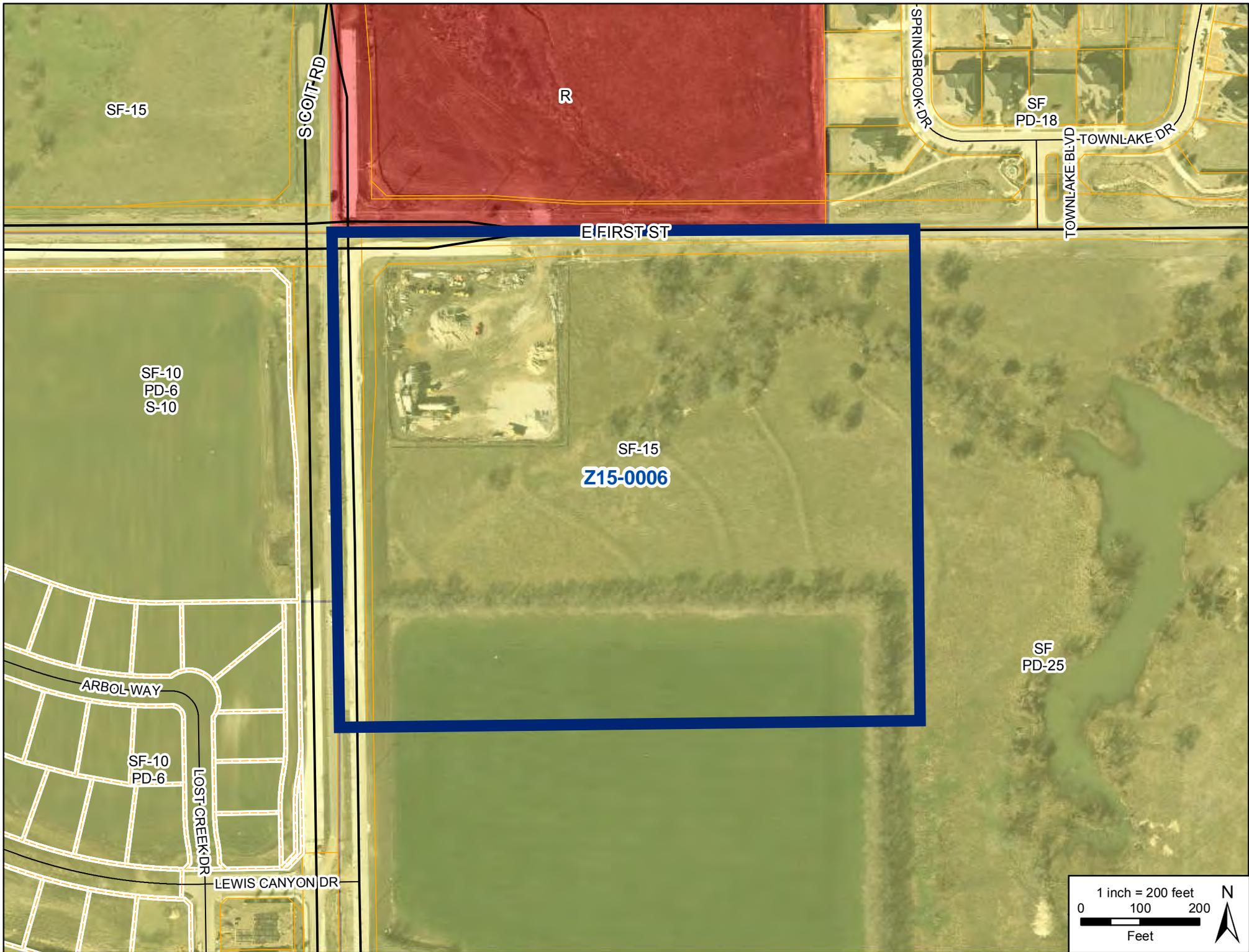
1. Zoning map of the surrounding area
2. Zoning Exhibits A, B, C, D, and E

**Town Staff Recommendation:**

Town staff recommends the Planning & Zoning Commission deny the request to rezone 18.7± acres, from Single Family-15 (SF-15) to Planned Development-Single Family-10 (PD-SF-10), located on the southeast corner of First Street and Coit Road.

**Town Council Public Hearing:**

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for the Town Council at their Regular meeting on July 14, 2015.



SF-15

SCOTT RD

R

SPRINGBROOK DR

SF PD-18

TOWNLAKE BLVD

TOWNLAKE DR

E FIRST ST

SF-10  
PD-6  
S-10

SF-15  
**Z15-0006**

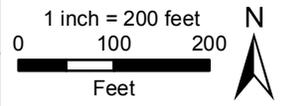
SF PD-25

ARBOL WAY

SF-10  
PD-6

LOST CREEK DR

LEWIS CANYON DR





## Exhibit 'B'

### Statement of Intent and Purpose

The purpose of this Planned Development is to create a high quality development in a manner that meets the current market demands for residential development. Proposed land use and acreage are as follows:

<u>Land Use</u>	<u>Approx. Area</u>	<u>Dwelling Units</u>
1. Residential	18.75 Acres	44

The proposed zoning includes specific development standards for the single-family residential land use and are described herein. The proposed single family residential will generally follow the Single Family-10 (SF-10) zoning classification described in the Town of Prosper Zoning Ordinance No. 05-20, as amended.

## Exhibit 'C'

### Planned Development Standards

#### **Conformance with the Town's Zoning Ordinance and Subdivision Ordinance:**

Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance (ordinance No. 05-20 as it exists or may be amended) and the Subdivision Ordinance (as it exists or may be amended) shall apply.

#### **Tract A – Single Family 10 District**

A.1 Except as noted below, this tract shall develop in accordance with the Single Family-10 (SF-10) District, as it exists or may be amended.

A.2 The tract shall develop in general conformance with Exhibit D.

#### A.3 Regulations

##### 1. Setbacks

a. Minimum Lot Depth: Cul-de-sac lots, eyebrow lots, and irregular shaped lots shall have a minimum depth of one hundred ten feet (110') as measured from the center of the lot.

##### 2. Exterior Materials & Detailing:

a. Exterior materials shall be 100% masonry (brick, cast stone and stone) on all walls visible from any street, and 80 % masonry on each (not cumulative) remaining side and rear elevations. All exposed portions of the fire breast, flu and chimney shall be clad in brick, stone or brick and stone, matching the materials used on the residence. No Exterior Insulation and Finish Systems (E.I.F.S.) are permitted on any exterior elevation or chimney.

b. The entire structure shall be guttered with downspouts. All gutter and downspouts on the front of the house and any side that faces a street or common area shall be molded form of smooth round material. Gutters shall not drain across property lines.

c. Each structure shall have a minimum principal plate height of 10 feet on the floor and a minimum plate height of 9 feet on garages.

d. A uniform house number style and house number locations will be selected by the developer.

e. A uniform mailbox style will be selected by the developer.

f. Stone shall be in chopped rectangular shapes and random sizes.

g. Cast Stone shall be light brown, white or cream in color with or without pitting.

##### 2. Walls/Fencing/Screening:

a. Walls and screens visible from streets or common areas shall be constructed of masonry matching that of the residence, masonry and wrought iron, or wrought iron. Walls and screens not visible from streets or common areas may be constructed of smooth finish redwood or # 1 grade cedar. All fence posts shall be steel set in concrete and shall not be visible from the alley or another dwelling. All fence tops shall be level with grade changes, stepped up or down as the grade changes.

b. Thoroughfare Screening requirements of the Subdivision Ordinance, as they exist, or may be amended, shall apply to Tract A.

- c. A common 4' wrought iron fence detail, to be used for all rear and side fencing within the greenbelt/ flood plains area, will be chosen by the developer.
  - d. Equipment, air conditioning compressors, service yards, storage piles, woodpiles, garbage receptacles, and similar items must be visually screened from streets, alleys, common areas and neighboring lots by solid screening walls that match the residential material or landscaping.
  - e. Retaining walls built or abutting: front yards, facing a greenbelt, or rear yards within a greenbelt shall be constructed of mortar-jointed brick matching the residence, or mortar-jointed Millsap stone. For retaining walls in other locations, concrete and rock shall be allowed.
3. Garages/Driveways/Walkways:
- a. All Driveways fronting on a street shall be constructed of one or more of the following materials: brick pavers, stone, interlocking pavers, exposed aggregate, or salt-finish concrete. The Developer may consider front driveways of stamped or broom finish concrete with brick or stone borders on a case-by-case basis. All sidewalks and steps from the public sidewalk or front driveway to the front entry must be constructed in brick, stone, slate, flagstone, exposed aggregate or salt-finish concrete, or other approved materials.
4. Trees:
- a. Landscape requirements shall include a minimum of two 4" caliper trees in the front yard, in accordance with the Town's Large Tree (Shade) list. Any lot with more than 70 feet of frontage to adjacent streets and park will require no less than one 5" caliper live oak or red oak tree for every 35' of street and park frontage (or portion thereof) on each lot. For example, 80 feet of frontage would require 3 trees. Pre-existing trees that remain on a lot after completion of construction on the lot, such trees may be used to meet the planting requirements for the respective lot.



## **Exhibit 'E'**

### **Development Schedule**

It is the intent of the developer is to begin the approximate sixteen (16) acre single-phase residential development within the next year. The development schedule is approximate and is subject to change based on, but not limited to, such variables as final design and market conditions.



**PLANNING**

**To: Planning & Zoning Commission**  
**From: Alex Glushko, AICP, Senior Planner**  
**Through: John Webb, AICP, Director of Development Services**  
**Re: Planning & Zoning Commission Meeting – June 16, 2015**

**Agenda Item:**

Conduct a Public Hearing, and consider and act upon a request for an amendment to Specific Use Permit-8 (SUP-8) for a Child Day Care Center, on 1.6± acres, located on the north side of Richland Boulevard, 300± feet west of Coit Road. The property is zoned Office (O). (S15-0005).

**Description of Agenda Item:**

The zoning and land use of the surrounding properties are as follows:

	<b>Zoning</b>	<b>Current Land Use</b>	<b>Future Land Use Plan</b>
<b>Subject Property</b>	Office and Specific Use Permit-8	Undeveloped Land	US 380 District
<b>North</b>	Planned Development-2-Multifamily and Office	Multifamily Residential (Estates of Prosper) and Undeveloped Land	US 380 District
<b>East</b>	Office	Undeveloped Land	US 380 District
<b>South</b>	Planned Development-2-Corridor District	Undeveloped Land	US 380 District
<b>West</b>	Planned Development-2-Multifamily	Multifamily Residential (Estates of Prosper)	US 380 District

Requested Zoning – S15-0005 is a request for an amendment to the existing SUP for a Child Day Care Center on 1.6± acres, located on the north side of Richland Boulevard, 400± feet west of Coit Road. The property is zoned Office (O). The applicant is proposing to increase the building square footage of the building shown on the existing SUP exhibit by greater than 10%; therefore an amendment to the SUP is required. The existing SUP shows a 9,050 square foot building, while the proposed amendment to the SUP shows a 12,010 square foot building. The number of parking spaces and screening has remained unchanged.

Exhibit B shows the proposed layout which consists of a 1-story, 12,010 square foot building, and 36 parking spaces allowing for up to 120 students and 10 teachers. Exhibit C shows a 6-foot tall masonry wall and 6-foot tall wrought iron fence with solid living screen along the western property line as noted on the currently approved Exhibit. The masonry wall is located on the northern half of the western property line, and the wrought iron fence and solid living screen are located on the southern half of the western property line. The masonry wall is approximately 226-feet in length, shall be constructed to match the exterior building materials of the main building, includes perimeter plantings in accordance with the Zoning Ordinance, and is located adjacent to the playground area.

The solid living screen, in lieu of a masonry wall, is approximately 132 feet in length and is not located adjacent to the playground area. The wrought iron fence and solid living screen is located 15 feet off of the western property line due to an existing sanitary sewer easement and located in a 25-foot landscape setback. The solid living screen consists of one large 3-inch or 4-inch caliper evergreen tree, planted on 30-foot centers, and 45-gallon evergreen shrubs, planted on 6 foot centers, 8-foot in height at the time of planting. Exhibit D shows a conceptual rendering depicting the architectural look and style of the building, and any future development will be required to meet the non-residential design and development standards of the Zoning Ordinance.

The Zoning Ordinance contains four criteria to be considered in determining the validity of a SUP request. These criteria, as well as staff's responses for each, are below:

*1. Is the use harmonious and compatible with its surrounding existing uses or proposed uses?*

The surrounding properties are multifamily uses to the north and west, undeveloped land to the north and east zoned for office uses, and undeveloped land zoned for commercial uses to the south. Child Day Care Centers are typically located in less intense zoning districts, such as office districts and residential districts. Therefore, the proposed use is harmonious and compatible with the surrounding existing and proposed uses.

*2. Are the activities requested by the applicant normally associated with the requested use?*

The activities requested by the applicant, as shown on Exhibit B, are normally associated with the use of a Child Day Care Center.

*3. Is the nature of the use reasonable?*

The property is zoned Office (O) and the Future Land Use Plan (FLUP) recommends US 380 District uses for the property. The proposed use is an appropriate use in the O District, which conforms to the FLUP. Therefore, the nature of the use is reasonable.

*4. Has any impact on the surrounding area been mitigated?*

The attached Exhibit C provides an adequate screen between uses, which mitigates any impact on the surrounding area.

The proposed Child Day Care Center use is harmonious and compatible with the surrounding uses and the proposed uses in the US 380 District. The impact on the surrounding area has been mitigated. Therefore, this request satisfies the Town's criteria for SUP approval.

Future Land Use Plan – The Future Land Use Plan (FLUP) recommends US 380 District uses for the property. The FLUP recommends the US 380 District contain a variety of different uses, with the more intense uses being located along US 380 and residential uses to the north being buffered by less intense uses, such as office. This request conforms to the FLUP.

Conformance to the Thoroughfare Plan – The property has direct access to Richland Boulevard, an existing four-lane divided thoroughfare. The SUP exhibit complies with the Thoroughfare Plan.

Water and Sanitary Sewer Services – Water and sanitary sewer service have been extended to the property.

Access – Access to the property is provided from Richland Boulevard. Adequate access is provided to the property.

Schools – This property is located within the Prosper Independent School District (PISD). It is not anticipated that a school site will be needed on this property.

Parks – It is not anticipated that this property will be needed for the development of a park.

Environmental Considerations – There is no 100-year floodplain located on the property.

**Legal Obligations and Review:**

Notification was provided to neighboring property owners as required by State Law. Town staff has received one Public Hearing Notice Reply form; not in opposition to the request.

**Attached Documents:**

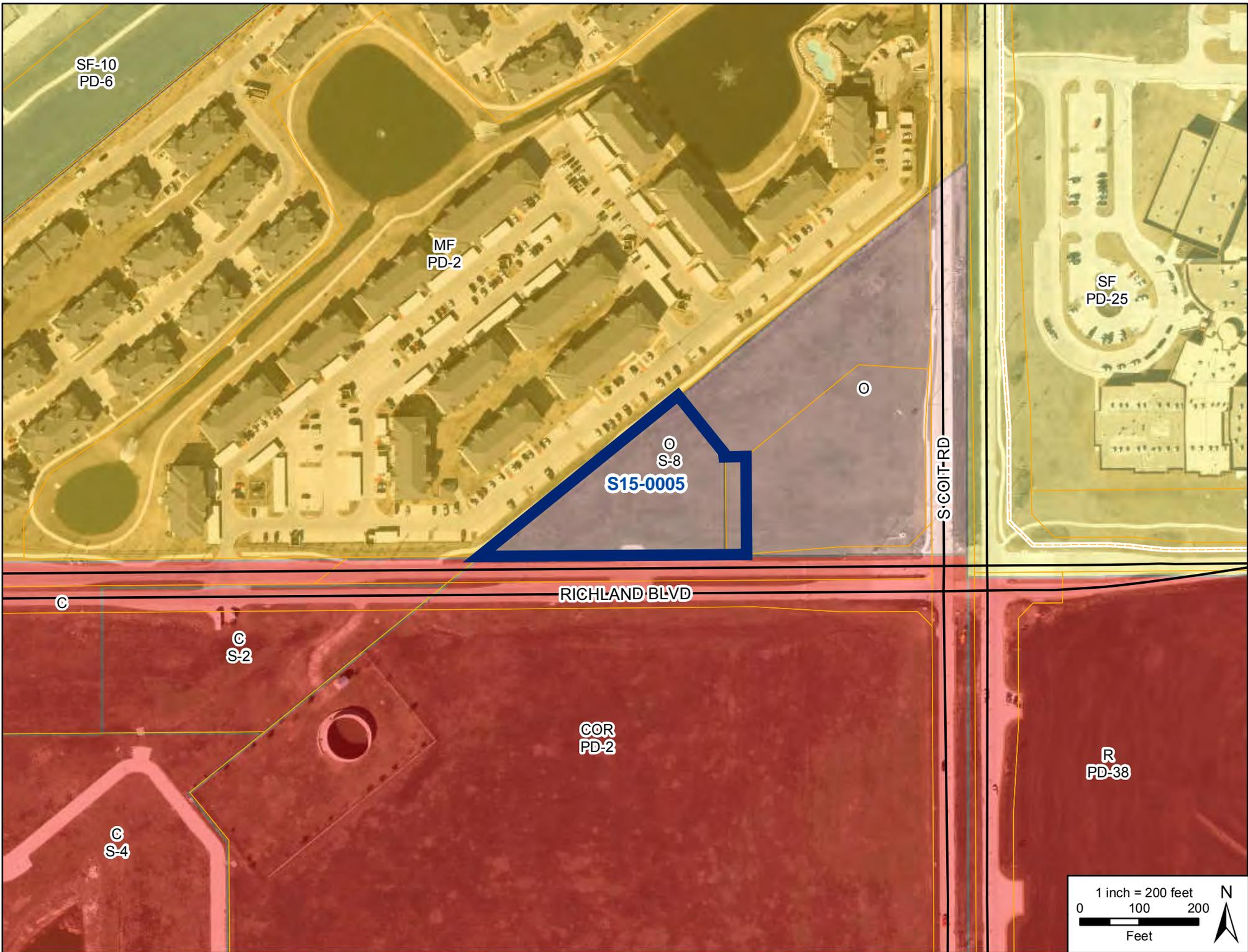
1. Zoning map of surrounding area
2. Existing SUP-8
3. Proposed SUP Exhibits A, B, C, and D
4. Public Hearing Notice Reply form

**Town Staff Recommendation:**

Town staff recommends the Planning & Zoning Commission approve an amendment to Specific Use Permit-8 (SUP-8) for a Child Day Care Center, on 2.0± acres, located on the north side of Richland Boulevard, 300± feet west of Coit Road.

**Town Council Public Hearing:**

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for the Town Council at their Regular meeting on July 14, 2015.



SF-10  
PD-6

MF  
PD-2

SF  
PD-25

○  
S-8  
**S15-0005**

SCOTT RD

RICHLAND BLVD

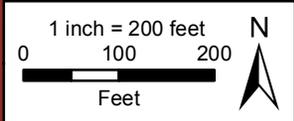
C

○  
S-2

COR  
PD-2

R  
PD-38

○  
S-4



AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE NO. 05-20; GRANTING A SPECIFIC USE PERMIT (SUP) FOR A CHILD DAY CARE CENTER, LOCATED ON A TRACT OF LAND CONSISTING OF 1.43 ACRES, MORE OR LESS, SITUATED IN THE H. JAMISON SURVEY, ABSTRACT NO. 480, IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

**WHEREAS**, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that Zoning Ordinance No. 05-20 should be amended; and

**WHEREAS**, the Town of Prosper, Texas ("Prosper") has received a request from Prosper Ventures Partners ("Applicant") for a Specific Use Permit (SUP) to allow for a Child Day Care Center on a tract of land zoned Office (O), consisting of 1.43 acres of land, more or less, situated in the H. Jamison Survey, Abstract No. 480, in the Town of Prosper, Collin County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes; and

**WHEREAS**, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

**WHEREAS**, all legal notices required to grant a Specific Use Permit (SUP) have been given in the manner and form set forth by law, public hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

**WHEREAS**, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:**

**SECTION 1**

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

**SECTION 2**

Specific Use Permit Granted. Zoning Ordinance No. 05-20 is amended as follows: Applicant is granted a Specific Use Permit (SUP) to allow the operation of a Child Day Care Center, on a tract of land zoned Office (O), consisting of 1.43 acres of land, more or less, situated in H. Jamison Survey, Abstract No. 480, in the Town of Prosper, Collin County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes as if set forth verbatim.

The property shall continue to be used in a manner consistent with the conditions expressly stated in the site plan attached hereto as Exhibit "B," landscape plan attached hereto as Exhibit "C," and façade plan attached hereto as Exhibit "D," which is incorporated herein for all purposes as if set forth verbatim, subject to the following conditions of approval by the Town Council:

1. Landscaping shall be provided around the dumpster enclosure.

Except as amended by this Ordinance, the development of the Property within this Specific Use Permit (SUP) shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Three (3) original, official and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. Two (2) copies shall be filed with the Town Secretary and retained as original records and shall not be changed in any matter.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

Written notice of any amendment to this District shall be sent to all owners of properties within the District as well as all properties within two hundred feet (200') of the District to be amended.

### **SECTION 3**

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

### **SECTION 4**

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

### **SECTION 5**

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

**SECTION 6**

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

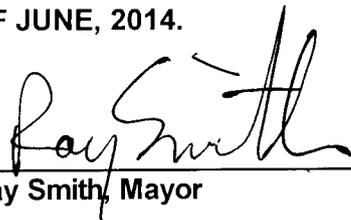
**SECTION 7**

Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

**SECTION 8**

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

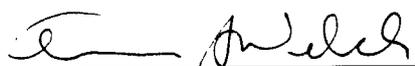
**DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 10<sup>th</sup> DAY OF JUNE, 2014.**

  
\_\_\_\_\_  
Ray Smith, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Robyn Battle, Town Secretary

**APPROVED AS TO FORM AND LEGALITY:**

  
\_\_\_\_\_  
Terrence S. Welch, Town Attorney



**SITE PLAN GENERAL NOTES**

- 1) Dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
- 2) Open storage, where permitted shall be screened in accordance with the Zoning Ordinance.
- 3) Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Ordinance.
- 4) Landscaping shall conform to landscaping plans approved by the Town.
- 5) All elevations shall comply with the standards contained within the Zoning Ordinance.
- 6) Buildings of 5,000 square feet or greater shall be 100% fire sprinklered. Alternative fire protection measures may be approved by the Fire Department.
- 7) Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- 8) Two points of access shall be maintained for the property at all times.
- 9) Speed bumps/mumps are not permitted within a fire lane.
- 10) Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
- 11) All signage is subject to Building Official approval.
- 12) All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
- 13) All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- 14) Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) in width along residential streets and barrier free ramps at all curb crossings shall be provided per Town standards.
- 15) Approval of the site plan is not final until all engineering plans are approved by the Engineering Department.
- 16) Site plan approval is required prior to grading release.
- 17) All new electrical lines shall be installed and/or relocated underground.
- 18) All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.

**NOTE 1**

6'-0" WROUGHT IRON FENCE C/W LANDSCAPE LIVE SCREENING 15' AWAY FROM PROPERTY LINE IN LIEU OF MASONRY WALL, INCLUDING 1 LARGE EVERGREEN TREE PLANTED ON 30-FOOT CENTERS, 3-INCH MINIMUM AT THE TIME OF PLANTING, AND INCLUDING EVERGREEN SHRUBS PLANTED ON 5-FOOT CENTERS 45 GALLON, AND 8-FOOT 4" HEIGHT MINIMUM.

**NOTE 2**

REMOVE EXIST TREES FROM SOUTH OF THE SIDEWALK AND PLANT THEM ON THE NORTH SIDE OF THE SIDEWALK ALONG THE PROPERTY LINE. PLANTING WITHIN THE CITY OF IRVING WATER PIPE EASEMENT SHALL REQUIRE APPROVAL BY THE CITY OF IRVING.

**NOTE 3**

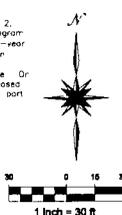
THE DUMPSTER ENCLOSURE WILL BE 8' IN HEIGHT AND WILL MATCH THE BUILDING MATERIALS.

**NOTE 4**

THE THOROUGHFARE SCREENING WILL MEET THE STANDARDS OF THE SUBDIVISION ORDINANCE.

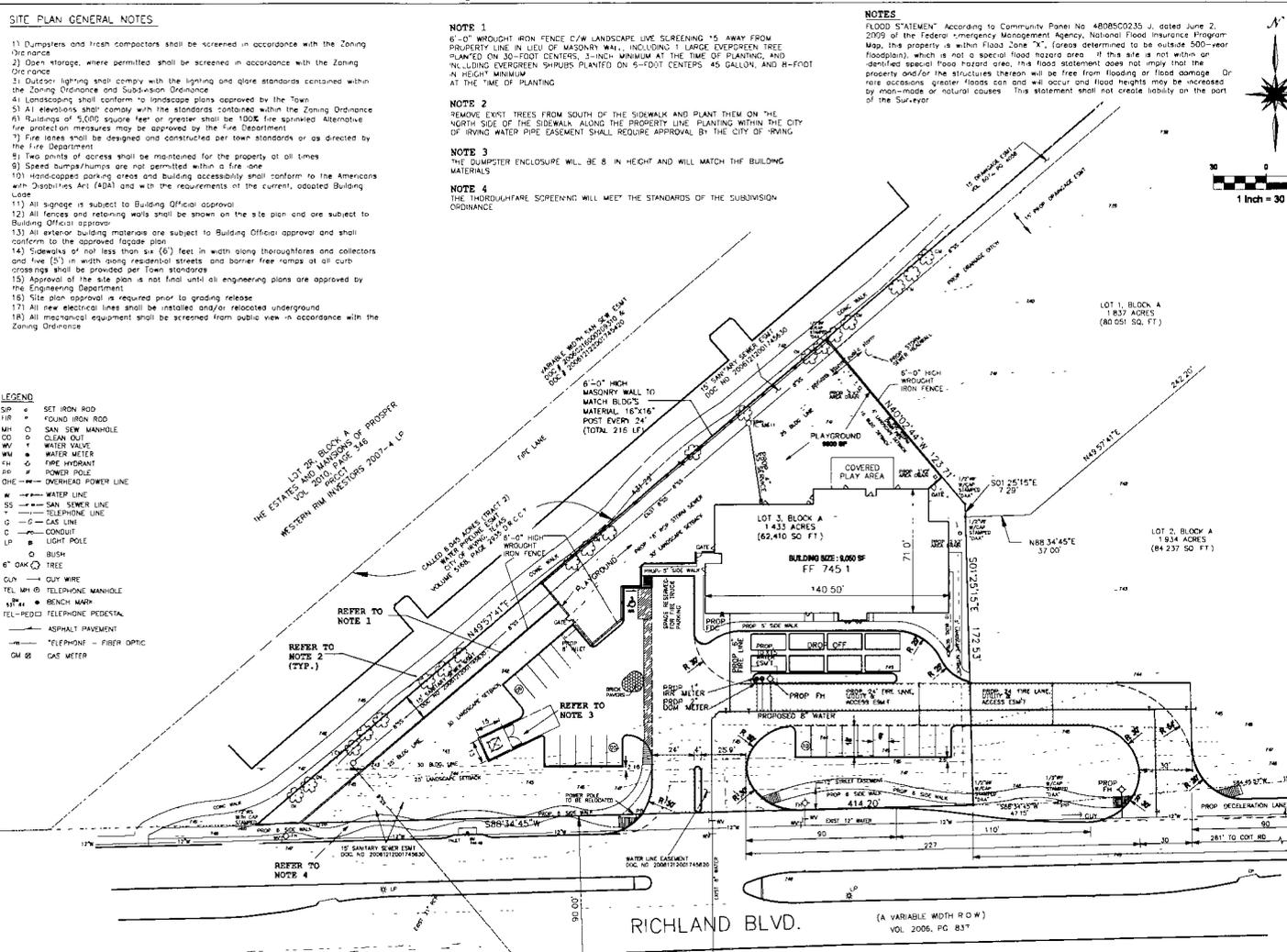
**NOTES**

**FLOOD STATEMENT** According to Community Panel No. 48085C0235 J, dated June 2, 2009 of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within Flood Zone "X" (Areas determined to be outside 500-year floodplains) which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. Rare occasions greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.



SITE DATA SUMMARY TABLE	
ITEM	LOT 3
<b>GENERAL SITE DATA</b>	
Zoning (from zoning map)	Office
Lot Area (from zoning map)	62,410 SF (1.433 AC)
Lot Area (actual total lot area)	62,410 SF (1.433 AC)
Building Footprint Area (square feet)	1,987 SF
Total Building Area (square feet)	8,000 SF
Building Height (ft. max)	1 Story
Building Height (ft. - distance to tallest building element)	14.8 ft.
Lot Coverage	14.8%
Floor Area Ratio	1%
<b>PARKING</b>	
Required (from zoning ordinance)	187 (18 students)
Proposed (from zoning ordinance)	187 (1 student)
Required (from zoning ordinance) for 100 Students	100 SF
Required (from zoning ordinance) for 10 Functions	100 SF
Total Parking Required (if approved)	22 SF
Proposed Parking (if approved)	22 SF
Accessible Parking Required (if approved)	1 SF
Accessible Parking Provided (if approved)	1 SF
<b>LANDSCAPE AREA (including turf areas)</b>	
Landscape Edge Area Provided (square feet)	2,750 SF
Required (from zoning ordinance) (square feet)	2,750 SF
Additional turfs/landscape area provided (square feet)	11,540 SF
Other landscape area within the lot including storm water storage (square feet)	16,000 SF
<b>TOTAL LANDSCAPE AREA (square feet)</b>	
	16,000 SF
<b>PERVIOUS AREA</b>	
Subsides Existing area (square feet)	5,000 SF
Area of Subgrade, Paved Area & other Impervious Placement (square feet)	27,172 SF
Other Impervious Area	0 SF
<b>TOTAL IMPERVIOUS AREA (square feet)</b>	
	32,172 SF
<b>OPEN SPACE</b>	
Open Space Required (8% of lot area)	4,993 SF
Open Space Provided (square feet)	6,000 SF
<b>PLAYGROUND AREA</b>	
Playground area (80 sq ft per student) for 100 students	7,000 SF
Playground area Provided	8,000 SF

- LEGEND**
- SR = SET IRON ROD
  - IR = FOUND IRON ROD
  - MH = SAN. SEW MANHOLE
  - CO = CLEAN OUT
  - WV = WATER VALVE
  - WM = WATER METER
  - CH = FIRE HYDRANT
  - PR = POWER POLE
  - CHC = OVERHEAD POWER LINE
  - W = WATER LINE
  - SS = SAN. SEWER LINE
  - TEL = TELEPHONE LINE
  - G = GAS LINE
  - C = CONDUIT
  - LP = LIGHT POLE
  - B = BUSH
  - T = TREE
  - CLY = GUY WIRE
  - TEL MH = TELEPHONE MANHOLE
  - BM = BENCH MARK
  - TEL-REED = TELEPHONE REDESTAL
  - ASP = ASPHALT PAVEMENT
  - TEL-POLE = TELEPHONE - FIBER OPTIC
  - GM = GAS METER



**EXHIBIT "B" SITE PLAN**

FOR  
**ANGEL AGE MONTESSORI**  
 WHISPERING GABLES ADDITION  
 LOT 3, BLOCK A, 1.433 ACRES  
 H JAMISON SURVEY, ABSTRACT No. 480  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

OWNER: **BM CAPITAL INVESTMENT GROUP LLC**  
 3705 HACKBERRY LN., RICHMOND, TX 75082  
 CONTACT: MORI AKHAVAN 972-816-2626  
 DATE: APRIL 2014 SCALE: 1"=40'

PREPARED BY: **MORI'S ENGINEERING, INC.** F-7701  
 2016 Phoenix Lane, Plano, Texas 75003  
 CONTACT: MORI AKHAVAN 972-816-2626  
 moriakhav@yahoo.com

**o11 ARCHITECT + ASSOCIATES, INC.**  
 PLANNING ARCHITECTURE ENGINEERING  
 1807 Paces N. in DFW Area, Ft. Worth, TX 76102  
 F-7701  
 F-mail: moriakhav@yahoo.com  
 Web Site: o11architect.com

**MORI'S ENGINEERING, INC.**  
 MORI AKHAVAN  
 3705 HACKBERRY LN., RICHMOND, TX 75082  
 F-7701  
 F-mail: moriakhav@yahoo.com  
 moriakhav@yahoo.com

**BM CAPITAL INVESTMENT GROUP LLC**  
 3705 HACKBERRY LN., RICHMOND, TX 75082  
 F-7701  
 F-mail: moriakhav@yahoo.com

**ANGEL AGE MONTESSORI**  
 PROJECT  
 COIT RD. & RICHLAND BLVD  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

REVISION	DATE

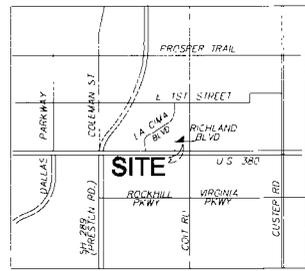


**EXHIBIT "B" SITE PLAN**

DATE	SCALE
04.7.2014	
DRAWN	CHECKED
PROJECT	
SHEET NO.	
03A-2014	

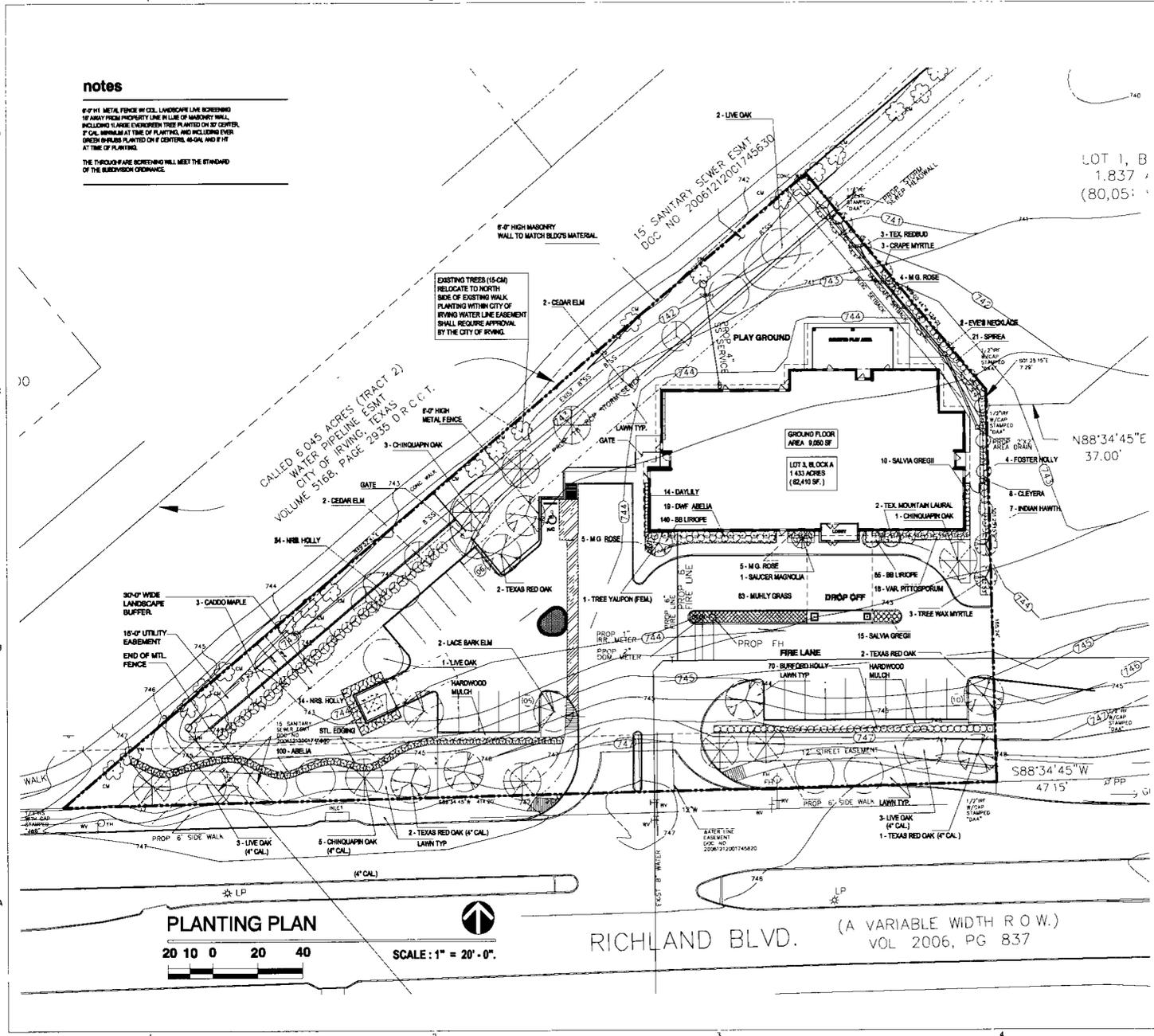
**notes**

6'-0" HT. METAL FENCE W/ COL. LANDSCAPE LANE SCREENING TO ADJACENT PROPERTY LINE IN LINE OF MASONRY WALL, INCLUDING 1-1/2" DIAMETER TREES PLANTED ON 30' CENTER, 2" CAL. MINIMUM AT TIME OF PLANTING, AND INCLUDING EVER GREEN SHRUBS PLANTED ON 7' CENTERS, 4-0" CAL. AND 8" HT. AT TIME OF PLANTING.  
THE THROUGHFARE SCREENING WILL MEET THE STANDARD OF THE SUBDIVISION ORDINANCE.

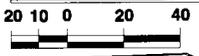


**SITE LOCATION**

LOT 1, B  
1.837  
(80.05)



**PLANTING PLAN**



SCALE: 1" = 20'-0"

**RICHLAND BLVD.** (A VARIABLE WIDTH ROW.)  
VOL 2006, PG 837

**o1**  
**ARCHITECT + ASSOCIATES, INC.**  
PLANNING ARCHITECTURE ENGINEERING

**aroids**  
LANDSCAPE ARCHITECTURE

**BM CAPITAL INVESTMENT GROUP LLC**

**ANGEL AGE MONTESSORI**  
COT RD & RICHLAND BLVD  
TOWN OF PROSPER,  
COLLIN COUNTY, TEXAS

REVISION	DATE
	04.30.2014
	05.27.2014



**EXHIBIT "C"**  
**LANDSCAPE PLAN**

FOR  
**ANGEL AGE MONTESSORI**  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK A, 1.433 ACRES  
H JAMISON SURVEY,  
ABSTRACT No 480  
TOWN OF PROSPER,  
COLIN COUNTY, TEXAS

PROPERTY OWNER  
**BM CAPITAL INVESTMENT GROUP LLC**  
3705 WACKERSBERY LN  
RICHARDSON, TX 75082  
Mohammad A Salam (417) 622 0246  
E-mail: msaalam@aroids.com

PREPARED BY  
**aroids**  
Mohammad A Salam  
972 530 5036  
musa@aroids.com

**EXHIBIT C**  
**LANDSCAPE PLAN**

DATE	SCALE
04.07.2014	
DRAWN	CREATED
PROJECT #	
<b>OSA-2014</b>	
SHEET NO.	
<b>LP.01</b>	

### plant schedule

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
6	Live Oak	Quercus virginiana	4" Caliper 12-14" H, 7-8" sp. full, matching	
3	Texas Red Oak	Quercus shumardii "Texana"	4" Caliper 12-14" H, 7-8" sp. full, matching	
5	Chinquapin Oak	Quercus muhlenbergii	4" Caliper 12-14" H, 7-8" sp. full, matching	
4	Texas Red Oak	Quercus shumardii "Texana"	3" Caliper 10-12" H, 6-7" sp. straight trunk, full, matching	
2	Lacabark Elm	Ulmus parvifolia	3" Caliper 10-12" H, 5-6" sp. full, matching	
3	Live Oak	Quercus virginiana	3" Caliper 10-12" H, 4-5" sp. full, matching	
4	Chinquapin Oak	Quercus muhlenbergii	3" Caliper 10-12" H, 4-5" sp. full, matching	
3	Cardo Maple	Acer saccharum "Cardo"	3" Caliper 10-12" H, 4-5" sp. full, matching	
4	Coccoloba Elm	Ulmus crassifolia	3" Caliper 10-12" H, 4-5" sp. full, matching	
1	Tree Yucca (fern)	Yucca verticillata	8-8" H, 4-5" sp. full	
2	Texas Mountain Laurel	Sophora secundiflora	8-8" H, 4-5" sp. full, multi trunk, matching	
2	Tree Wax Myrtle	Myrica caribaea	8-8" H, 4-5" sp. full, matching	
1	Saucer Magnolia	Magnolia sauceriana	8-8" H, 4-5" sp. full	
4	Foster Holly	Ilex attenuata "Fosteri"	8-8" H, 4-5" sp. full, matching	
2	Eve's Necklace	Sophora affinis	8-8" H, 4-5" sp. full, matching	
3	Crape Myrtle (red)	Lagerströmia indica	8-8" H, 4-5" sp. multi trunk, full, matching	
3	Texas Redbud	Cercis canadensis Texana	8-8" H, 4-5" sp. full, matching	
<b>SHRUBS</b>				
21	Spirea (Anthony Waterer)	Spirea spp.	5 gal. full pot, well rooted.	
100	Abelia	Abelia grandiflora	5 gal. full pot, well rooted, 2' O.C.	
19	Orn. Abelia	Abelia grandiflora "Edward Goucher"	5 gal. full pot, well rooted	
14	Morrea Constantine Rose	Rosa spp.	5 gal. full pot, well rooted.	
16	Var. Pittosporum	Pittosporum tobira "Variegata"	5 gal. full pot, well rooted.	
7	Indian Hawthorn	Rhodaphys indica	5 gal. full pot, well rooted.	
70	Burford Holly	Ilex cornuta "Burfordi"	5 gal. full pot, well rooted, 2' O.C.	
48	NRS Holly	Helleo R. Stevens holly	20 gal. 8" H, full pot, well rooted, 4' O.C.	
8	Cayena	Cayena japonica	5 gal. full pot, well rooted	
25	Savina Greggii (red)	Savina greggii	1 gal. full pot, well rooted.	
63	Pink Mistle Green	Muhlenbergia capillaris	2 gal. full pot, well rooted.	
14	Daylily	Hemerocallis spp.	1 gal. full pot, well rooted.	
<b>GROUNDCOVERS, &amp; LAWN</b>				
205	Bigblue Liriope Bermudagrass	Liriope muscari Cynodon dactylon	4" Pots, full pot, well rooted, 12" O.C. Hydromulched	

### landscape area

TOTAL SITE AREA 62,410 SF  
BLDG AREA 8,900 SF  
TOTAL OPEN AREA 35,900 SF  
TOTAL NUMBER OF PARKING SPACES REQUIRED 22  
SPACES PROVIDED 22

### PLANTING NOTES

- USE #14" STEEL EDGING (PAINTED GREEN)
- USE 4" "GOOD EARTH" OR EQUIVALENT PLANTING MIX FOR BED PREPARATIONS. ROTOTILL BED MIX TO THE DEPTH OF 12" MINIMUM
- ALL THE LAWN AREAS TO BE HYDROMULCHED BERMUDA GRASS
- TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH, AFTER PLANTING OPERATIONS
- THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH FLOW, FROZE & WIND SENSORS. THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED
- THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES
- PARKWAYS SHALL HAVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL
- NO TREES WILL BE PLANTED UNDERNEATH POWERLINES

### landscape requirements

RICHLAND BLVD FRONTAGE  
REQUIRED 13 - 4" CAL SHADE TREES  
PROVIDED 13 - 4" CAL SHADE TREES  
SHRUBS REQUIRED 170 - 5 GAL (15 PER 30 LF)  
PROVIDED 170 - 5 GAL

PARKING LOT TREE  
REQUIRED 2 - 2" CAL SHADE TREES  
PROVIDED 8 - 3" CAL SHADE TREES

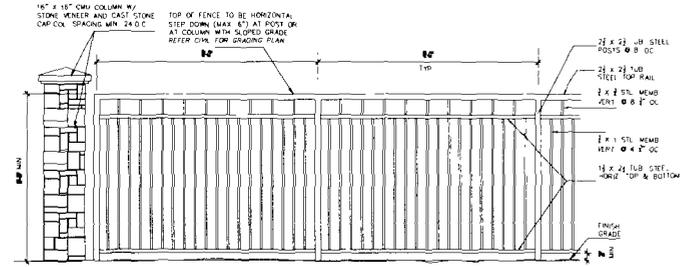
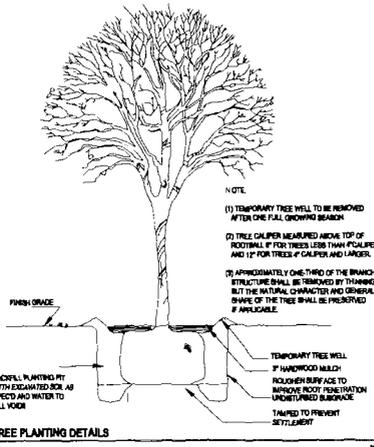
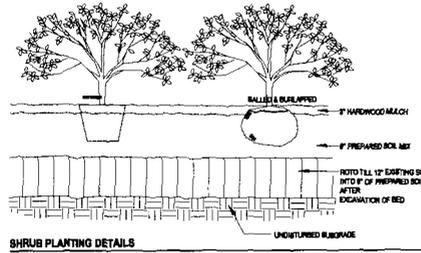
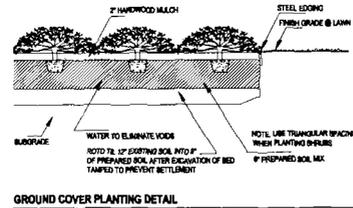
LANDSCAPE BUFFER TREES PROVIDED ALONG THE NE PROP LINE @ 30' O.C. REQUIRED 12 - 3" CAL TREES  
PROVIDED 12 - 3" CAL TREES

SMALL TREES AND SHRUBS PROVIDED ALONG THE EAST PROP LINE PERIMETER LANDSCAPE SMALL TREE REQUIRED 14  
SHRUBS REQUIRED 14 - 5 GAL  
PROVIDED 14 - 5 GAL

PLAY AREA IS SECURED WITH 6" MET. FENCE AND MASONRY WALL

### notes

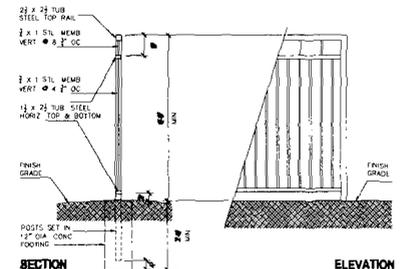
A FENCE PERMIT WILL BE REQUIRED TO BE SUBMITTED AND APPROVED BY THE TOWN



ELEVATION - METAL FENCE WITH MASONRY COLUMN

01

SCALE: 1/2" = 1'-0"



SECTION & ELEVATION - METAL FENCE

02

SCALE: 1/2" = 1'-0"

**o11**  
ARCHITECT  
ASSOCIATES, INC.  
PLANNING - ARCHITECTURE - ENGINEERING

**aroids**  
LANDSCAPE ARCHITECTURE

**BM CAPITAL INVESTMENT GROUP LLC**

3705 HACKBERRY LN, RICHMOND, TX 75086  
Mohammad Younis (714) 782 0246  
E-mail: myunis@earthlink.net

**ANGEL AGE MONTESSORI**  
COIT RD & RICHLAND BLVD  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

REVISIONS SHEET  
04.30.2014  
05.27.2014

STATE OF TEXAS  
COUNTY OF COLLIN  
EXHIBIT C LANDSCAPE PLAN

**EXHIBIT C LANDSCAPE PLAN**  
FOR  
**ANGEL AGE MONTESSORI**  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK A, 1433 ACRES  
H JAMISON SURVEY,  
ABSTRACT No 480  
TOWN OF PROSPER,  
COLLIN COUNTY, TEXAS

DATE: 04.07.2014  
DRAWN: DEDED  
PROJECT: OSA-2014  
SHEET NO: LP.02

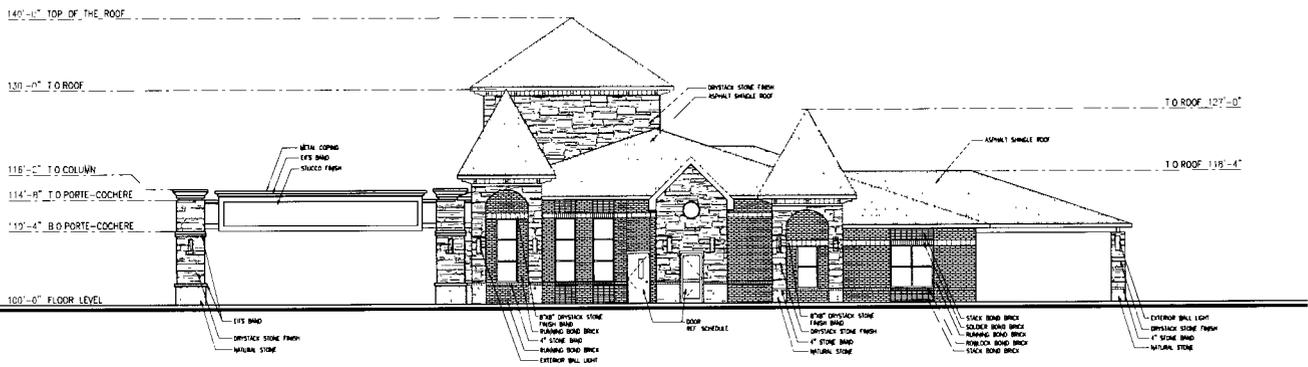
PROPERTY OWNER: **BM CAPITAL INVESTMENT GROUP LLC**  
3705 HACKBERRY LN, RICHMOND TX 75086  
Mohammad Younis (714) 782 0246  
E-mail: myunis@earthlink.net

PREPARED BY: **aroids**  
MOHAMMAD A SALAM  
572.530.5036  
mosalam1@earthlink.net

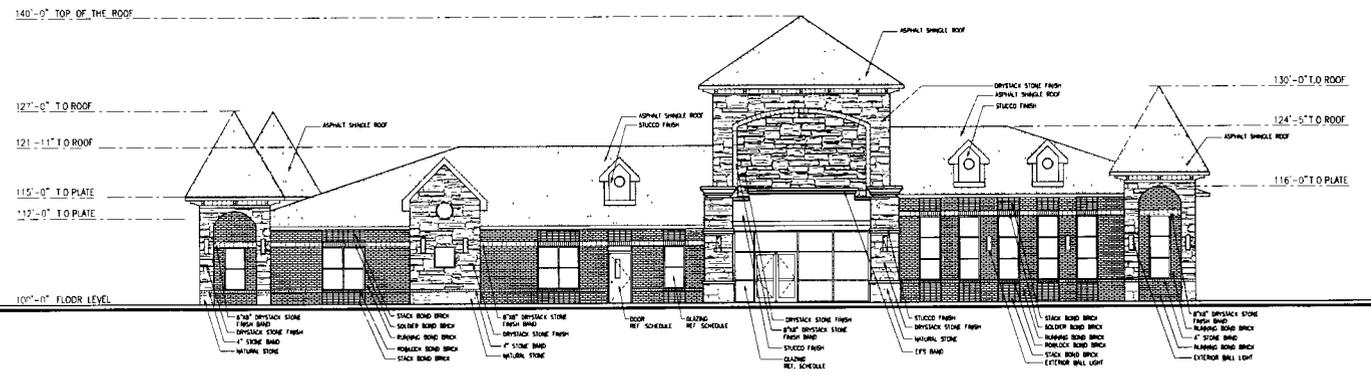
**MATERIAL CALCULATION SCHEDULE-**

ELEVATION	TOTAL SURFACE AREA		GLAZED WINDOW		METAL DOOR		BRICK VENER (PFD)		STONE VENER (CRKAD)		STUCCO (CRKAD)	
	AREA #	PERCENT	AREA #	PERCENT	AREA #	PERCENT	AREA #	PERCENT	AREA #	PERCENT	AREA #	PERCENT
SOUTH ELEVATION	2,258 SQ. FT.	100 %	479 SQ. FT.	21.30%	24 SQ. FT.	1.06%	728 SQ. FT.	32.22%	807 SQ. FT.	35.74%	43 SQ. FT.	1.90%
NORTH ELEVATION	1,783 SQ. FT.	100 %	257 SQ. FT.	14.41%	120 SQ. FT.	6.73%	812 SQ. FT.	45.54%	561 SQ. FT.	31.48%	13 SQ. FT.	0.73%
EAST ELEVATION	1,363 SQ. FT.	100 %	156 SQ. FT.	11.45%	24 SQ. FT.	1.76%	563 SQ. FT.	41.31%	664 SQ. FT.	48.62%	157 SQ. FT.	11.52%
WEST ELEVATION	1,530 SQ. FT.	100 %	87 SQ. FT.	5.68%	72 SQ. FT.	4.70%	454 SQ. FT.	29.67%	758 SQ. FT.	49.41%	157 SQ. FT.	10.14%
FOUR ELEVATIONS TOTAL	7,134 SQ. FT.	100 %	979 SQ. FT.	13.72%	240 SQ. FT.	3.34%	2,557 SQ. FT.	35.85%	2,790 SQ. FT.	39.12%	757 SQ. FT.	10.67%

- FACADE PLAN NOTES:**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSE ONLY. ALL BUILDINGS MUST BE REVIEWED AND APPROVED BY DEVELOPMENT SERVICES.
  - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
  - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE FINISHED TO MATCH THE BUILDING.
  - ALL FINISHES, MATERIALS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
  - BUILDINGS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
  - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.



**B1 EAST ELEVATION**  
SCALE 1/8"=1'-0"



**A1 SOUTH ELEVATION**  
SCALE 1/8"=1'-0"

**EXHIBIT 'D'**  
**EXTERIOR ELEVATIONS**

**ANGEL AGE MONTESSORI**  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK A, 1.433 ACRES,  
H. JAMISON SURVEY, ABSTRACT No. 480  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

PREPARED BY:  
**BM CAPITAL INVESTMENT GROUP LLC**  
1700 HICKORY LN,  
RICHARDSON, TX 75082  
PH: 972.241.1111  
E-MAIL: info@bmcapital.com  
WWW: www.bmcapital.com

PREPARED BY:  
**DI ARCHITECT AND ASSOCIATES**  
PLANNING-ARCHITECTURE-ENGINEERING  
1301 FOSTER BL. SUITE 200  
DALLAS, TX 75204  
PH: 214.343.1111  
E-MAIL: info@diarchitect.com  
WWW: www.diarchitect.com

DATE: APRIL 2014 SCALE: 1/8"=1'-0"

**di1**  
**ARCHITECT + ASSOCIATES, INC.**  
PLANNING-ARCHITECTURE-ENGINEERING

1301 FOSTER BL. SUITE 200  
DALLAS, TX 75204  
PH: 214.343.1111  
E-MAIL: info@diarchitect.com  
WWW: www.diarchitect.com

**MAHUBUS DEWAN**  
Architect

1101 FOSTER BL. SUITE 200  
DALLAS, TX 75204  
PH: 214.343.1111  
E-MAIL: mahubus@diarchitect.com  
WWW: www.diarchitect.com

**BM CAPITAL INVESTMENT GROUP LLC**

5705 HICKORY LN  
RICHARDSON, TX 75082  
PH: 972.241.1111  
E-MAIL: info@bmcapital.com

**ANGEL AGE MONTESSORI**  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

PROJECT: \_\_\_\_\_  
DRAWING: \_\_\_\_\_  
DATE: \_\_\_\_\_

1/2" = 1'-0"

APR 29, 2014

**REGISTERED ARCHITECT**  
STATE OF TEXAS

125271  
APR 29, 2014

**EXHIBIT 'D'**  
**EXTERIOR ELEVATIONS**

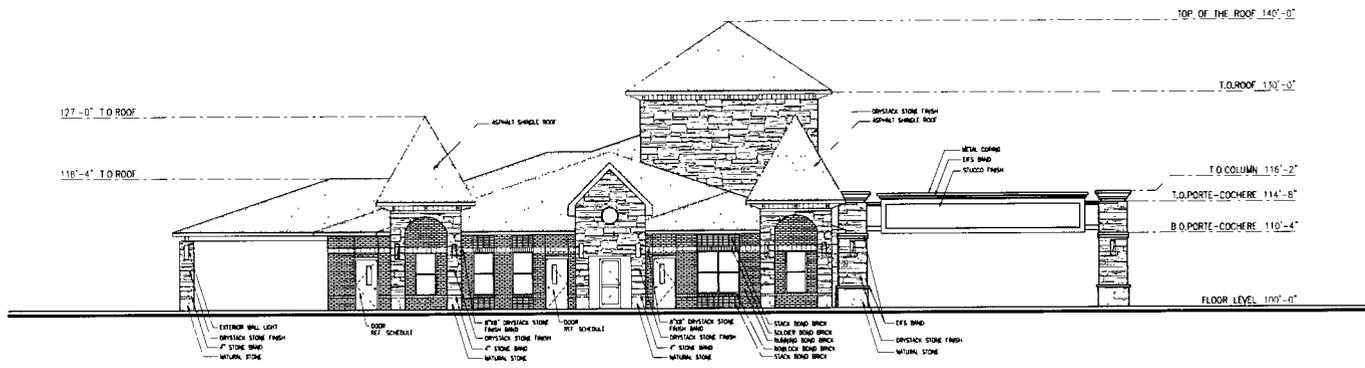
DATE: 03/15/2014 SCALE: 1/8"=1'-0"  
DRAWN: RKT CHECKED: MHD  
PROJECT NO: 03A-2014  
SHEET NO: A-3.01

**MATERIAL CALCULATION SCHEDULE-**

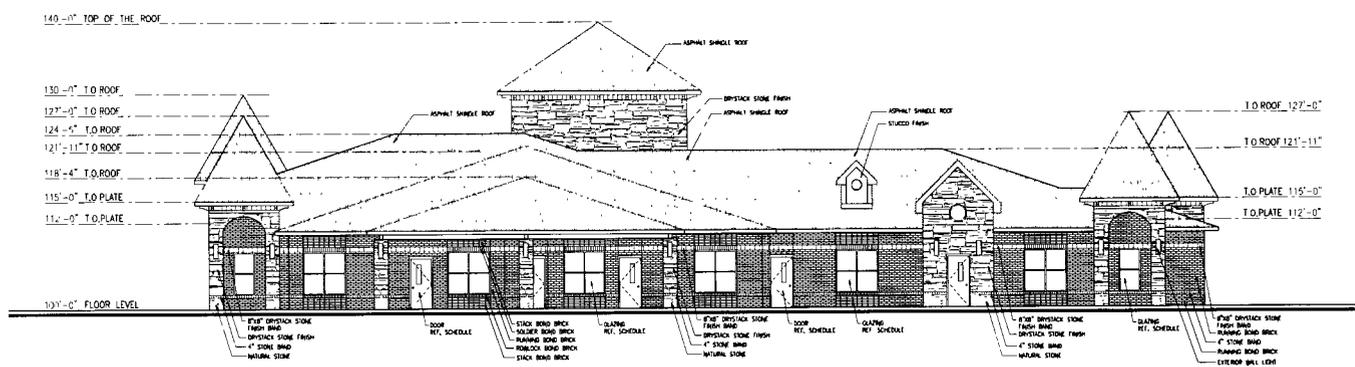
ELEVATION	TOTAL SURFACE AREA		GLAZED WINDOW		METAL DOOR		BRICK VENEER (BED)		STONE VENEER (END)		STUCCO (END)	
	AREA ±	PERCENT	AREA ±	PERCENT	AREA ±	PERCENT	AREA ±	PERCENT	AREA ±	PERCENT	AREA ±	PERCENT
SOUTH ELEVATION	2,236 SQ. FT.	100 %	479 SQ. FT.	21.20%	24 SQ. FT.	1.08%	778 SQ. FT.	35.22%	407 SQ. FT.	18.21%	131 SQ. FT.	5.86%
NORTH ELEVATION	1,783 SQ. FT.	100 %	257 SQ. FT.	14.37%	130 SQ. FT.	7.30%	812 SQ. FT.	45.53%	261 SQ. FT.	14.64%	133 SQ. FT.	7.46%
EAST ELEVATION	1,043 SQ. FT.	100 %	159 SQ. FT.	15.24%	84 SQ. FT.	8.05%	565 SQ. FT.	53.24%	164 SQ. FT.	15.72%	151 SQ. FT.	14.48%
WEST ELEVATION	1,530 SQ. FT.	100 %	87 SQ. FT.	5.68%	72 SQ. FT.	4.71%	484 SQ. FT.	31.63%	758 SQ. FT.	49.51%	89 SQ. FT.	5.81%
FOUR ELEVATIONS TOTAL	7,119 SQ. FT.	100 %	962 SQ. FT.	13.49%	240 SQ. FT.	3.37%	2,369 SQ. FT.	33.28%	2,088 SQ. FT.	29.34%	458 SQ. FT.	6.43%

**FACADE PLAN NOTES:**

- THE FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS, BEFORE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
- ALL BRICK, PAINTED AND EXPOSED GUTTER BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL WINDOW AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE TRANSLUCENCY OF TEN (10) PERCENT.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICER.



**B1 WEST ELEVATION**  
SCALE 1/8"=1'-0"



**A1 NORTH ELEVATION**  
SCALE 1/8"=1'-0"

**EXHIBIT "D"**  
**EXTERIOR ELEVATIONS**

FOR  
**ANGEL AGE MONTESSORI**  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK A, 1.433 ACRES  
H. JAMISON SURVEY, ABSTRACT NO. 48D  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

PREPARED BY  
**BM CAPITAL INVESTMENT GROUP LLC**  
3705 HACKENBERRY LN.  
RICHARDSON, TX 75082  
CONTACT: (214) 702-7046  
E-MAIL: info@bmcapital.com  
WEB SITE: bmcapital.com  
DATE: APRIL 2014 SCALE: 1/8"=1'-0"

PREPARED BY  
**01 ARCHITECT AND ASSOCIATES**  
1301 PAPER AC, SUITE 300, R. 200  
CANTON, TX 75741-2000  
CONTACT: (214) 702-7046  
E-MAIL: info@01architect.com  
WEB SITE: 01architect.com  
DATE: APRIL 2014 SCALE: 1/8"=1'-0"

**01**  
**ARCHITECT**  
+  
**ASSOCIATES, INC.**  
PLANNING-ARCHITECTURE-ENGINEERING

1301 PAPER AC, SUITE 300, R. 200  
CANTON, TX 75741-2000  
E-MAIL: info@01architect.com  
WEB SITE: 01architect.com

**MANHUB DEWAN**  
Architect

1301 PAPER AC, SUITE 300, R. 200  
CANTON, TX 75741-2000  
E-MAIL: info@manhubdewan.com  
WEB SITE: 01architect.com

**BM CAPITAL INVESTMENT GROUP LLC**

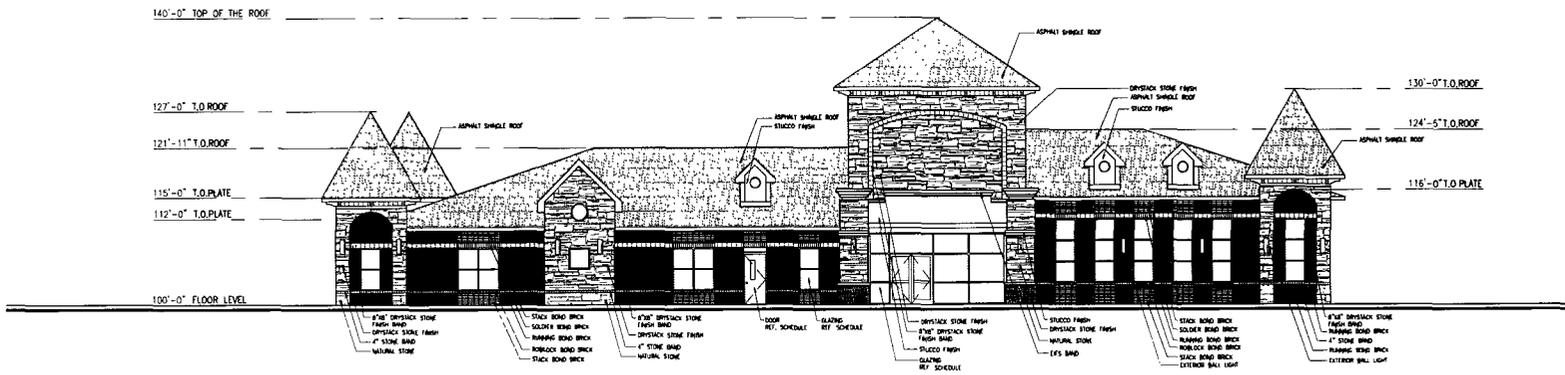
3705 HACKENBERRY LN.  
RICHARDSON, TX 75082  
CONTACT: (214) 702-7046  
E-MAIL: info@bmcapital.com

**ANGEL AGE MONTESSORI**  
307 RD. & RICHLAND BLVD  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

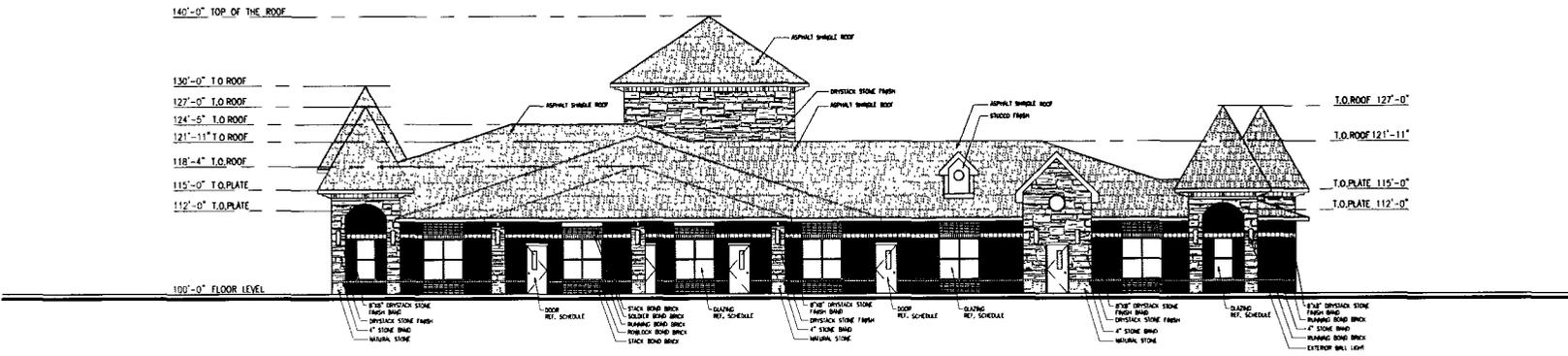
PROJECT: EXHIBIT "D"  
SCALE: DATE: APR 23, 2014

**EXHIBIT "D"**  
**EXTERIOR ELEVATIONS**

DATE: 03/15/2014 SCALE: 1/8"=1'-0"  
DRAWN: RKT CHECKED: MHD  
PROJECT: 03A-2014  
SHEET NO: **A-3.02**



**C1 SOUTH ELEVATION**  
SCALE 1/8"=1'-0"



**A1 NORTH ELEVATION**  
SCALE 1/8"=1'-0"

**o11**  
**ARCHITECT**  
**ASSOCIATES, INC.**  
PLANNING - ARCHITECTURE - INTERIORS  
1301 Fossil Rd., Suite 100, Ft. Worth, TX 76104  
CONTACT: 817.352.1670 FAX: 817.352.1678  
E-mail: info@o11a.com  
Web Site: o11architect.com

**MAHUB DEWAN**  
Architect  
1301 Fossil Rd., Suite 100, Ft. Worth, TX 76104  
CONTACT: 817.352.1670 FAX: 817.352.1678  
E-mail: mahub@o11a.com  
Web Site: o11architect.com

**BM CAPITAL**  
INVESTMENT GROUP LLC  
3705 HACC-BERRY LN.  
RICHARDSON, TX 75082  
Mortgage Loans (214)792-0246  
E-mail: info@bmcapital.com

**ANGEL AGE**  
**MONTESSORI**  
COIT RD. & RICHLAND BLVD  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

REVISIONS	DATE

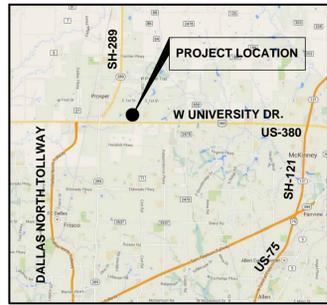
REGISTERED ARCHITECT  
STATE OF TEXAS  
APR 29, 2014

**BUILDING**  
**ELEVATIONS**

DATE	SCALE
03/15/2014	1/8"=1'-0"
DRAWN BY	CHECKED BY
PROJECT #	

**03A-2014**  
**A-3.01**





**LOCATION MAP**  
NTS.

- LINE LEGEND:**
- EXISTING PROPERTY LINE
  - - - PROPERTY LINE & SUP ZONING LINE
  - - - EASEMENT LINE
  - 743 EXIST. CONTOUR LINE

MOORELAND DEVELOPMENT COMPANY, INC.  
TO  
MF VII PROSPER 41, LP.  
29.783 ACRES  
DOC. NO. 20070214000206720

ZONING: PD-2  
CURRENT USE: MULTI-FAMILY  
FUTURE LAND USE: US 380 DISTRICT

MF IV VALLENCIO, LP  
TO  
MF VII PROSPER 41, LP.  
12.687 ACRES  
DOC. NO. 20060828001229900

ZONING: PD-2  
CURRENT USE: MULTI-FAMILY  
FUTURE LAND USE: US 380 DISTRICT

VARIABLE WIDTH SAN SEW. ESMT.  
DOC.# 20060216000209310 &  
DOC.# 200612122001745420

**LOT 2R, BLOCK "A"**  
THE ESTATES AND MANSIONS OF PROSPER  
(VOLUMN 2009, PG. 450 M.R.C.C.T.)

WESTERN RIM INVESTORS 2007-3, L.P.  
20.952 ACRES  
DOC. NO. 20071024001455480

ZONING: PD-2  
CURRENT USE: MULTI-FAMILY  
FUTURE LAND USE: US 380 DISTRICT

15' TEMPORARY  
CONSTRUCTION ESMT.  
VOL. 6072, PG. 4058

**LOT 1, BLOCK "A"**  
WHISPERING GABLES ADDITION  
THE H. JAMISON SURVEY ABSTRACT NO. 480  
VOL. 2006, PG. 839  
(80,051 SQ.FT. OR 1.837 ACRES)

ZONING: OFFICE  
CURRENT USE: UNDEVELOPED  
FUTURE LAND USE: US 380 DISTRICT

**LOT 3, BLOCK "A"**  
WHISPERING GABLES ADDITION  
THE H. JAMISON SURVEY ABSTRACT NO. 480  
VOL. 2006, PG. 839  
(68,522 SQ.FT. OR 1.57 ACRES)

EXISTING ZONING: OFFICE + SUP  
CURRENT USE: UNDEVELOPED  
FUTURE LAND USE: US 380 DISTRICT

**LOT 2, BLOCK "A"**  
WHISPERING GABLES ADDITION  
THE H. JAMISON SURVEY ABSTRACT NO. 480  
VOL. 2006, PG. 839  
(84,237 SQ.FT. OR 1.934 ACRES)

ZONING: OFFICE  
CURRENT USE: UNDEVELOPED  
FUTURE LAND USE: US 380 DISTRICT

POINT OF BEGINNING

15' SANITARY SEWER ESMT.  
DOC. NO. 20061212001745630

WATER LINE EASEMENT  
DOC. NO. 20061212001745620

**RICHLAND BLVD.**  
(A VARIABLE WIDTH R.O.W.)  
VOL. 2006, PG. 837 M.R.C.C.T.

**LOT 2, BLOCK A**  
PROSPER COMMONS  
VOL. 2006, PG. 839 M.R.C.C.T.

ZONING: PD-2  
CURRENT USE: MULTI-FAMILY  
FUTURE LAND USE: US 380 DISTRICT

REMAINDER OF  
MUSTANG - MIDWAY PLANO, LTD.  
DOC. NO. 96-0038753 D.R.C.C.T.

ZONING: PD-2  
CURRENT USE: MULTI-FAMILY  
FUTURE LAND USE: US 380 DISTRICT

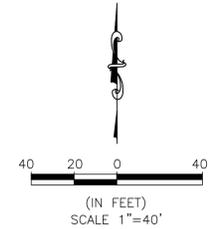
**NOTE:**  
THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSE AND DO NOT SET THE ALIGNMENT.  
THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.

- LEGEND**
- IRF. = IRON ROD FOUND
  - D.R.C.C.T. = DEED RECORDS OF COLLIN COUNTY, TEXAS
  - M.R.C.C.T. = MAP RECORDS OF COLLIN COUNTY, TEXAS
  - ESMT. = EASEMENT
  - R.O.W. = RIGHT OF WAY

**ASA SURVEYOR ENGINEERING**  
17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651 FAX (972) 248-9681

**APPLICANT**  
**DAWN ROGY-MEYER**  
ROGY'S LEARNING PLACE  
1619 W. LUTHY DR.  
PEORIA, IL 61615  
(309) 427-5090 EXT. 1  
(309) 369-3958 CELL

**OWNER**  
**MICHAEL CRISE**  
178 RIDGE ROAD, SUITE 600  
MCKINNEY, TX 75070-5108  
(214) 726-0468



**EXHIBIT 'A'**

**METES & BOUNDS DESCRIPTION**

For **ROGY'S LEARNING PLACE at PROSPER**

**BEING** a 1.60 acres track of land located in H. Jamison Survey, Abstract No. 480, in the Town of Prosper, Collin County, Texas, and also being platted as Lot 3, Block A of Whispering Gables Addition, an addition to the Town of Prosper, Collin County, Texas, and being more particularly described by metes and bounds as follows;

**BEGINNING** at a 1/2" iron rod found Southwest corner of Lot 3, Block A, said point also being located on the north right-of-way of Richland Boulevard, approximate 801.2 feet from the intersect of the west right-of-way line of Coit Road and the north right-of-way line of Richland Boulevard;

**THENCE** N 49° 57' 41" E for a distance of 431.29 feet to a 1/2" Iron rod found for a corner, said the point also being northern corner of Lot 3, Block A;

**THENCE** S 40° 02' 44" E for a distance of 123.71 feet to a 1/2" iron rod found for a corner;

**THENCE** S 01° 25' 15" E for a distance of 7.29 feet to a 1/2" iron rod found for a corner;

**THENCE** N 88° 34' 45" E for a distance of 37.00 feet to a 1/2" iron rod found for a corner;

**THENCE** S 01° 25' 15" E for a distance of 210.24 feet to a point in the centerline of Richland Boulevard (a 90' ROW) for a corner;

**THENCE** S 88° 34' 45" W for a distance of 451.20 feet, along the centerline of Richland Boulevard, to a point for a corner

**THENCE** N 01° 25' 15" W for a distance of 45.00 feet to **POINT OF BEGINNING** and containing 88,826 SF or 2.04 acres tract of land with more or less.

Pansak Sribhen, RPLS  
Registered Land Surveyor # 3576

Date: 06/10/2015

**FOR REVIEW ONLY**

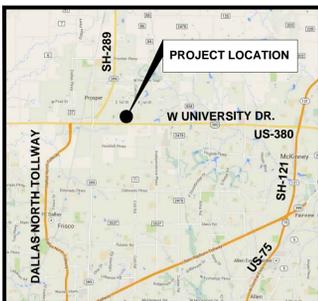
**S15-0005**

**EXHIBIT "A"**

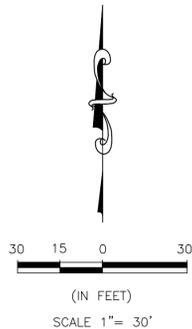
FOR  
**ROGY'S LEARNING PLACE**  
**WHISPERING GABLES ADDITION**  
**LOT 3, BLOCK "A" 1.57 ACRES**  
**H. JAMISON SURVEY, ABSTRACT NO. 480**

**TOWN OF PROSPER**  
**COLLIN COUNTY, TEXAS**

**JUNE 10, 2015**



**LOCATION MAP**  
NTS.

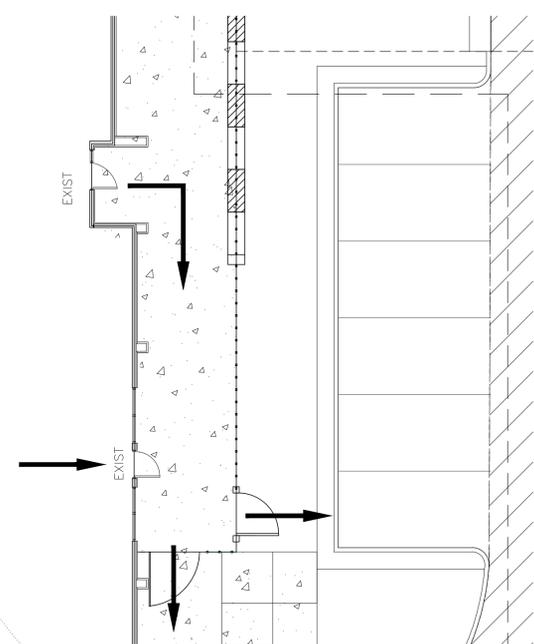
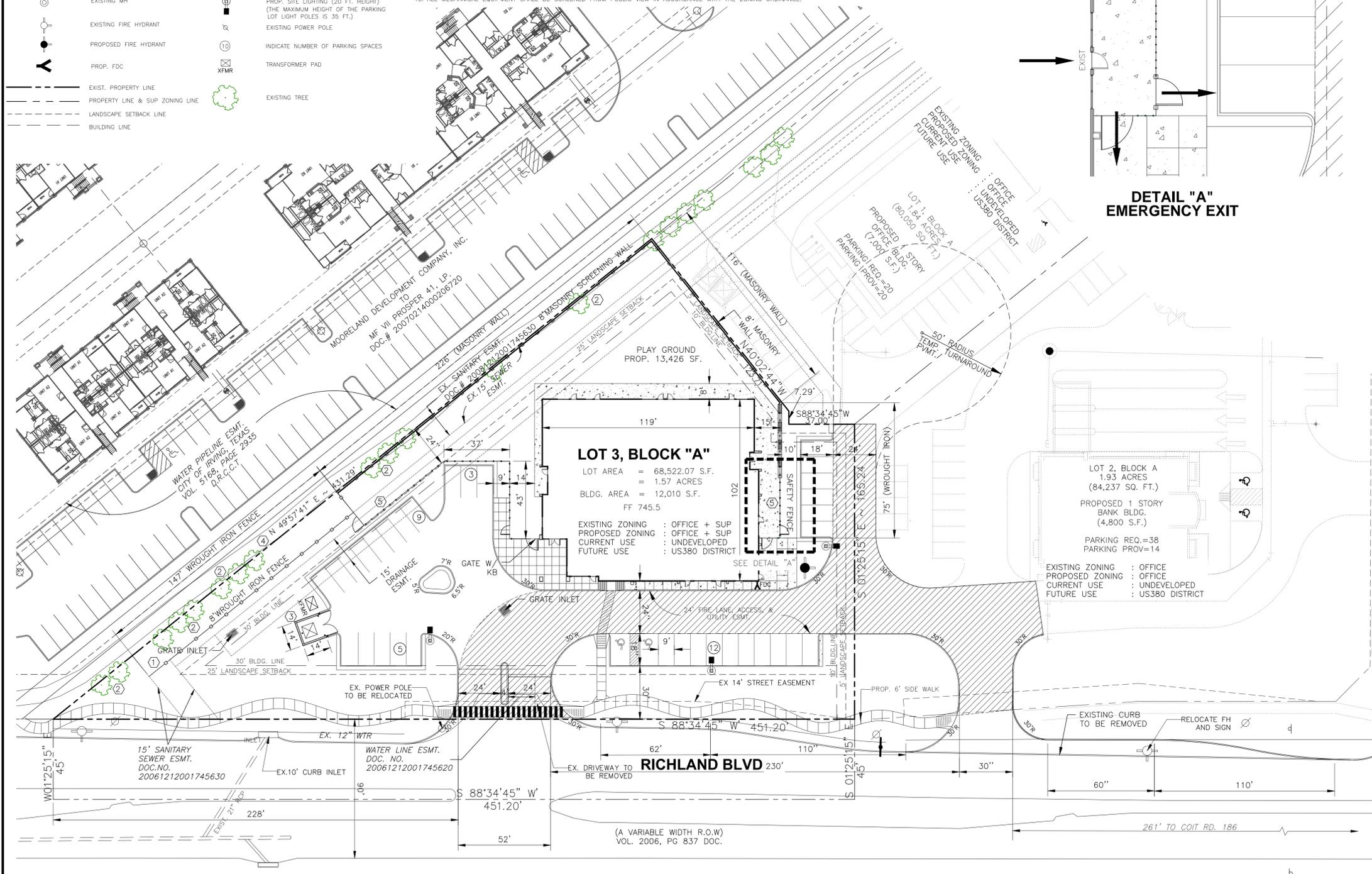


**LEGENDS:**

- EXISTING MH
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROP. FDC
- EXIST. PROPERTY LINE
- PROPERTY LINE & SUP ZONING LINE
- LANDSCAPE SETBACK LINE
- BUILDING LINE
- PROP. SITE LIGHTING (20 FT. HEIGHT) (THE MAXIMUM HEIGHT OF THE PARKING LOT LIGHT POLES IS 35 FT.)
- EXISTING POWER POLE
- INDICATE NUMBER OF PARKING SPACES
- TRANSFORMER PAD
- EXISTING TREE

**SITE PLAN GENERAL NOTES:**

1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
7. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
8. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
9. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
10. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
11. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
12. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
13. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
14. SITE WALKS OF NOT LESS THAN SIX (6') FEET IN WIDTH ALONG THROUGHFARES AND COLLECTORS AND FIVE (5') IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMP AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
15. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
16. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
17. ALL NE ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
18. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.



**DETAIL "A"  
EMERGENCY EXIT**

**NOTE:**

1. 8'-0" WROUGHT IRON FENCE W/ LIVE SCREENING (SEE, LANDSCAPING PLAN)
2. REMOVE EXIST. TREES FROM SOUTH OF THE SIDEWALK AND PLANT THEM ON THE NORTH SIDE OF THE SIDEWALK, ALONG THE PROPERTY LINE. PLANTING WITHIN THE CITY OF IRVING WATER PIPE EASEMENT SHALL REQUIRE APPROVAL BY THE CITY OF IRVING.
3. THE DUMPSTER ENCLOSURE WILL BE 8' IN HEIGHT AND WILL MATCH THE BUILDING MATERIALS.
4. 8' MASONRY WALL (CONSTRUCTED TO MATCH THE MAIN BUILDING)
5. 6' WROUGHT IRON CHILDREN SAFETY FENCE

**SITE DATA SUMMARY TABLE**

DESCRIPTION	LOT 3
<b>GENERAL SITE DATA</b>	
ZONING (FROM ZONING MAP)	OFFICE DISTRICT
LAND USE ( FROM ZONING ORDINANCE )	DAY CARE
LOT AREA ( SQUARE FEET & ACRES)	68,522.07 S.F. (1.57 ACRES)
BUILDING FOOT PRINT AREA ( SQUARE FEET)	12,010 S.F.
TOTAL BUILDING AREA ( SQUARE FEET)	12,010 S.F.
BUILDING HEIGHT (# STORES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	29 FEET
LOT COVERAGE	17.53 %
FLOOR AREA RATIO	17.53 %
<b>PARKING</b>	
PARKING RATIO (STUDENTS) (FROM ZONING ORDINANCE)	15P/10 STUDENTS
PARKING RATIO (TEACHERS) (FROM ZONING ORDINANCE)	15P/TEACHER
REQUIRED PARKING (# SPACES) FOR 120 STUDENTS	12 SP
REQUIRED PARKING (# SPACES) FOR 10 TEACHERS	10 SP
TOTAL REQUIRED PARKING	22 SP
PROVIDED PARKING (# SPACES)	35 SP
ACCESSIBLE PARKING REQUIRED (# SPACES)	2 SP
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SP
PARKING IN EXCESS OF 110% OF REQUIRED PARKING (# SPACES)	0 SP
<b>OPEN SPACE</b>	
OPEN SPACE REQUIRED ( @ 7%) ( SQUARE FEET)	4,797 S.F.
OPEN SPACE PROVIDED ( SQUARE FEET)	11,505 S.F.
<b>PLAY GROUND AREA</b>	
PLAYGROUND AREA (65 S.F PER STUDENT) FOR 190 STUDENTS	12,350 S.F.
PLAYGROUND AREA PROVIDED	13,426 S.F.

**NOTE:**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 480B5C0235 J. DATED JUNE 2, 2009 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS NOT A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR

**FEMA NOTE:**

"NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE."

FOR REVIEW ONLY

EXHIBIT "B"

S15-0005

SITE PLAN

FOR  
**ROGY'S LEARNING PLACE  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK "A" 1.57 ACRES  
H.JAMISON SURVEY, ABSTRACT NO.480**

TOWN OF PROSPER  
COLLIN COUNTY, TEXAS

JUNE 10, 2015

**SITE PLAN**  
FOR  
**ROGY'S LEARNING PLACE  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK "A"**  
THE H. JAMISON SURVEY, ABSTRACT NO.480  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**ROGY'S LEARNING PLACE**  
1619 W. LUTHY DR., PEORIA, IL 61615  
(309) 427-5090 EXT. 1  
(309) 369-3958 CELL

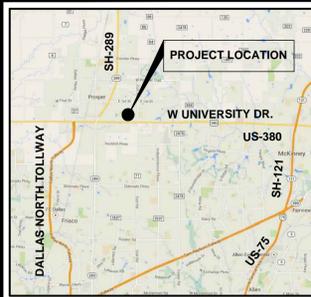
**ASA ENGINEERING**  
1784 WINDYBROOK ROAD, SUITE 215  
DALLAS, TEXAS 75222  
TEL: 972.414.1234 FAX: 972.414.1235  
TIRELLA, FRM REGISTERED NO. 09043

SCALE: AS SHOWN  
DESIGNED BY: PSA  
DRAWN BY: PSA  
CHECKED BY: PSA  
PROJECT NO. 21517.RLP

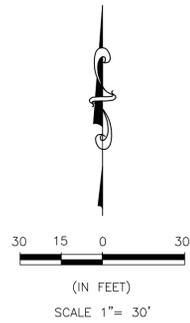
SHEET  
**C-1**  
JUNE 10, 2015

REMAINDER OF  
MUSTANG-MIDWAY PLANO, LTD  
DOC. NO. 96-0038753

Y:\2015\21517\PROJECT\CURRENT\21517\_SHEET\_SETUP.SET\_REVISD 15-06-2015\ASB\B1 & SITE PLAN.dwg

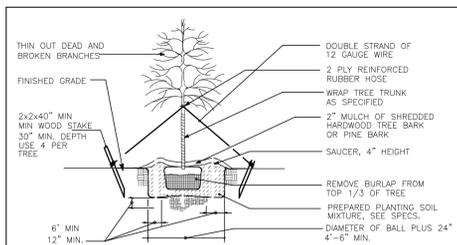


**LOCATION MAP**  
NTS.

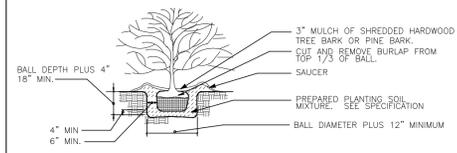


**LEGEND:**

	LIVE OAK (4")		EXISTING MH
	CADDO MAPLE (3")		EXISTING FIRE HYDRANT
	CRAPE MYRTLE (3")		PROPOSED FIRE HYDRANT
	TEXAS REDBUD (3")		PROP. FDC
	INDIAN HAWTHORN (PINK LADY) 5 GAL.		PROP. SITE LIGHTING (20 FT. HEIGHT) (THE MAXIMUM HEIGHT OF THE PARKING LOT LIGHT POLES IS 35 FT.)
	NRS HOLLY (45 GAL.)		EXISTING POWER POLE
	BURMUDA GRASS		TRANSFORMER PAD
	EXISTING TREE		



**LARGE TREE STAKING DETAIL**  
NTS. FOR TREES UNDER 3 1/2" CALIPER



**SHRUB PLANTING DETAIL**  
NTS.

**TREE**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE
17	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER 12-14' HT. 7-8" SP. FULL MATCHING.
16	CADDO MAPLE	ACER SACCHARUM	3" CALIPER 10-12' HT. 4-5" SP. FULL MATCHING.
2	CRAPE MYRTLE (RED)	LAGERSTROEMIA INDICA	6-8' HT., 4-5" SP., MULTI TRUNK, FULL MATCHING
2	TEXAS REDBUD	CERCIS CANADENSIS TEXANA	6-8' HT., 4-5" SP., FULLMATCHING

**SHRUBS & GROUND COVER LAWN**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE
21	NRS HOLLY	NELLIE R. STEVENS' HOLLY	45 GAL. 8" HT. FULL POT, WELL ROOTED, 4" O.C.
224	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA	5 GAL. FULL POT, WELL ROOTED.
25,320SF.	BURMUDAGRASS	HEMERCALLISCYNODON DACTYLON	HYDROMULCHHEAD

**LANDSCAPE REQUIREMENTS**

RICHLAND BLVD FRONTAGE  
REQUIRED 13 - 4" CAL SHADE TREES PROVIDED 13 - 4" CAL SHADE TREES  
SHRUBS REQUIRED 165 - 5 GAL (15 PER 30' F)  
PROVIDED 165 - 5 GAL

PARKING LOT TREE  
REQUIRED 2 - 3" CAL SHADE TREES PROVIDED 8 - 3" CAL SHADE TREES

LANDSCAPE BUFFER TREES PROVIDED ALONG THE NE PROP LINE @ 30' O.C.  
REQUIRED 14 - 3" CAL TREES PROVIDED 14 - 3" CAL TREES

SMALL TREES AND SHRUBS PROVIDED ALONG THE EAST PROP LINE  
PARAMETER LANDSCAPE SMALL TREE REQUIRED 0 PROVIDED 0  
SHRUBS REQUIRED 0 - 5 GAL PROVIDED 0 - 5 GAL

PLAY AREA IS SECURED WITH 8' HT MASONRY FENCE WALL

**PLANTING NOTES**

- USE 1/4" STEEL EDGING (PAINTED GREEN)
- USE 4" "ODD EARTH" OR EQUIVALENT PLANTING MIX FOR BED PREPARATIONS  
ROTOTILL BED MIX TO DEPTH OF 12" MINIMUM
- ALL THE LAWN AREAS TO BE HYDROMULCHED BURMUDA GRASS
- TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH, AFTER PLANTING OPERATION
- THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATED SYSTEM WITH RAIN, FREEZE & WIND SENSOR THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED
- THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTING THE REQUIRED LANDSCAPING MUST BE MAINTAIN IN A HEALTHY GROWING CONDITION AT ALL TIMES
- PARKWAY SHALL HAVE A MINIMUM OF SIX(6) INCHES OF TOPSOIL
- NO TREE MAY BE PLANTED UNDERNEATH POWERLINE

**NOTES**

A FENCE PERMIT WILL BE REQUIRED TO BE SUBMITTED AND APPROVED BY THE TOWN

**LANDSCAPE AREA**

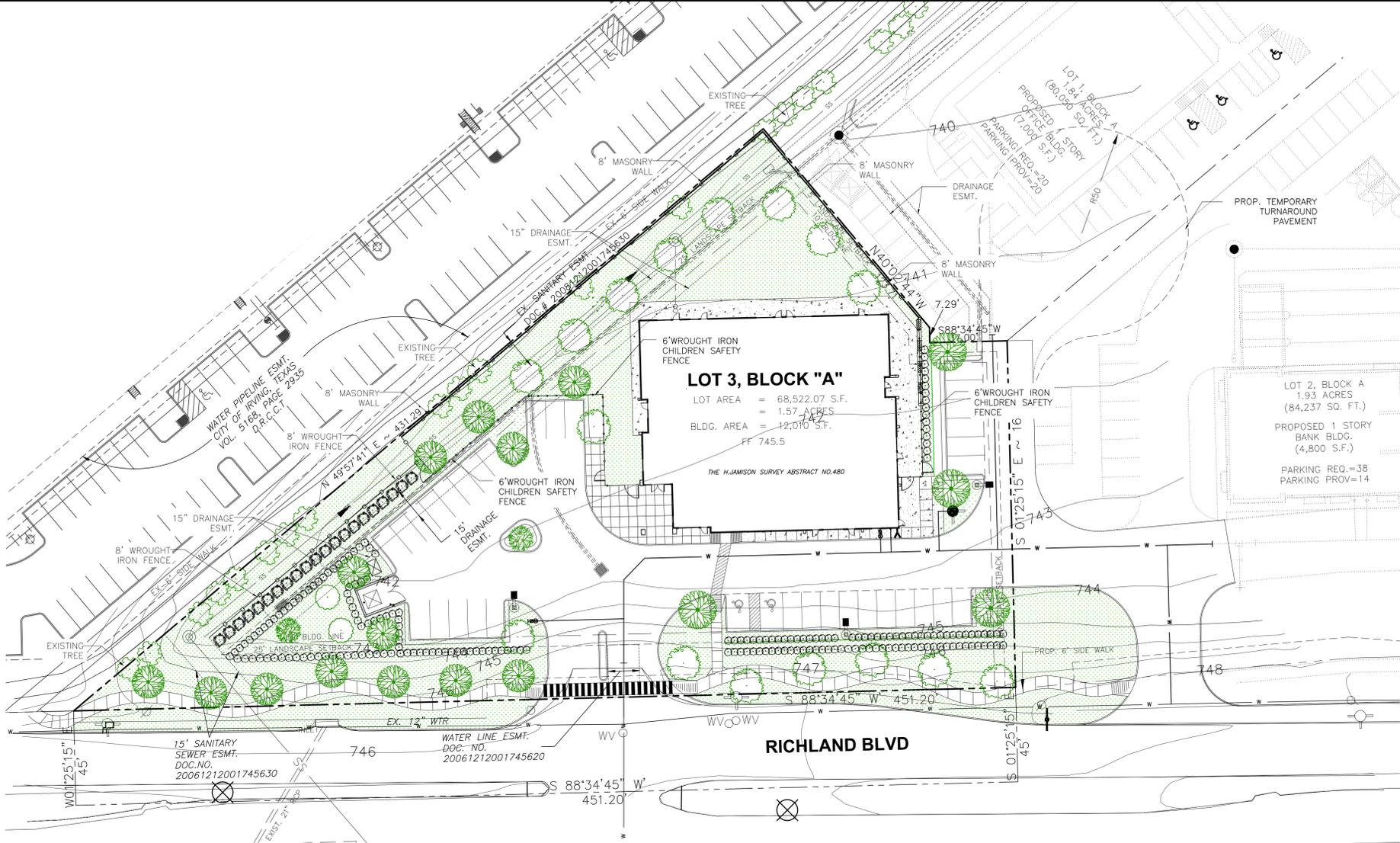
TOTAL LOT AREA 68,522.07 SF.  
(1.57 ACRES)

BLDG AREA 12,010 SF.

TOTAL OPEN AREA 10,251 SF.

TOTAL NUMBER OF PARKING SPACES

REQUIRED 22 SP.  
ACCESSIBLE REQUIRED 2 SP.  
ACCESSIBLE PROVIDED 2 SP.  
PROVIDED 36 SP.



FOR REVIEW ONLY

**S15-0005**  
**EXHIBIT "C"**  
**LANDSCAPE PLAN**  
FOR  
**ROGY'S LEARNING PLACE**  
**WHISPERING GABLES ADDITION**  
**LOT 3, BLOCK "A" 1.57 ACRES**  
**H.JAMISON SURVEY, ABSTRACT NO.480**

**OWNER**  
**MICHAEL CRISE**  
175 RIDGE ROAD, SUITE 600  
MCKINNEY, TX 75070-5108  
(214) 726-0468

**TOWN OF PROSPER**  
**COLLIN COUNTY, TEXAS**  
**JUNE 10, 2015**

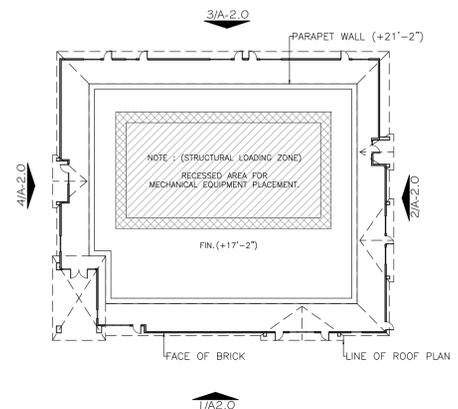
**LANDSCAPE PLAN**  
FOR  
ROGY'S LEARNING PLACE  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK "A"  
THE H. JAMISON SURVEY, ABSTRACT NO.480  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

ROGY'S LEARNING PLACE  
1619 W. LUTHEY DR. PEORIA, IL 61615  
(309) 427-5090 EXT.1  
(309) 369-3958 CELL

**ASA ENGINEERING**  
1780 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-8651 FAX (972) 248-8681  
T.E.P.E. FIRM LICENSE NO. 14075  
T.E.P.E.S. FIRM REGISTRATION NO. 104633

SCALE: AS SHOWN  
DESIGNED BY: PSA  
DRAWN BY: PSA  
CHECKED BY: PSA  
PROJECT NO. 21517.RLP

**SHEET**  
**LP-1**  
JUNE 10, 2015



**MATERIALS LEGEND:**

- ROOF:** LAMINATED ASPHALT SHINGLE BY CERTAINTED SELECTED #0 "RUSTIC SLATE COLOR"
- MR#01:** STONE VENEER BY VENEER STONE "SELECTED PACIFIC LEDGESTONE MILLSAP COLOR"
- MR#02:** BRICK VENEER STANDARD SIZE BY ACME BRICK "THIN BRICK HARVARD-O COLOR"
- MR#03(L):** E.I.F.S. COLOR MATCH TO SHERWIN-WILLIAMS PANTONE "SW 6371 - VANILIN"

**MATERIALS CALCULATIONS TABLE:**

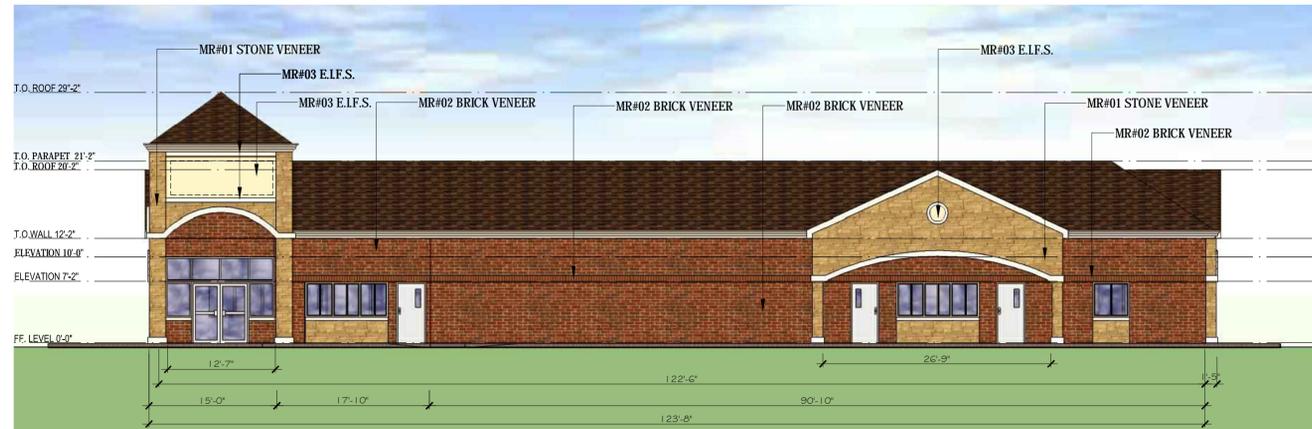
DESCRIPTION	SOUTH ( FRONT SIDE )		NORTH ( REAR SIDE )		WEST ( LEFT SIDE )		EAST ( RIGHT SIDE )	
	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
TOTAL OF ELEVATION AREA	1,778 S.F.	-	1,490 S.F.	-	1,546 S.F.	-	1,478 S.F.	-
AREA OF WINDOWS & DOORS	217 S.F.	-	236 S.F.	-	43 S.F.	-	113 S.F.	-
NET AREA (EXCLUSIVE OF W4D)	1,561 S.F.	100%	1,254 S.F.	100%	1,503 S.F.	100%	1,365 S.F.	100%
DESCRIPTION	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA
MR#01 - STONE VENEER	377 S.F.	25%	161 S.F.	13%	283 S.F.	19%	282 S.F.	20%
MR#02 - BRICK VENEER	1,106 S.F.	70%	1,057 S.F.	84%	1,083 S.F.	72%	1,045 S.F.	76%
MR#03 - E.I.F.S.	78 S.F.	5%	36	3%	137 S.F.	9%	38 S.F.	4%
DOOR	71 S.F.	-	118 S.F.	-	24 S.F.	-	69 S.F.	-
GLAZING	146 S.F.	-	118 S.F.	-	19 S.F.	-	44 S.F.	-

**FACADE PLAN NOTES:**

1. THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DEPARTMENT.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
3. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DEPARTMENT. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

**FLOOR PLAN**  
NTS

FOR REVIEW ONLY



**1 SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

**LINE LEGEND:**

- ELEVATION GRID
- WALL MOUNTED SIGNAGE AREA

**LEGEND:**

- T.O. = TOP OF
- F.F. = FINISHED FLOOR
- M.R. = MATERIAL

**ASA SURVEYOR ENGINEERING**  
17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651 FAX (972) 248-9681

**APPLICANT**  
**DAWN ROGY-MEYER**  
ROGY'S LEARNING PLACE  
1619 W. LUTHY DR.,  
PEORIA, IL 61615  
(309) 427-5090 EXT.1  
(309) 369-3958 CELL

**OWNER**  
**MICHAEL CRISE**  
175 RIDGE ROAD, SUITE 600  
MCKINNEY, TX 75070-5108  
(214) 726-0468

**S15-0005**  
**EXHIBIT "D"**  
**EXTERIOR ELEVATIONS**  
FOR  
**ROGY'S LEARNING PLACE**  
**WHISPERING GABLES ADDITION**  
LOT 3, BLOCK "A" 1.57 ACRES  
H.JAMISON SURVEY, ABSTRACT NO.480  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS  
JUNE 10, 2015

**EXTERIOR ELEVATIONS**  
FOR  
ROGY'S LEARNING PLACE  
WHISPERING GABLES ADDITION  
LOT 3, BLOCK "A"  
THE H. JAMISON SURVEY, ABSTRACT NO.480  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

ROGY'S LEARNING PLACE  
1619 W. LUTHY DR. PEORIA, IL 61615  
(309) 427-5090 EXT.1  
(309) 369-3958 CELL

**ASA ENGINEERING**  
1819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651 FAX (972) 248-9681  
T.E.P.E. FIRM LICENSED NO. F-6974  
T.E.P.L.S. FIRM REGISTERED NO. 00043

SCALE: AS SHOWN  
DESIGNED BY: PSA  
DRAWN BY: PSA  
CHECKED BY: PSA  
PROJECT NO. 21517.RLP

SHEET  
**A-1**  
JUNE 10, 2015

Y:\2015\21517\ALP\CURRENT\9-SHEET SET\SUP SET\_REVISED\_15-06-10\EXHIBIT D EXTERIOR ELEVATIONS.dwg



**DEVELOPMENT SERVICES  
DEPARTMENT**  
P.O. Box 307  
Prosper, TX 75078  
Phone: 972-346-3502  
Fax: 972-347-2842

**REPLY FORM**

**SUBJECT:**

Specific Use Permit Case S15-0005: The Town of Prosper has received a request for an amendment to Specific Use Permit-8 (SUP-8) for a Child Day Care Center, on 1.6± acres.

**LOCATION OF SUBJECT PROPERTY:**

The property is located on the north side of Richland Boulevard, 300± feet west of Coit Road.

**DESCRIPTION OF THE REQUEST:**

The purpose of the amendment is to facilitate the development of a Child Day Care Center. A Specific Use Permit is an opportunity to approve, conditionally approve, or deny identified specific uses that may be permitted in specified zoning districts. These uses generally have, among other things, unusual nuisance characteristics or are of a public or semi-public character and are often essential or desirable for the general public conveniences and welfare of the community.

- I **OPPOSE** the request as described in the notice of public hearing. If in opposition, please provide a reason for opposition.
- I **DO NOT OPPOSE** the request as described in the notice of public hearing.

COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):

---

---

---

---

Michael Cris  
Name (please print)

5801 Creekside Ct.  
Address

McKinney, TX 75071  
City, State, and Zip Code

Michael Cris  
Signature

6-9-15  
Date

mcrisemcrise@hotmail.com  
E-mail Address



**PLANNING**

**To: Planning & Zoning Commission**  
**From: Alex Glushko, AICP, Senior Planner**  
**Through: John Webb, AICP, Director of Development Services**  
**Re: Planning & Zoning Commission Meeting – June 16, 2015**

**Agenda Item:**

Conduct a Public Hearing, and consider and act upon an amendment to Planned Development-38 (PD-38), on 83.6± acres, located on the northeast corner of US 380 and Coit Road. (Z15-0008).

**Description of Agenda Item:**

The zoning and land use of the surrounding properties are as follows:

	<b>Zoning</b>	<b>Current Land Use</b>	<b>Future Land Use Plan</b>
<b>Subject Property</b>	Planned Development-38-Retail	Undeveloped	US 380 District
<b>North</b>	Planned Development-25-Single Family	Prosper Independent School District (Rogers Middle School)	US 380 District
<b>East</b>	Planned Development-25-Mixed Use	Undeveloped	US 380 District
<b>South</b>	City of McKinney	City of McKinney	City of McKinney
<b>West</b>	Planned Development-2 Corridor District	Undeveloped	US 380 District

**Requested Zoning/Background** – Z15-0008 is a request to amend Planned Development-38 (PD-38), on 83.6± acres, located on the northeast corner of US 380 and Coit Road. The original PD-38 (attached) was approved by the Town Council in 2007 in response to a request by Alberta Development Partners to create a unified retail center on the 83.6-acre tract of land. The PD requires development to be conformance with the adopted plan (Exhibit of E of the PD) and architectural standards (Exhibit F of the PD).

Over the past several years, the single tract has been sold by metes and bounds to various owners. The owner of the western-most tract (Tract A) desires to deviate from the development plan as established by the PD in order to develop a CVS Pharmacy at the NEC of US 380 and Coit Road. This action in combination with the split of the parent tract necessitates the amendment of the entire area of PD-38. Without formally amending the PD, development of any portion of the 83.6-acre site will not be permitted.

In conjunction with the applicant's request to amend the portion of the PD to accommodate the CVS Pharmacy, the Town initiated a zoning change for the remainder of PD-38 (see attached letter to the property owners).

The proposed rezoning would allow each landowner to develop their property independently. A Conceptual Development Plan has been included for Tract A; however the proposed rezoning would require a Conceptual Development Plan prior to development of Tracts B, C, and D. Conceptual Development Plans include a site layout in accordance with Exhibit D and architectural elevations in accordance with Exhibit F, and require approval by the Planning & Zoning Commission and Town Council.

The proposed PD allows for development of the property in accordance zoning Exhibit C (development standards), Exhibit D (conceptual development plan), Exhibit F (conceptual architectural elevations), and Exhibit G (conceptual landscape plans), and in accordance with the Retail (R) District, with the exception of the following standards which vary from the Town's requirements:

1. Uses – The proposed PD limits the list of uses as identified on Exhibit C, Section A.3 and B.3
2. Landscaping – Around the perimeter of the property, the proposed PD generally requires four-inch caliper trees, planted on twenty or twenty-five-foot centers, while the Zoning Ordinance requires three-inch caliper trees, planted on thirty-foot centers, and the proposed PD generally requires forty, five-gallon shrubs or twenty, ten-gallon shrubs planted on thirty-foot centers, while the Zoning Ordinance requires fifteen, five-gallon shrubs, planted on thirty-foot centers. The proposed PD generally requires three to four-foot berms, while the Zoning Ordinance does not require berms. The proposed PD requires added screening for loading areas along Richland Boulevard and allows for trees required in conjunction with parking islands within the fifty-foot utility easement to be relocated elsewhere on the property.
3. Utility Power Lines – The proposed PD requires new utility distribution and service lines to be placed underground, while the Zoning Ordinance does not currently have this requirement.
4. Detention Ponds – The proposed PD requires above ground detention to be a constant water level, while the Zoning Ordinance does not currently have this requirement.

The existing PD includes a comprehensive set of architectural requirements, as shown on Exhibit F of the existing PD. This exhibit details and defines the architectural design, character, and standards for the property. It specifically defines the architectural design, character, and standards for "High Visibility Retail Area," "Major and Junior Anchor," and "Pad Site" areas.

The CVS Pharmacy proposed for development is located in a "High Visibility Retail Area," and the architectural design and character for that area is shown on Exhibit F.3 of the existing PD. As shown on Exhibit F of the proposed PD, the applicant is proposing to construct a building that meets the minimum requirements of the Zoning Ordinance, and does not match the design and character shown on the existing PD. The original PD envisioned that the buildings near the

northeast corner of Coit and US 380, site of the proposed CVS, “frame” the corner by locating the buildings near the corner and placing the parking interior to the site. CVS desires to develop a typical suburban layout with the parking field located between US 380 and Coit Road and the building. Staff understands the issues of locating a building adjacent to the street in that there has to be a “back side” of the building with service/loading areas. However, staff believes the proposed CVS façade plan does not respect the intent of the original PD by creating a high quality building at the high visibility entryway into the Town. Therefore, staff recommends the architectural design and character of the elevations shown on Exhibit F.3 of the original PD remain in place.

Future Land Use Plan – The Future Land Use Plan recommends US 380 District for the property. The proposed rezoning request conforms to the Future Land Use Plan.

Thoroughfare Plan – The property is adjacent to US 380, an existing major thoroughfare, and Coit Road an existing minor thoroughfare. The zoning exhibit complies with the Thoroughfare Plan.

Water and Sanitary Sewer Services – Water service has been extended to the property. Sanitary sewer service will need to be extended to the site prior to or with development.

Access – Access to the property will be provided from US 380, Coit Road, and Richland Boulevard.

Schools – This property is served by the Prosper Independent School District (PISD). It is not anticipated that a school site will be needed on this property.

Parks – It is not anticipated that this property will be needed for the development of a park.

Environmental Considerations – There is no 100-year floodplain located on the property.

**Legal Obligations and Review:**

Notification was provided to neighboring property owners as required by state law. Town staff has received one Public Hearing Notice Reply form; not in opposition to the request.

**Attached Documents:**

1. Zoning map of the surrounding area
2. Existing PD-38
3. Proposed PD Exhibits A, B, D, E, F, and G
4. Letter to Property Owners
5. Public Hearing Notice Reply form

**Town Staff Recommendation:**

Town staff recommends the Planning & Zoning Commission approve an amendment to Planned Development-38 (PD-38), being 83.6± acres, located on the northeast corner of Coit Road and US 380, subject to:

1. Replacing proposed PD Exhibit F with existing PD Exhibit F.3

**Town Council Public Hearing:**

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town’s Development Schedule, a public hearing for this item would be scheduled for the Town Council at their Regular meeting on July 14, 2015.

SF-10  
PD-6

MF  
PD-2

S-8

SCOTT RD

SF  
PD-25

RICHLAND BLVD

M  
PD-25

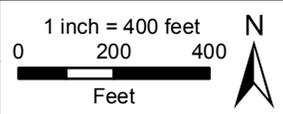
COR  
PD-2

R  
PD-38

Z15-0008

E UNIVERSITY DR

COIT RD



## TOWN OF PROSPER, TEXAS

## ORDINANCE NO. 07-088

**AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE NO. 05-20 AND ORDINANCE 06-73; REZONING A TRACT OF LAND CONSISTING OF 83.608 ACRES, MORE OR LESS, SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS, HERETOFORE ZONED PLANNED DEVELOPMENT-25-COMMERCIAL/MIXED USE (PD-25) IS HEREBY REZONED AND PLACED IN THE ZONING CLASSIFICATION OF PLANNED DEVELOPMENT-RETAIL (PD-R); DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.**

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that Zoning Ordinance No. 05-20 and Ordinance No. 06-73 should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper") has received a request from Alberta Development Partners LLC. ("Applicant") to rezone 83.608 acres of land, more or less, situated in the I.C. Williamson Survey, Abstract No. 948, in the Town of Prosper, Collin County, Texas; and

WHEREAS, the Town Council has investigated into and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required for rezoning have been given in the manner and form set forth by law, and public hearings have been held on the proposed rezoning and all other requirements of notice and completion of such zoning procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Amendments to Zoning Ordinance No. 05-20 and Ordinance No. 06-73. Zoning Ordinance No. 05-20 and Ordinance No. 06-73 is amended as follows: The zoning designation of the below-described property containing 83.608 acres of land, more or less, situated in the I.C. Williamson Survey, Abstract No. 948, in the Town of Prosper, Collin County, Texas, (the "Property") and all streets, roads and alleyways contiguous and/or adjacent thereto is hereby rezoned as Planned Development-Retail

(PD-R). The property as a whole and the boundaries for each zoning classification are more particularly described in Exhibit "A" attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Planned Development District shall conform to, and comply with 1) the statement of intent and purpose, attached hereto as Exhibit "B"; 2) the planned development standards, attached hereto as Exhibit "C"; 3) the conceptual development plan, attached hereto as Exhibit "D"; 4) the conceptual landscape plans, attached hereto as Exhibit "E"; 5) and the conceptual building elevations, attached hereto as Exhibit "F"; which are incorporated herein for all purposes as if set forth verbatim. Except as amended by this Ordinance, the development of the Property within this Planned Development District must comply with the requirements of all ordinances, rules, and regulations of Prosper, as they currently exist or may be amended.

Three original, official and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. Two (2) copies shall be filed with the Town Secretary and retained as original records and shall not be changed in any matter.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy and enforcing the Zoning Ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

Written notice of any amendment to this Planned Development District shall be sent to all property owners within two hundred feet (200') of the specific area to be amended.

**SECTION 3: No Vested Interest/Repeal.** No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

**SECTION 4: Unlawful Use of Premises.** It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

**SECTION 5: Penalty.** Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars

(\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 7: Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8: Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS ON THIS 23<sup>rd</sup> DAY OF OCTOBER, 2007.

APPROVED AS TO FORM:



Charles Niswanger, Mayor

ATTESTED TO AND  
CORRECTLY RECORDED BY:



Matthew Denton, TRMC  
Town Secretary



DATE OF PUBLICATION: NOVEMBER 1, 2007, *Dallas Morning News* Collin County  
*Addition*

FIELD NOTE DESCRIPTION

STATE OF TEXAS  
COUNTY OF COLLIN

BEING a tract of land situated in the I.C. WILLIAMSON SURVEY, Abstract No. 948, Collin County, Texas and being a portion of a tract of land as described in a deed to W.H. Rasor, III et al as recorded in County Clerk's Number 97-0088102 of the Deed Records of Collin County, Texas ( DRCCCT ) and being more particularly described as follows:

BEGINNING at a point found at the intersection of the centerline of STATE HIGHWAY NO. 380 ( variable width Right-of-Way ) and the centerline of COIT ROAD ( variable width Right-of-Way );

THENCE departing said centerline of said STATE HIGHWAY NO. 380 and along the centerline of said COIT ROAD North 00 deg 12 min 56 sec West a distance of 1098.99 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for corner;

THENCE departing the centerline of said COIT ROAD and along the northerly line of said Rasor tract as follows:

North 89 deg 30 min 41 sec East a distance of 460.65 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for the beginning of a curve to the left having a radius of 1100.00 feet, and having a chord bearing North 75 deg 03 min 44 sec East and a chord distance of 548.95 feet;

Continuing along said curve to the left through a central angle of 28 deg 03 min 55 sec for an arc length of 554.81 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for the beginning of a curve to the right having a radius of 1100.00 feet, and having a chord bearing North 75 deg 03 min 44 sec East and a chord distance of 548.95 feet;

Continuing along said curve to the right through a central angle of 28°53'55" for an arc length of 554.81 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for corner;

North 89 deg 30 min 41 sec East a distance of 250.25 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for the beginning of a curve to the left having a radius of 1100.00 feet, and having a chord bearing North 77 deg 19 min 12 sec East and a chord distance of 464.59 feet;

Continuing along said curve to the left through a central angle of 24 deg 22 min 58 sec for an arc length of 468.12 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for corner;

THENCE North 54 deg 09 min 42 sec East a distance of 625.18 feet to a 1/2 inch iron rod with a red plastic cap stamped "W.A.I." set for corner;

THENCE departing said north line of 78.623 Acres tract South 00 deg 26 min 41 sec East a distance of 1831.83 feet to a point for corner, said point being in the centerline of said STATE HIGHWAY NO. 380;

THENCE along said centerline of STATE HIGHWAY NO. 380 South 89 deg 33 min 19 sec West a distance of 2741.93 feet to the POINT OF BEGINNING;

Containing within these metes and bounds is 83.608 acres or 3,641,949 square feet of land more or less.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used for conveyance or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

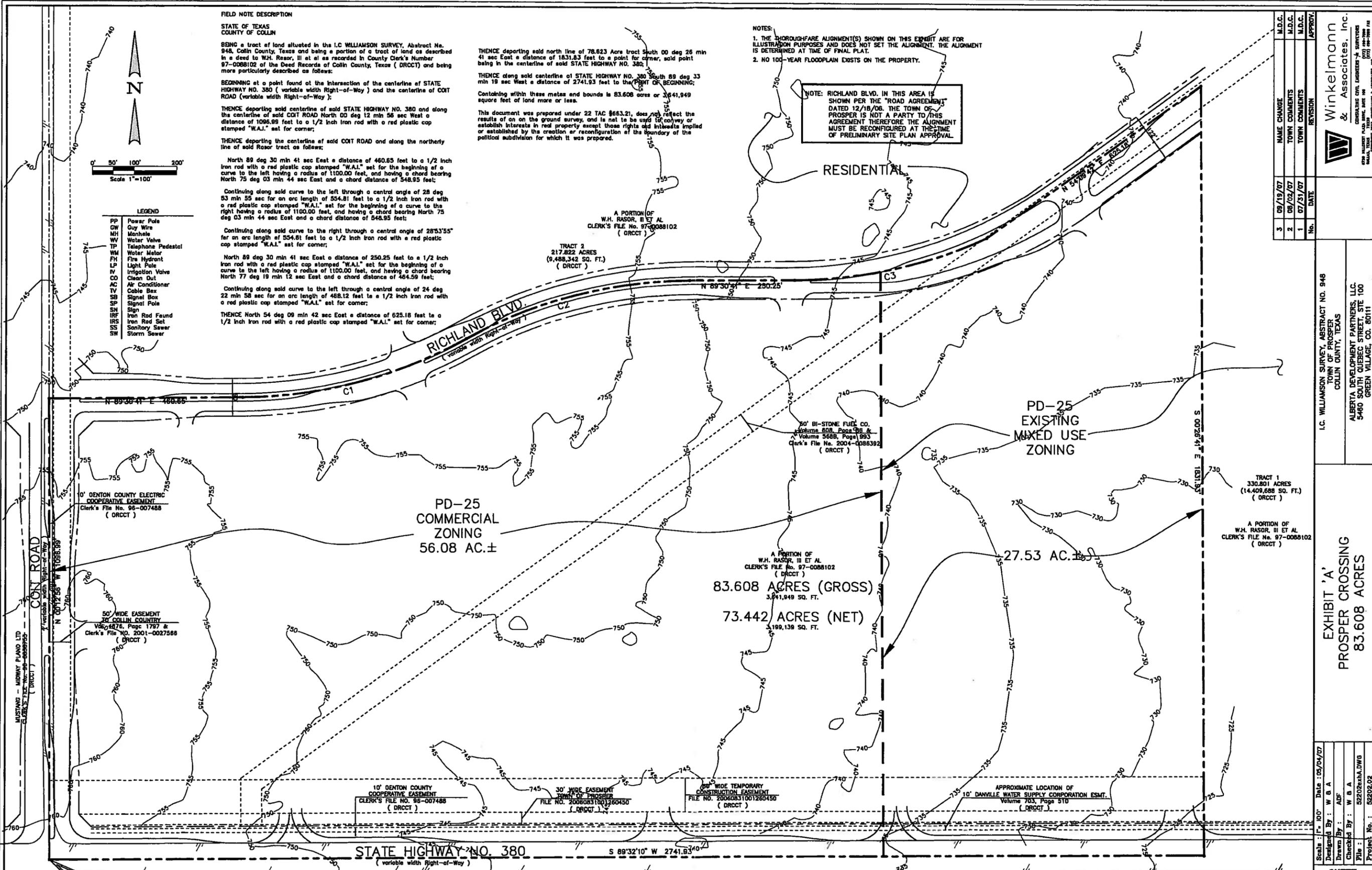
NOTES:  
1. THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.  
2. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.

NOTE: RICHLAND BLVD. IN THIS AREA IS SHOWN PER THE "ROAD AGREEMENT" DATED 12/18/06. THE TOWN OF PROSPER IS NOT A PARTY TO THIS AGREEMENT THEREFORE THE ALIGNMENT MUST BE RECONFIGURED AT THE TIME OF PRELIMINARY SITE PLAN APPROVAL.



LEGEND

- PP Power Pole
- GW Guy Wire
- MH Manhole
- WV Water Valve
- TP Telephone Pedestal
- WM Water Meter
- FH Fire Hydrant
- LP Light Pole
- IV Irrigation Valve
- CO Clean Out
- AC Air Conditioner
- TV TV
- SB Signal Box
- SP Signal Pole
- SN Sign
- IRF Iron Rod Found
- IRS Iron Rod Set
- MS Manhole Set
- SS Storm Sewer



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1100.00	554.81	548.95	N 75°03'44" E 743'	28°03'55"
C2	7500.00	554.81	548.95	N 75°03'44" E 743'	28°03'55"
C3	1100.00	468.12	464.59	N 77°19'12" E 464'	24°22'58"

FLOOD NOTE  
According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 480141-0280G, dated January 19th, 1995, the property is within Flood Zone X. Zone X - Areas determined to be outside the 500-year floodplain.  
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

No.	DATE	REVISION	TOWN COMMENTS	M.D.C.	APPROVAL
3	09/19/07				
2	08/02/07				
1	07/31/07				

**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS & SURVEYORS  
5460 SOUTH QUEBEC STREET, SUITE 100  
GREEN VILLAGE, CO. 80111  
PHONE: (702) 496-7888  
FAX: (702) 496-7889  
E-MAIL: WINKELMANN@WINKELMANN.COM

I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS  
ALBERTA DEVELOPMENT PARTNERS, L.L.C.  
5460 SOUTH QUEBEC STREET, STE 100  
GREEN VILLAGE, CO. 80111

EXHIBIT 'A'  
PROSPER CROSSING  
83.608 ACRES

Scale: 1" = 100' Date: 09/04/07  
Designed By: W & A  
Drawn By: ADF  
Checked By: W & A  
Title: 52202raaA.DWG  
Project No.: 52202.02

SHEET  
1  
OF  
1

**EXHIBIT B**

**ZONING FILE NO. Z07-14**  
**PROSPER CROSSING**  
**NE Corner**  
**US 380 and Coit Road**

**PLANNED DEVELOPMENT CONDITIONS**

- I. Statement of Intent:** Remove total acreage from the Brookhollow Pd 25 and create an individual planned development in accordance with underlying retail zoning.
- II. Statement of Purpose:** The purpose of this Planned Development District is to create development that occurs within the area designated by this Planned Development that encourages the following uses.
- Larger anchor uses
  - Family, sit-down restaurants
  - Upscale retail shops
  - Individual pad site uses
  - Entertainment uses
  - Health clubs
  - All retail and office uses

EXHIBIT C

ZONING FILE NO. Z07-14  
PROSPER CROSSING  
NE Corner  
US 380 and Coit Road

PLANNED DEVELOPMENT CONDITIONS

- I. **Statement of Effect:** Exhibit C shall not affect any regulation found in the Zoning Ordinance, Ordinance No. 05-20, as it exists or may be amended, except as specifically provided herein.
- II. **General Regulations:** All regulations of the R (Retail) District set forth in Chapter 2, Section 20 of the Comprehensive Zoning Ordinance are included by reference and shall apply except as otherwise specified by this ordinance.
- III. **Development Plans:**
- A. Concept Plan: Development shall be in general conformance with the approved concept plan set forth in Exhibit C; however, in the event of conflict between the concept plan and the conditions, the conditions shall prevail.
- B. Landscape Plan: Landscaping shall comply with Town standards and the standards listed in Section IV(C) of this exhibit and be in general conformance with the approved concept Landscape Plan and the associated cross sections set forth as Exhibits E, E.1, E.2, E.3, E.4, and E.5. In the event of a conflict between Town standards and the standards listed in Section IV(C) of this exhibit, the most restrictive standards shall apply.
- C. Elevations: Building Elevations shall comply with Town standards and the standards as set forth in Sections 1, 2, and 3 of Exhibit F and be in general conformance with Exhibits F.1, F.2, F.3, and F.4. In the event of a conflict between Town standards and the standards listed in Exhibit F, the most restrictive standards shall apply.
- IV. **Specific Regulations:**
- A. Permitted Uses  
(C) conditional development standards must be met per the Zoning Ordinance, No. 05-20, as it exists or may be amended.  
(SUP) permitted with the approval of a specific use permit  
**List of permitted Uses:**
1. Accessory Building
  2. Administrative, Medical, or Professional Office
  3. Antenna and/or Antenna Support Structure, Commercial (C)/(SUP)
  4. Antenna and/or Antenna Support Structure, Non- Commercial (C)

EXHIBIT C

**Planned Development Conditions**

**Zoning File Z07-14**

Page 2

5. Antique Shop
6. Artisan's Workshop
7. Auto Parts Sales, Inside
8. Automobile Repair, Minor
9. Bank, Savings and Loan, or Credit Union with drive thru facilities
10. Beauty Salon/ Barber Shop
11. Bed and Breakfast Inn
12. Beer & Wine Package Sales (C)
13. Building Material and Hardware Sales, Major or Minor
14. Business Service
15. Cabinet/Upholstery Shop
16. Car Wash
17. Caretaker's/Guard Residence
18. Civic /Convention Center
19. College, University, Trade or Private Boarding School
20. Commercial Amusement, Indoor
21. Community Center
22. Convenience Store with Gas Pumps (C)
23. Convenience Store without Gas Pumps
24. Day Care Center, Child (C)
25. Dry Cleaning, Minor
26. Farmer's Market
27. Feed Store
28. Furniture, Home Furnishings and Appliance Store
29. Gas Pumps (C)
30. Governmental Office
31. Gunsmith
32. Gymnastics/Dance Studio
33. Health/Fitness Center
34. Homebuilder Marketing Center
35. Hospital
36. Hotel (C)
37. House of Worship
38. Household Appliance Service and Repair
39. Insurance Office
40. Locksmith/Security System Company
41. Massage Therapy, Licensed
42. Motel (SUP)
43. Motorcycle Sales/Service (SUP)
44. Municipal Uses Operated by the Town of Prosper
45. Museum/ Art Gallery
46. Nursery, Minor
47. Office/Showroom
48. Park or Playground
49. Pet Day Care as an accessory use (C)
50. Print Shop, Minor

**EXHIBIT C**

**Planned Development Conditions**  
**Zoning File Z07-14**  
**Page 3**

51. Private Club (SUP)
52. Private Recreation Center
53. Private Utility, Other Than Listed
54. Residence Hotel (C)
55. Restaurant or Cafeteria including drive thru
56. Restaurant, Drive-In
57. Retail Stores and Shops
58. Retail/Service Incidental Use
59. School, Private or Parochial
60. School, Public
61. Stealth Antenna, Commercial (C)
62. Temporary Building (C)
63. Theatre, Neighborhood
64. Theatre, Regional
65. Utility Distribution/Transmission Facility
66. Veterinarian Clinic and/or Kennel, Indoor

**B. Area and Yard Regulations**

1. Front yard setback: 30'
2. Setbacks From Property Lines Not Adjacent to Streets:
  - a. Side Yard/ Rear Yard -Per City Zoning Ordinance 05-20 as it exists or maybe amended.
3. Building Height: Buildings shall be a maximum of two stories, not to exceed forty feet in height. Buildings may exceed this restriction provided that one additional foot shall be added to any required setback from single family residential zoning for each foot that such structures exceed forty (40) feet. Buildings may exceed this restriction using such one-to-one ratio for a total maximum height of six (6) stories not to exceed seventy five (75) feet. Chimneys, antennas and other such architectural projections may extend above this height limit.
4. Minimum lot width shall be 100 ft.
5. Minimum lot depth shall be 100 ft.
6. Minimum lot area shall be 10,000 sf.

**EXHIBIT C**

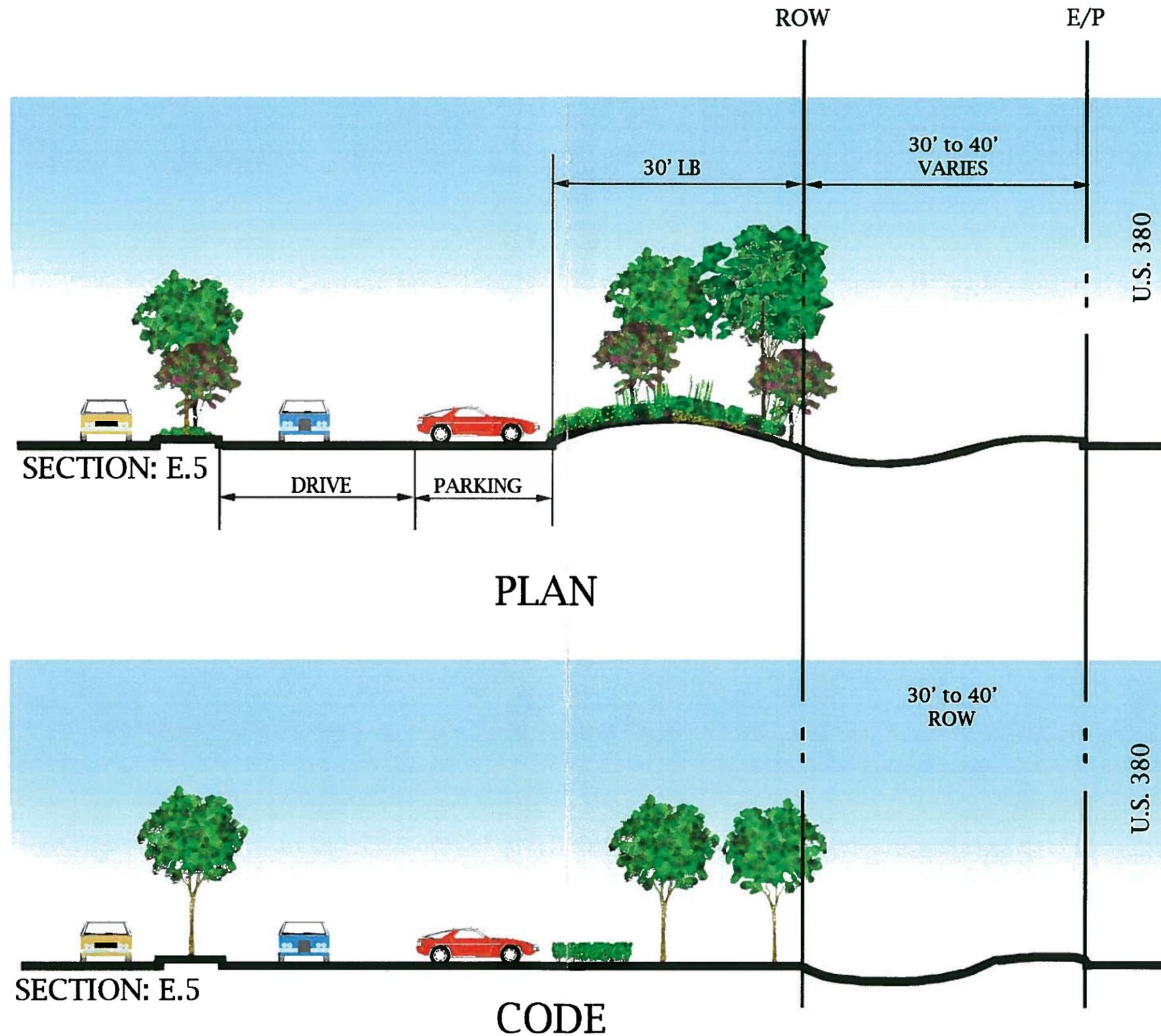
C. Landscape Regulations-Refer to Exhibits E, E.1, E.2, E.3, E.4 & E.5

1. U.S. 380 - Tree plantings shall be provided at minimum rate of 1.25 three (3) inch Caliper trees (at the time of planting) per thirty (30) lineal feet. Shrub plantings shall be provided at a lineal rate of 37.5 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
2. Coit Road - Tree plantings shall be provided at minimum rate of 1.25 three (3) inch Caliper trees (at the time of planting) per thirty (30) lineal feet. Shrub plantings shall be provided at a lineal rate of 37.5 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
3. Richland Blvd. - Tree plantings shall be provided at a minimum rate of 1.33 three (3) inch caliper trees per thirty (30) linear feet. Shrub plantings shall be provided at a minimum rate of 20 ten (10) gallon shrubs per thirty (30) linear feet. A berm of a minimum height of four (4) feet shall be provided within the landscape buffer along Richland Boulevard in areas which are not encumbered by the gas line easement.
4. East Property Line - The landscape buffer will be increased from fifteen (15) feet per code to twenty five (25) in width. Tree plantings shall be provided at minimum rate of 1.33 three (3) inch Caliper trees (at the time of planting) per thirty (30) lineal feet. Shrub plantings shall be provided at a lineal rate of 40 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet. Berming shall be accomplished where permitted by Energy Transfer within the relocated pipeline easement.
5. Parking abutting perimeter landscape areas shall be screened from the adjacent roadway by shrubs or berms.
6. Loading Areas - Where loading areas are adjacent to Richland Boulevard and the east property line, pine or cedar trees with a minimum height of ten (10) feet shall be provided at a minimum rate of one (1) tree per twenty (20) linear feet within the landscape buffer adjacent to the loading areas.

V. **Special Regulations:**

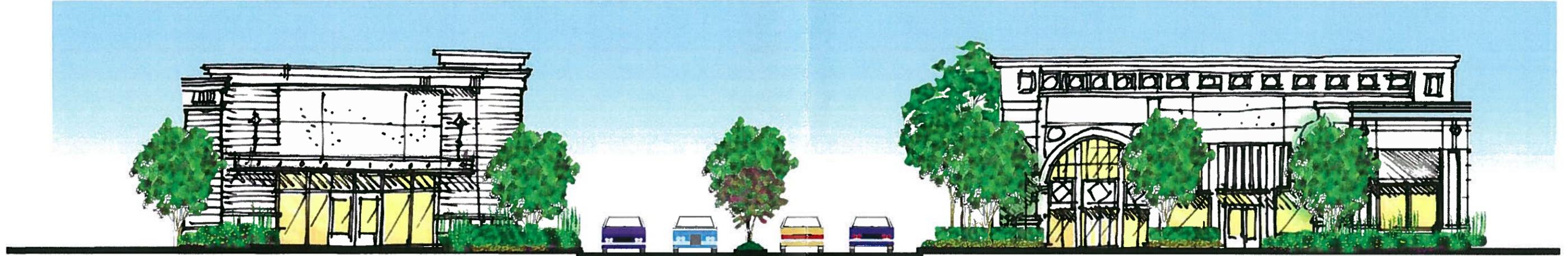
A. Utility Power Lines: New utility distribution and service lines for individual business establishments, buildings, signs and for any other site development features shall be placed underground. Existing overhead facilities may remain overhead.

EXHIBIT C



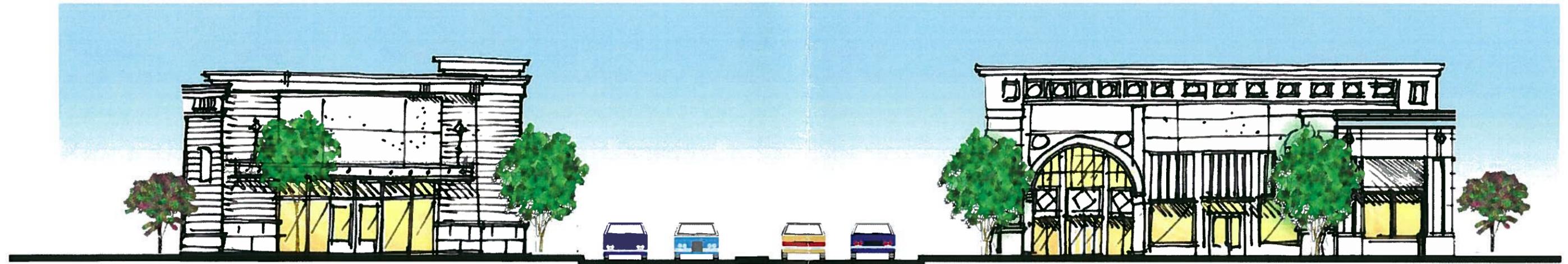
# PROSPER CROSSING





SECTION: E.4

PLAN



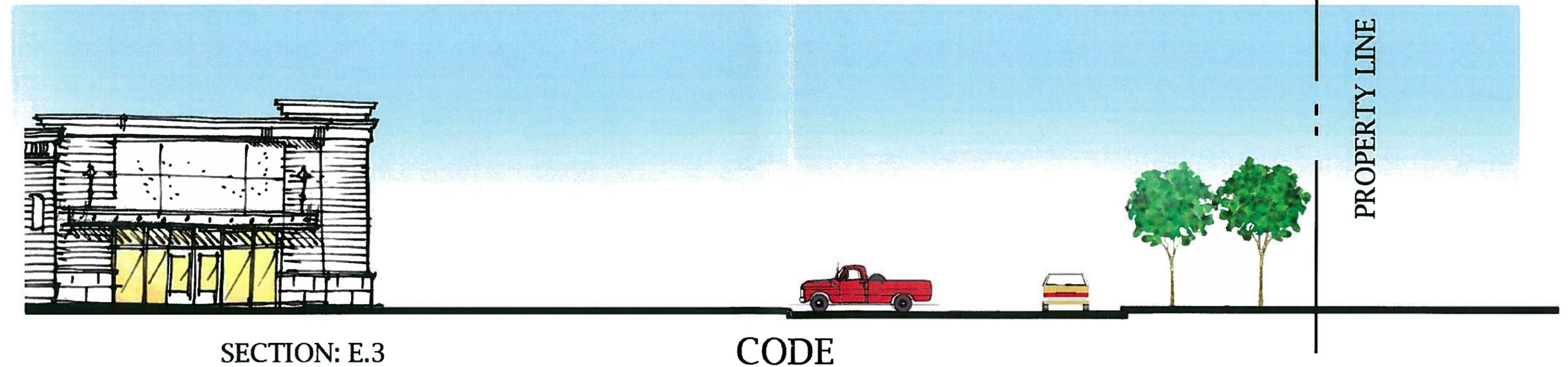
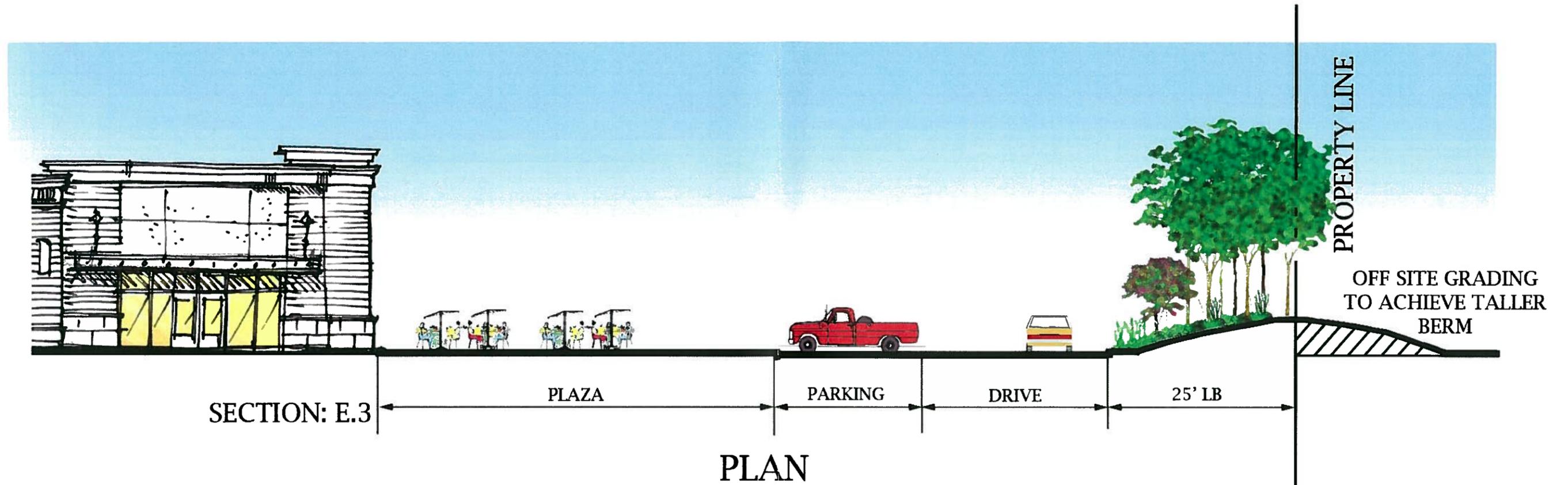
SECTION: E.4

CODE

# PROSPER CROSSING

0' 5' 10'  
SCALE

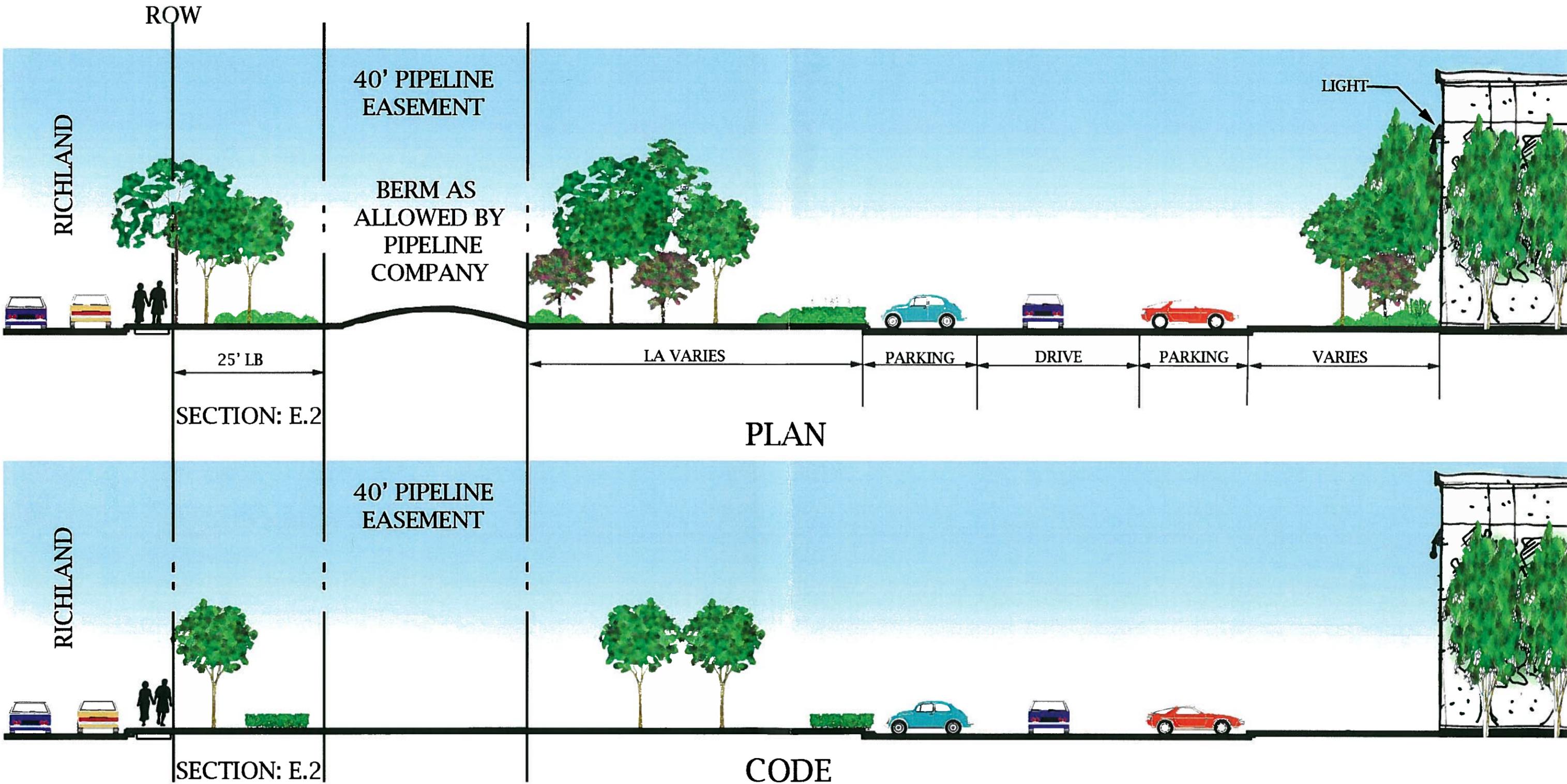
**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS & SURVEYORS  
6700 HILLCREST PLAZA DR., SUITE 100 DALLAS, TEXAS 75230  
(214) 480-7000 (FAX) (214) 480-7000



# PROSPER CROSSING

0' 5' 10'  
SCALE

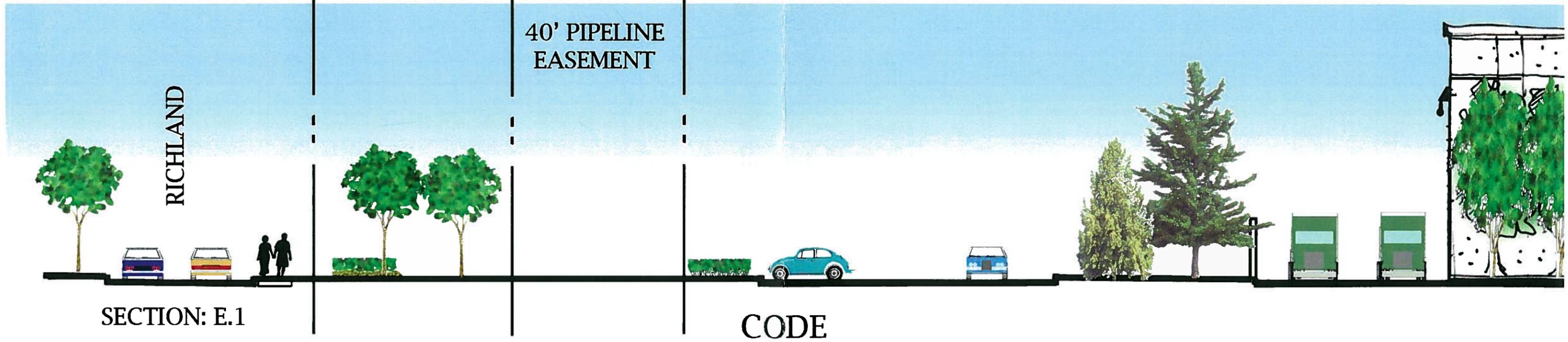
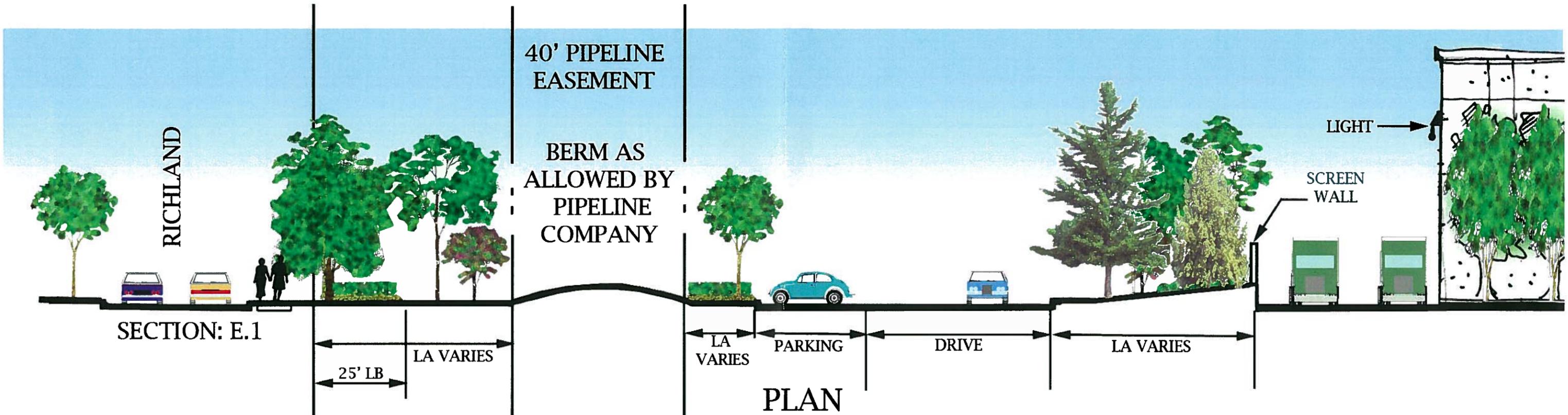
**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS & SURVEYORS  
5000 HILLCREST PLAZA DRIVE, SUITE 1100 DALLAS, TEXAS 75206  
(972) 452-7888 (972) 452-7889 FAX



# PROSPER CROSSING



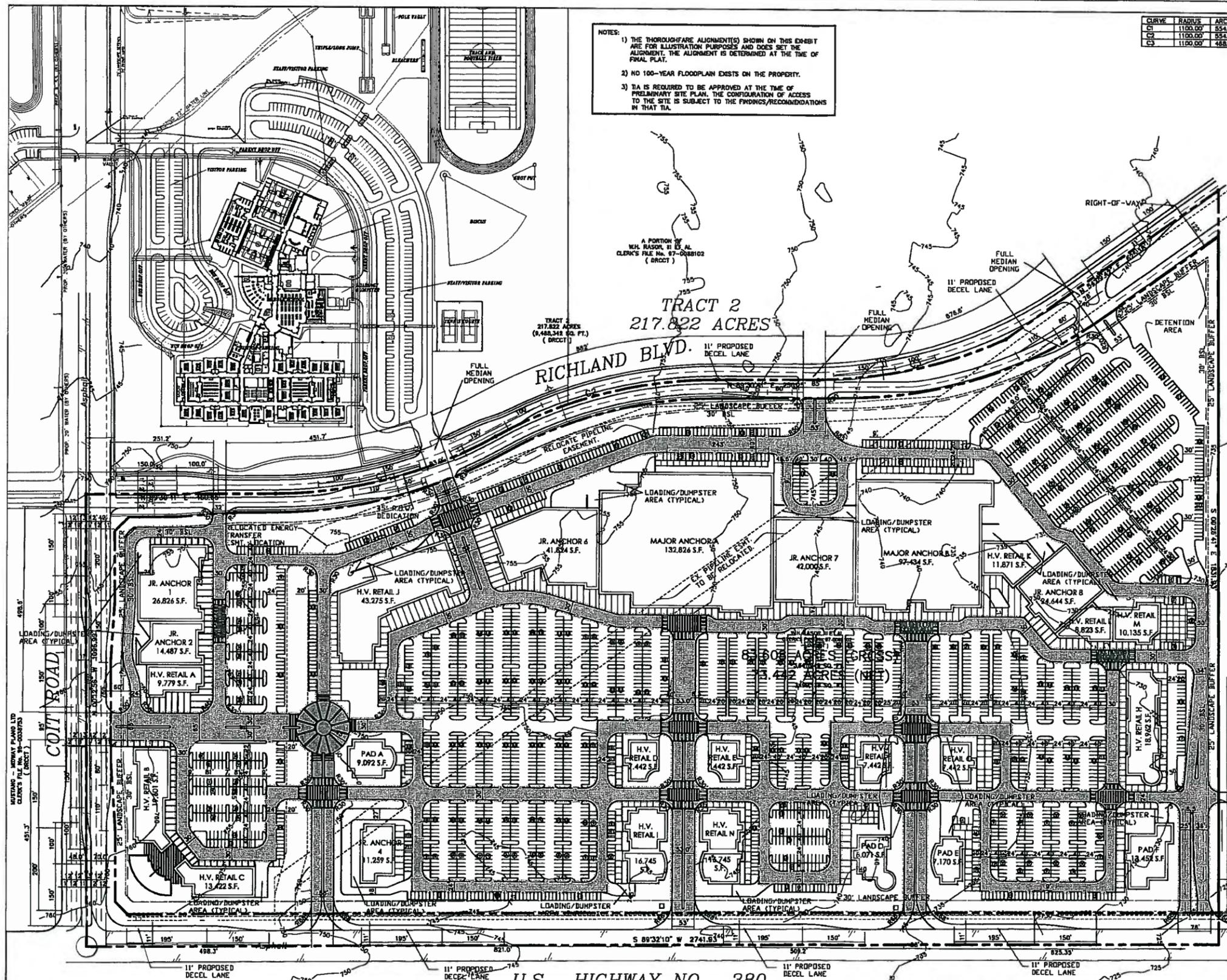
ROW



# PROSPER CROSSING

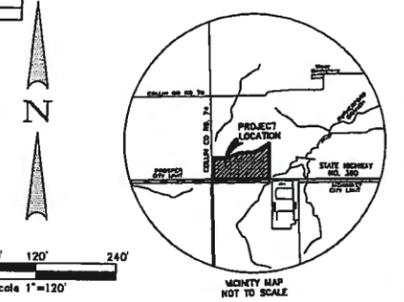






NOTES:  
 1) THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES SET THE ALIGNMENT, THE ALIGNMENT IS DETERMINED AT THE TIME OF FINAL PLAT.  
 2) NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.  
 3) TA IS REQUIRED TO BE APPROVED AT THE TIME OF PRELIMINARY SITE PLAN. THE CONFIGURATION OF ACCESS TO THE SITE IS SUBJECT TO THE FINDINGS/RECOMMENDATIONS IN THAT TA.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1100.00	554.81	548.99	N 78°03'44" E	28°33'55"
C2	1100.00	554.81	548.99	N 75°03'44" E	28°33'55"
C3	1100.00	488.11	484.59	N 77°18'15" E	24°23'54"



NOTE: RICHLAND BLVD. IN THIS AREA IS SHOWN PER THE "ROAD AGREEMENT" DATED 12/18/08. THE TOWN OF PROSPER IS NOT A PARTY TO THIS AGREEMENT THEREFORE THE ALIGNMENT MUST BE RECONFIGURED AT THE TIME OF PRELIMINARY SITE PLAN APPROVAL.

TRACT 2  
 217.822 ACRES

**SITE DATA**

<b>MAJOR ANCHOR</b>	<b>HIGH VISIBILITY RETAIL</b>
Total-Gross Buildable Area 230,260 SF	Total Gross Buildable Area 199,329 SF
Major Anchor Parking Total Parking Required 921 Spaces Parking Ratio 1 / 250 Total Parking Provided 921 Spaces	High Visibility Parking Total Parking Required 797 Spaces Parking Ratio 1 / 250 Total Parking Provided 797 Spaces
<b>JUNIOR ANCHOR</b>	<b>PAD SITE</b>
Total Gross Buildable Area 161,040	Total Gross Buildable Area 37,582
Junior Anchor Parking Total Parking Required 644 Spaces Parking Ratio 1 / 250 Total Parking Provided 644 Spaces	Pad Site Parking Total Parking Req'd 925 Spaces Ratio Parking 1.00/75 SF Total Parking Provided 927 Spaces
	Ratio of All other Parking 4.00 / 1,000

**SITE TOTALS**

Total Gross Site Area	83.608 AC
Total Gross Buildable Area	628,211 SF
Total Parking Required	3,287 Spaces
Total Parking Provided	3,289 Spaces

Max. Height of Buildings 40 ft.

NOTE: ALL DECEL LANES ALONG U.S. HWY 380 ARE DIMENSIONED PER TIA REPORT.

EXHIBIT 'D'  
 PROSPER CROSSING  
 83.608 ACRES  
 I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
 TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS

**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS & SURVEYORS  
 8750 HILLCREST PLAZA DRIVE, SUITE 100 (972) 490-7090  
 DALLAS, TEXAS 75230 (972) 490-7090 FAX  
 COPYRIGHT 2007, WINKELMANN & ASSOCIATES, INC.

EXHIBIT 'D'  
 CONCEPTUAL SITE PLAN  
 PROSPER CROSSING  
 PROSPER, TEXAS

I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
 CITY OF PROSPER  
 COLLIN COUNTY, TEXAS  
 ALBERTA DEVELOPMENT PARTNERS, LLC.  
 5460 SOUTH QUEBEC STREET, SUITE 100  
 GREENWOOD VILLAGE, COLORADO 80111  
 (303) 771-4004

No.	DATE	REVISION
3	09/19/07	NAME CHANGE
2	08/02/07	TOWN COMMENTS
1	07/31/07	TOWN COMMENTS

APPROV.	Project No. :	52202.00
Scale : 1" = 120'	Date : 07/09/07	
Designed By : M.D.C.	Drawn By : W.A.I.	
M.D.C. Checked By : M.D.C.	M.D.C. File : 52202csp.dwg	

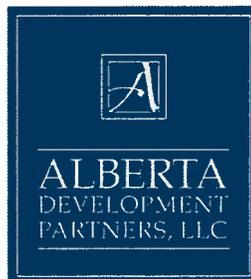
SHEET  
 1  
 OF  
 1

# PROSPER CROSSING

## EXHIBIT F

### ARCHITECTURAL DESIGN GUIDELINES AND STANDARDS

September 21, 2007



## ***Table of Contents***

General Information	3
Section 1 : Architectural Design – High Visibility Retail (HV Retail)	4
Section 2 : Architectural Design – Major & Junior Anchor	5
Section 3 : Architectural Design – Pad Sites	6
Section 4 : Site Design and Planning – All Commercial Areas	7
Section 5 : Building Materials	8
Section 6 : Submittals	9
Exhibit A-1 : High Visibility Area	10
Exhibit A-2 : Large Format	11
Exhibit A-3 : Pad Sites	12

## ***General Information***

The Prosper Crossing architecture is a simplistic yet contemporary style, creating simple, elegant compositions with a focus on illumination and transparency. Prosper Crossing,, a regional shopping center, shall reflect the dynamics and livelihood of its surroundings, while appropriately creating an inviting, casual and relaxed image.

The “**High Visibility Retail Areas**” are pedestrian friendly areas for the project. These areas are pedestrian oriented areas that serve as focal points of the development. “The High Visibility Retail Areas combine a complementary mix of uses in a casual and charming outdoor environment meant to enhance both daytime and nighttime activities. Reference Exhibit F.3.

The “**Major & Junior Anchor**” district provides opportunities for national retail tenants to develop prototypical building footprints and individual development criteria essential to the success of their operation yet provide compatible architectural detailing and finishes to the development. Reference Exhibits F.1 and F.2.

The “**Pad Site**” district is located adjacent US Highway 380. These sites, along with the High Visibility Area, serve as the front door for the development and establish a high quality visualization of the project. The sites will primarily feature restaurants, banks, retail, and other commercial uses. Reference Exhibit F.4.

The following information is based on the Town of Prosper Zoning code, and general knowledge of the Town of Prosper processes. The Town of Prosper Zoning Code shall take precedent unless otherwise noted in the PD Document and or Exhibits.

### **General Information**

Zoning: PD (Planned Development)

Approvals: Planning approval of individual Site Plans (SP’s). This process is intended to enhance and simplify the Towns approval process not to supercede it.

In Addition to the Town of Prosper Approval Process, Prosper Crossing Architectural Control Committee (PCACC) approval of the site plan, landscaping, building exterior design and materials shall be required.

## ***Section 1: Architectural Design – High Visibility Retail Area***

**Building Design** - The following is a summary of the design standards and guidelines for the High Visibility Retail Area tenants. Please refer to the PD and Town of Prosper Zoning Code for additional requirements. Refer to Exhibit F.3

### **Standards:**

- Four sided design. All sides of a building open to view shall display a similar level of quality and architectural interest.
- Building design shall incorporate textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, reveals, changes in parapet height to avoid monolithic shapes and surfaces.
- Emphasize entries.
- Exterior building materials shall be selected from the approved material palette and may be augmented with tenant selected materials provided that they maintain the overall quality and style of the project and are deemed appropriate by the PCACC.
- Variety of roof lines and parapet heights incorporating changes or elements at a maximum of every sixty lineal feet.
- Building facades shall employ techniques to provide additional interest and to subdivide the wall plane.
- Reinforce structural grid with pilasters and or colonnades.
- Horizontal Alignment of architectural elements such as windows, sills, cornices, banding, etc.
- Storefront to be clear aluminum, anodized. Tenant may use prototype storefront if approved in advance by the PCACC.
- Delivery, loading, trash, and other service areas must be screened or integrated into the building. Screening must be accomplished by a wall constructed of integrally colored CMU, architectural metal screening, stone, stucco, textured stained concrete, or brick to match the primary structure.
- Screening of all roof top or pad mounted mechanical units is required.

### **Guidelines:**

- Detailing and accent materials are encouraged to add creativity and are not limited to the enclosed material palette. An example of these accent materials includes granite, wrought iron, slate, glass, tile, marble and others as appropriate.
- A variety of wall mounted light fixtures are encouraged, which fit the period or architectural style proposed.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Detailing is required to reflect the architectural style of the development.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Integration of raised planters or potted plants is encouraged.
- Use of site furnishings such as benches, tables, chairs, and fabric umbrellas is encouraged.

## ***Section 2: Architectural Design – Major & Junior Anchor***

**Building Design** - The following is a summary of the design standards and guidelines for the Major & Junior Anchor tenants. Please refer to the PD and Town of Prosper Zoning Code for additional requirements. Refer to Exhibits F.1 and F.2

### **Standards:**

- Four sided design. All sides of a building open to view shall display a similar level of quality and architectural interest.
- Building design shall incorporate textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, reveals, changes in parapet height to avoid monolithic shapes and surfaces.
- Emphasize entries.
- Exterior building materials shall be selected from the approved material palette and may be augmented with tenant selected materials provided that they maintain the overall quality and style of the project and are deemed appropriate by the PCACC.
- Variety of roof lines and parapet heights incorporating changes or elements at a maximum of every sixty lineal feet.
- Building facades shall employ techniques to provide additional interest and to subdivide the wall plane.
- Reinforce structural grid with pilasters and or colonnades.
- Horizontal Alignment of architectural elements such as windows, sills, cornices, banding, etc.
- Storefront to be clear aluminum, anodized. Tenant may use prototype storefront if approved in advance by the PCACC.
- Delivery, loading, trash, and other service areas must be screened or integrated into the building. Screening must be accomplished by a wall constructed of either integrally colored CMU, architectural metal screening, stone, stucco, textured stained concrete, or brick to match the primary structure.
- Screening of all roof top or pad mounted mechanical units is required.

### **Guidelines:**

- Detailing and accent materials are encouraged to add creativity and are not limited to the enclosed material palette. An example of these accent materials includes granite, wrought iron, slate, glass, tile, marble and others as appropriate.
- A variety of wall mounted light fixtures are encouraged, which fit the period or architectural style proposed.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Detailing is required to reflect the architectural style of the development.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Integration of raised planters or potted plants is encouraged.
- Use of site furnishings such as benches, tables, chairs, and fabric umbrellas is encouraged.

### ***Section 3: Architectural Design – Pad Sites***

**Building Design** - The following is a summary of the design standards and guidelines for the Pad Site tenants. Please refer to the PD and Town of Prosper Zoning Code for additional requirements. These Buildings will be designed independently and will be reviewed and approved by both PCACC and the Town of Prosper for consistency in design and quality prior to the issuance of a building permit by the Town of Prosper. Refer to Exhibit F.4

#### **Standards:**

- Four sided design. All sides of a building open to view shall display a similar level of quality and architectural interest.
- Building design shall incorporate textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, reveals, changes in parapet height to avoid monolithic shapes and surfaces.
- Emphasize entries.
- Exterior building materials shall be selected from the approved material palette and may be augmented with tenant selected materials provided that they maintain the overall quality and style of the project and are deemed appropriate by the PCACC.
- Variety of roof lines and parapet heights incorporating changes or elements at a maximum of every sixty lineal feet.
- Building facades shall employ techniques to provide additional interest and to subdivide the wall plane.
- Reinforce structural grid with pilasters and or colonnades.
- Horizontal Alignment of architectural elements such as windows, sills, cornices, banding, etc.
- Storefront to be clear aluminum, anodized. Tenant may use prototype storefront if approved in advance by the PCACC.
- Delivery, loading, trash, and other service areas must be screened or integrated into the building. Screening must be accomplished by a wall constructed of integrally colored CMU, architectural metal screening, stone, stucco, textured stained concrete, or brick to match the primary structure.
- Screening of all roof top or pad mounted mechanical units is required.

#### **Guidelines:**

- Detailing and accent materials are encouraged to add creativity and are not limited to the enclosed material palette. An example of these accent materials includes granite, wrought iron, slate, glass, tile, marble and others as appropriate.
- A variety of wall mounted light fixtures are encouraged, which fit the period or architectural style proposed.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Detailing is required to reflect the architectural style of the development.
- Integration of fabric/canvas awnings, flat metal awnings, and trellises is encouraged.
- Integration of raised planters or potted plants is encouraged.
- Use of site furnishings such as benches, tables, chairs, and fabric umbrellas is encouraged.

#### ***Section 4: Site Design and Planning – All Commercial Areas***

Special site design requirements and constraints apply particularly to the High Visibility area. There may be additional requirements as set forth by the PD or the Town of Prosper Zoning Code.

##### **Building Placement and Orientation:**

- Maintain view corridors from US Highway 380, Coit Road and as appropriate along Richland Boulevard.

##### **Parking:**

- Parking shall be shared where such opportunities can be accommodated. Surface parking areas shall be broken up and appropriately landscaped. Each development site shall be required to demonstrate it has met its minimum parking requirements pursuant to the Planned Development Standards.

##### **Site Utilities:**

- Site utilities shall be coordinated with the size and location of the Landlord provided services. All utilities shall comply with the Town of Prosper and other agency requirements.

##### **Grading:**

- All finish grades shall provide positive drainage to the storm water system.
- Finish grades shall comply with ADA and all Town of Prosper requirements.
- Site walls shall be allowed under the following conditions:
  - Wall location and anchorage systems shall be coordinated with all underground utilities and shall not impact or restrict the use of the Landlord's common area.
  - Walls shall not impact an adjacent site or create a hardship for the development of adjacent land.
  - Walls shall be designed and sealed by a professional engineer licensed in the State of Texas.

##### **Landscaping:**

- The site landscaping shall be governed by the Town of Prosper Landscape Code and the Approved PD with the attached Exhibits, E, E.1, E.2, E.3, E.4 and E.5

### ***Section 5: Building Materials***

General: The materials and color ranges to be used throughout the Prosper Crossing development shall generally meet the intent of the graphic designs shown on Exhibits F.1, F.2, F.3, and F.4. Specific products, manufacturers, and colors will be specified at the time of the Preliminary Site Plan submittal.

## ***Section 6: Submittals***

Prosper Crossing Architectural Control Committee Review and Approval: All tenants shall have their building, site, landscape and signage design reviewed and approved by the PCACC as a condition of approval for the SP. It is strongly encouraged that the tenants obtain PCACC approval prior to their first SP submittal.

The followings items shall be submitted in their entirety for review by the PCACC. Incomplete submittals will not be reviewed.

- Site plan including parking, building footprint, accessory structure locations, sidewalks, special hardscape areas, plazas, site furnishings and light pole locations.
- Grading plan, with any retaining walls called out with top of wall and bottom of wall information.
- Preliminary utility plan, with storm, sanitary, power, gas and water connection points clearly delineated.
- Landscape plan and details.
- Building elevations including material designations, vertical and horizontal dimensions, building mounted lighting, and designation of elevation (i.e., North, South, etc.)
- Elevations of accessory structures such as trash enclosures, mechanical screens, etc.
- Samples of materials being used that are not a part of the Approved Exterior Finish Materials list.
- Lighting plan and photo metrics with fixture details.
- Sign submittal materials as listed in the High Visibility Tenant Signage Criteria.
- Requests for any waivers.
- Rendered building elevations and site plan are encouraged but not required.

The Prosper Crossing Architectural Control Committee will review the submittal for completeness and issue a letter informing the applicant of PCACC acceptance or rejection of the submittal. If the submittal is accepted, comments will be issued within 10 business days. If it is not accepted, a letter explaining concerns or identifying missing items will be returned with the submittal to the applicant.

The applicant shall submit eight (8) complete sets to the PCACC administrator at the following address:

Alberta Development Partners, LLC  
5460 S. Quebec Street, Suite 100  
Greenwood Village, CO 80111  
303-771-4004

PCACC Board:

-Nate Jenkins, LEED, AP, Alberta Development  
Don Provost, Alberta Development  
Gary Ellermann, Alberta Development  
Jerry Richmond, Alberta Development

PCACC Administrator

# PROSPER CROSSING



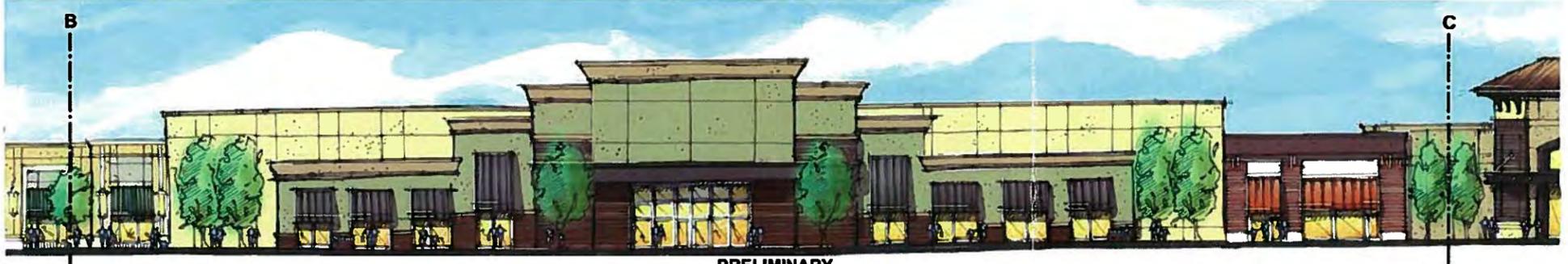
PRELIMINARY  
OVERALL ELEVATION  
NOT TO SCALE



PRELIMINARY  
ELEVATION LEFT CORNER TO A



PRELIMINARY  
ELEVATION A TO B



PRELIMINARY  
ELEVATION B TO C



PRELIMINARY  
ELEVATION C TO RIGHT CORNER



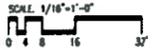
SEE ELEVATIONS



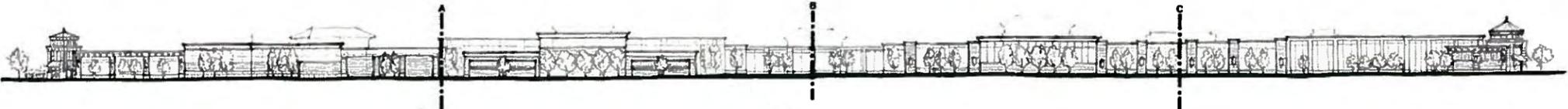
## EXHIBIT 'F.1'



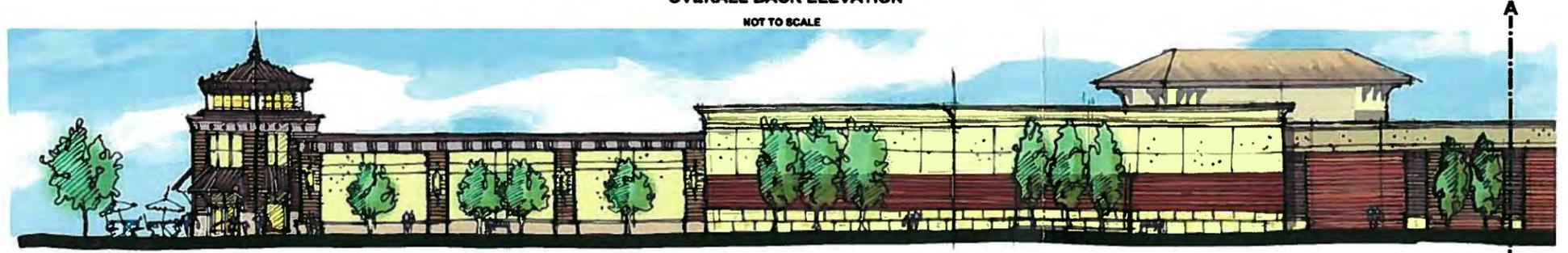
ALBERTA DEVELOPMENT PARTNERS, LLC  
5460 SOUTH QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, COLORADO 80111  
P: 303.771.4004  
F: 303.771.4086



# PROSPER CROSSING



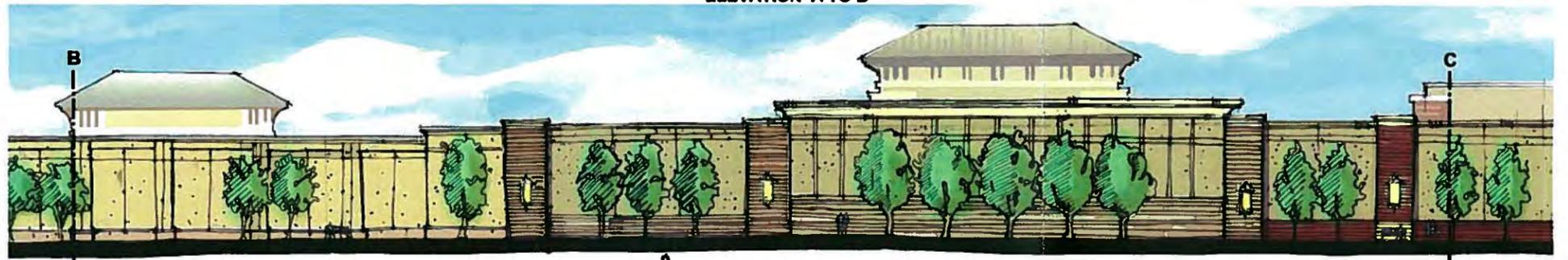
PRELIMINARY  
OVERALL BACK ELEVATION  
NOT TO SCALE



PRELIMINARY  
ELEVATION LEFT CORNER TO A



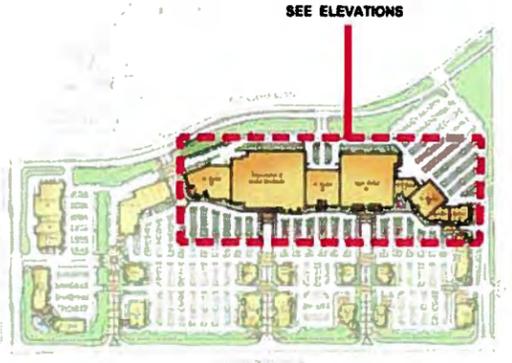
PRELIMINARY  
ELEVATION A TO B



PRELIMINARY  
ELEVATION B TO C



PRELIMINARY  
ELEVATION C TO RIGHT CORNER



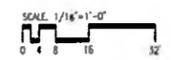
SEE ELEVATIONS



## EXHIBIT 'F.2'



ALBERTA  
DEVELOPMENT PARTNERS, LLC  
5460 SOUTH QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, COLORADO 80111  
P: 303.771.4004  
F: 303.771.4096



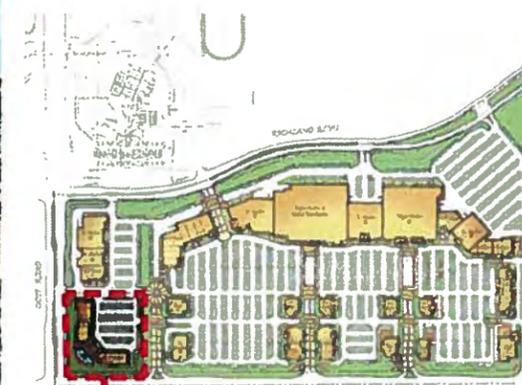


PRELIMINARY OVERALL  
HIGH VISIBILITY ELEVATION  
NOT TO SCALE



PRELIMINARY  
HIGH VISIBILITY ELEVATION

# PROSPER CROSSING



SEE ELEVATIONS



PRELIMINARY  
HIGH VISIBILITY ELEVATION

## EXHIBIT 'F.3'

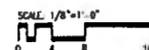


ALBERTA DEVELOPMENT PARTNERS, LLC  
3460 SOUTH QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, COLORADO 80111  
P: 303.771.4004  
F: 303.771.4096



MBM ARCHITECTS  
2410 MARINE SQUARE LOOP  
ALAMEDA, CA 94521  
TEL: 510.845.8640  
FAX: 510.845.1811

PRELIMINARY ELEVATIONS  
SCALE: 1"=1/8"



ELEVATIONS 3A 09.19.07

# PROSPER CROSSING



PRELIMINARY  
PAD ELEVATION



PRELIMINARY  
PAD ELEVATION



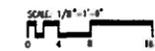
SEE ELEVATIONS



## EXHIBIT 'F.4'



ALBERTA DEVELOPMENT PARTNERS, LLC  
5460 SOUTH QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, COLORADO 80111  
P: 303.771.4004  
F: 303.771.4006



**Page Intentionally Left Blank**

**FLOOD NOTE**  
 According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 480141-0260G, dated January 19th, 1995, this property is within Flood Zone X.  
 Zone X - Areas determined to be outside the 500-year floodplain.

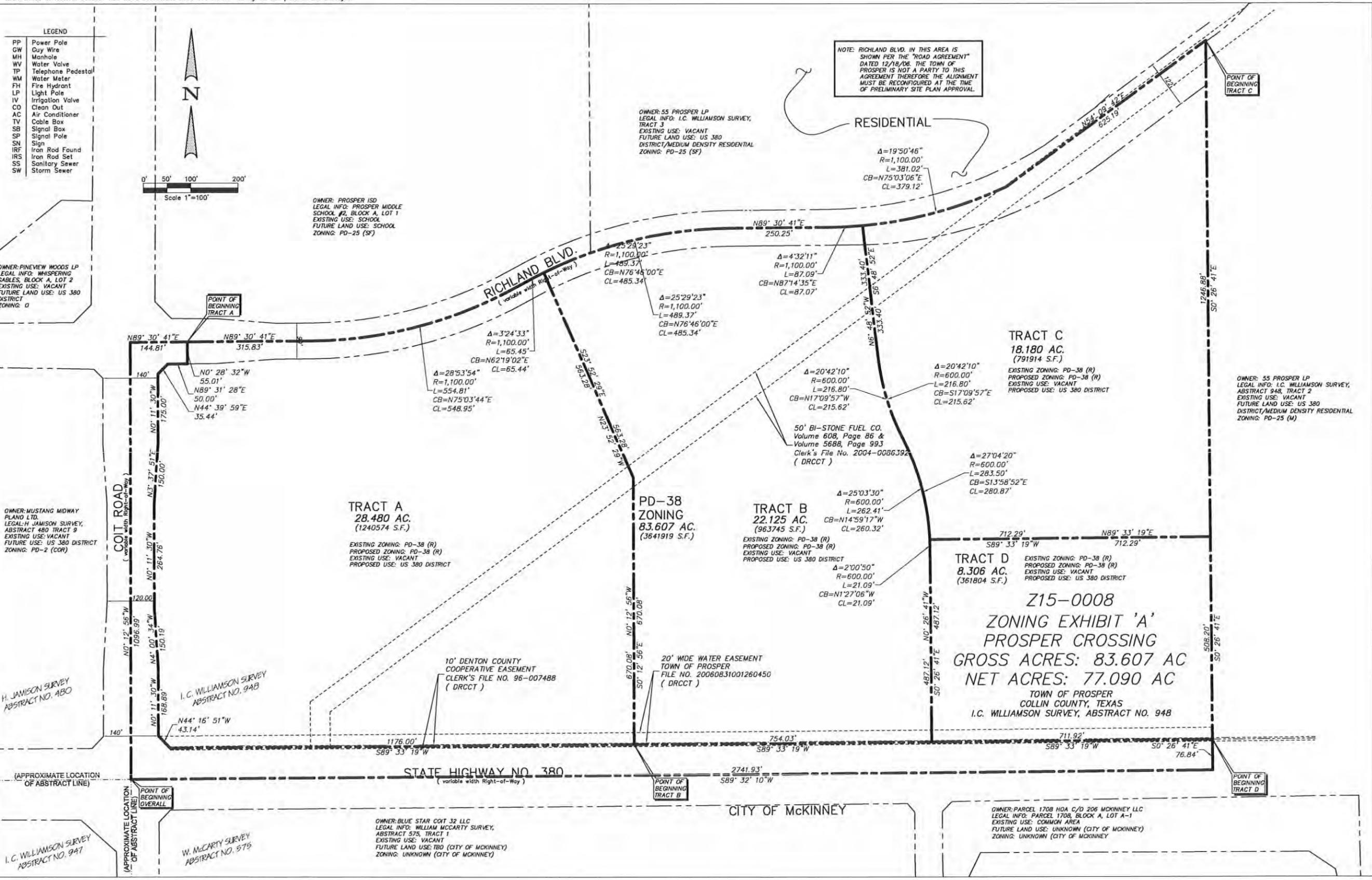
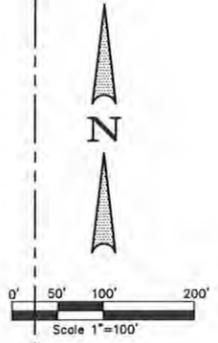
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**NOTES:**

1. THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.
2. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.

**LEGEND**

FP	Power Pole
CW	Guy Wire
MH	Manhole
WV	Water Valve
TP	Telephone Pedestal
WM	Water Meter
FH	Fire Hydrant
LP	Light Pole
IV	Irrigation Valve
CO	Clean Out
AC	Air Conditioner
TV	Cable Box
SB	Signal Box
SP	Signal Pole
SN	Sign
IRF	Iron Rod Found
IRS	Iron Rod Set
SS	Sanitary Sewer
SW	Storm Sewer



NOTE: RICHLAND BLVD. IN THIS AREA IS SHOWN PER THE "ROAD AGREEMENT" DATED 12/18/06. THE TOWN OF PROSPER IS NOT A PARTY TO THIS AGREEMENT THEREFORE THE ALIGNMENT MUST BE RECONFOURED AT THE TIME OF PRELIMINARY SITE PLAN APPROVAL.

OWNER: 55 PROSPER LP  
 LEGAL INFO: I.C. WILLIAMSON SURVEY, TRACT 3  
 EXISTING USE: VACANT  
 FUTURE LAND USE: US 380 DISTRICT/MEDIUM DENSITY RESIDENTIAL  
 ZONING: PD-25 (SF)

OWNER: PROSPER USD  
 LEGAL INFO: PROSPER MIDDLE SCHOOL #2, BLOCK A, LOT 1  
 EXISTING USE: SCHOOL  
 FUTURE LAND USE: SCHOOL  
 ZONING: PD-25 (SF)

OWNER: PINEVIEW WOODS LP  
 LEGAL INFO: WHISPERING GABLES, BLOCK A, LOT 2  
 EXISTING USE: VACANT  
 FUTURE LAND USE: US 380 DISTRICT  
 ZONING: D

OWNER: MUSTANG MIDWAY PLANO LTD.  
 LEGAL INFO: JAMISON SURVEY, ABSTRACT 480 TRACT 9  
 EXISTING USE: VACANT  
 FUTURE USE: US 380 DISTRICT  
 ZONING: PD-2 (COR)

**TRACT A**  
 28.480 AC.  
 (1240574 S.F.)  
 EXISTING ZONING: PD-38 (R)  
 PROPOSED ZONING: PD-38 (R)  
 EXISTING USE: VACANT  
 PROPOSED USE: US 380 DISTRICT

**PD-38 ZONING**  
 83.607 AC.  
 (3641919 S.F.)  
 EXISTING ZONING: PD-38 (R)  
 PROPOSED ZONING: PD-38 (R)  
 EXISTING USE: VACANT  
 PROPOSED USE: US 380 DISTRICT

**TRACT B**  
 22.125 AC.  
 (963745 S.F.)  
 EXISTING ZONING: PD-38 (R)  
 PROPOSED ZONING: PD-38 (R)  
 EXISTING USE: VACANT  
 PROPOSED USE: US 380 DISTRICT

**TRACT C**  
 18.180 AC.  
 (791914 S.F.)  
 EXISTING ZONING: PD-38 (R)  
 PROPOSED ZONING: PD-38 (R)  
 EXISTING USE: VACANT  
 PROPOSED USE: US 380 DISTRICT

**TRACT D**  
 8.306 AC.  
 (361804 S.F.)  
 EXISTING ZONING: PD-38 (R)  
 PROPOSED ZONING: PD-38 (R)  
 EXISTING USE: VACANT  
 PROPOSED USE: US 380 DISTRICT

**Z15-0008**  
**ZONING EXHIBIT 'A'**  
**PROSPER CROSSING**  
**GROSS ACRES: 83.607 AC**  
**NET ACRES: 77.090 AC**  
 TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS  
 I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948

OWNER: 55 PROSPER LP  
 LEGAL INFO: I.C. WILLIAMSON SURVEY, ABSTRACT 948, TRACT 2  
 EXISTING USE: VACANT  
 FUTURE LAND USE: US 380 DISTRICT/MEDIUM DENSITY RESIDENTIAL  
 ZONING: PD-25 (M)

OWNER: BLUE STAR COIT 32 LLC  
 LEGAL INFO: WILLIAM MCCARTY SURVEY, ABSTRACT 575, TRACT 1  
 EXISTING USE: VACANT  
 FUTURE LAND USE: TBD (CITY OF MCKINNEY)  
 ZONING: UNKNOWN (CITY OF MCKINNEY)

OWNER: PARCEL 1708 HOA C/D 206 MCKINNEY LLC  
 LEGAL INFO: PARCEL 1708, BLOCK A, LOT A-1  
 EXISTING USE: COMMON AREA  
 FUTURE LAND USE: UNKNOWN (CITY OF MCKINNEY)  
 ZONING: UNKNOWN (CITY OF MCKINNEY)

**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS & SURVEYORS  
 875 MILBURN ROAD, SUITE 200  
 DALLAS, TEXAS 75243  
 PHONE: (214) 442-7700  
 FAX: (214) 442-7705  
 WWW: WWW.WINKELMANN-ASSOCIATES.COM  
 LICENSE NO. 000860-20  
 LICENSE EXPIRES 12/31/2015

TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS  
 I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
 ORANGE DEVELOPMENT, LLC  
 1200 CORPORATE DRIVE, STE. G-50  
 BIRMINGHAM, AL 35242

**ZONING EXHIBIT 'A'**  
**PROSPER CROSSING**

Date: 05/04/15  
 Scale: 1"=100'  
 File: 70936-ZONING  
 Project No.: 70936

**SHEET**  
 1  
 OF  
 2

OVERALL FIELD NOTE DESCRIPTION

STATE OF TEXAS  
COUNTY OF COLLIN

BEING A TRACT OF LAND SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, COLLIN COUNTY, TEXAS AND BEING A PORTION OF A TRACT OF LAND AS DESCRIBED IN A DEED TO W.H. RASOR, III ET AL AS RECORDED IN COUNTY CLERK'S NUMBER 97-0088102 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS (DRCT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FOUND AT THE INTERSECTION OF THE CENTERLINE OF STATE HIGHWAY NO. 380 ( VARIABLE WIDTH RIGHT-OF-WAY ) AND THE CENTERLINE OF COIT ROAD (VARIABLE WIDTH RIGHT-OF-WAY );

THENCE DEPARTING SAID CENTERLINE OF SAID STATE HIGHWAY NO. 380 AND ALONG THE CENTERLINE OF SAID COIT ROAD NORTH 00 DEG 12 MIN 56 SEC WEST A DISTANCE OF 1096.99 FEET TO A POINT FOR CORNER;

THENCE DEPARTING THE CENTERLINE OF SAID COIT ROAD AND ALONG THE NORTHERLY LINE OF SAID RASOR TRACT AS FOLLOWS:

NORTH 89 DEG 30 MIN 41 SEC EAST A DISTANCE OF 460.64 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 1100.00 FEET, AND HAVING A CHORD BEARING NORTH 75 DEG 03 MIN 44 SEC EAST AND A CHORD DISTANCE OF 548.95 FEET;

CONTINUING ALONG SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 28 DEG 53 MIN 54 SEC FOR AN ARC LENGTH OF 554.81 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1100.00 FEET, AND HAVING A CHORD BEARING NORTH 75 DEG 03 MIN 44 SEC EAST AND A CHORD DISTANCE OF 548.96 FEET;

CONTINUING ALONG SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 28°53'56" FOR AN ARC LENGTH OF 554.82 FEET TO A POINT FOR CORNER;

NORTH 89 DEG 30 MIN 41 SEC EAST A DISTANCE OF 250.25 FEET TO A POINT FOR THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 1100.00 FEET, AND HAVING A CHORD BEARING NORTH 77 DEG 19 MIN 13 SEC EAST AND A CHORD DISTANCE OF 464.59 FEET;

CONTINUING ALONG SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 24 DEG 23 MIN 01 SEC FOR AN ARC LENGTH OF 468.11 FEET TO A POINT FOR CORNER;

THENCE NORTH 54 DEG 09 MIN 42 SEC EAST A DISTANCE OF 625.19 FEET TO A POINT FOR CORNER;

THENCE DEPARTING SAID NORTH LINE OF 78.623 ACRE TRACT 3 SOUTH 00 DEG 26 MIN 41 SEC EAST A DISTANCE OF 1831.92 FEET TO A POINT FOR CORNER, SAID POINT BEING IN THE CENTERLINE OF SAID STATE HIGHWAY NO. 380;

THENCE ALONG SAID CENTERLINE OF STATE HIGHWAY NO. 380 SOUTH 89 DEG 32 MIN 10 SEC WEST A DISTANCE OF 2741.93 FEET TO THE POINT OF BEGINNING;

CONTAINING WITHIN THESE METES AND BOUNDS IS 83.607 ACRES OR 3,641,919 SQUARE FEET OF LAND MORE OR LESS.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

TRACT A

BEING A TRACT OF LAND SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, TOWN OF PROSPER, COLLIN COUNTY, TEXAS, THE SUBJECT TRACT BEING A PORTION OF A TRACT OF LAND CONVEYED TO NEC COIT/380, LLC, ACCORDING TO THE DEED RECORDED IN DOCUMENT NO. 20110617000629000 OF THE DEED RECORDS, COLLIN COUNTY, TEXAS (DRCT), THE SUBJECT TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTERLINE OF RICHLAND BOULEVARD, A 45 FOOT RIGHT-OF-WAY, RECORDED IN CABINET 2008, PAGE 675, PLAT RECORDS, COLLIN COUNTY, TEXAS (PRCCT);

THENCE N 89° 30' 41" E, 315.83 FEET ALONG THE CENTERLINE THEREOF TO A POINT FOR CORNER;

THENCE CONTINUING ALONG THE CENTERLINE THEREOF, AROUND A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 28° 53' 54", A RADIUS OF 1100.00 FEET, A CHORD OF N 75° 03' 44" E - 548.95 FEET, AN ARC LENGTH OF 554.81 FEET TO A POINT FOR CORNER;

THENCE CONTINUING ALONG THE CENTERLINE THEREOF, AROUND A REVERSE CURVE HAVING A CENTRAL ANGLE OF 03° 24' 33", A RADIUS OF 1100.00 FEET, A CHORD OF N 62° 19' 02" E - 65.44 FEET, AN ARC LENGTH OF 65.45 FEET TO A POINT FOR CORNER FOR THE NORTHWEST CORNER OF A TRACT CONVEYED TO HARMONY CAPITAL, LLC, RECORDED IN DOCUMENT NO. 20120402000374830 DRCT;

THENCE S 23° 52' 29" E, 563.28 FEET ALONG THE WEST LINE THEREOF TO A POINT FOR CORNER;

THENCE S 00° 12' 56" E, 670.08 FEET CONTINUING ALONG THE WEST LINE THEREOF TO A POINT FOR CORNER ON THE NORTH LINE OF U.S. HIGHWAY 380, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY;

THENCE S 89° 33' 19" W, 1176.00 FEET ALONG THE NORTH LINE OF U.S. HIGHWAY 380 TO A POINT FOR CORNER FOR THE SOUTH END OF A CORNER CLIP AT THE PUBLIC INTERSECTION OF THE NORTH LINE OF SAID HIGHWAY WITH THE EAST LINE OF COIT ROAD, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY;

THENCE N 44° 16' 51" W, 43.14 FEET ALONG SAID CORNER CLIP TO A POINT FOR CORNER;

THENCE N 00° 11' 30" W, 168.89 FEET ALONG THE EAST LINE OF COIT ROAD TO A POINT FOR CORNER;

THENCE N 04° 00' 34" W, 150.19 FEET CONTINUING ALONG THE EAST LINE OF COIT ROAD TO A POINT FOR CORNER;

THENCE N 00° 11' 30" W, 264.76 FEET ALONG THE EAST LINE OF COIT ROAD TO A POINT FOR CORNER;

THENCE N 03° 37' 51" E, 150.00 FEET CONTINUING ALONG THE EAST LINE OF COIT ROAD TO A POINT FOR CORNER;

THENCE N 00° 11' 30" W, 175.00 FEET CONTINUING ALONG THE EAST LINE OF COIT ROAD TO A POINT FOR CORNER FOR THE SOUTH END OF A CORNER CLIP AT THE INTERSECTION OF THE EAST LINE OF COIT ROAD WITH THE SOUTH LINE OF RICHLAND BOULEVARD;

THENCE N 44° 39' 59" E, 35.44 FEET ALONG SAID CORNER CLIP TO A POINT FOR CORNER;

THENCE N 89° 31' 28" E, 50.00 FEET ALONG THE SOUTH LINE OF RICHLAND BOULEVARD TO A POINT FOR CORNER;

THENCE N 00° 28' 32" W, 55.01 FEET DEPARTING THE SOUTH LINE OF RICHLAND BOULEVARD TO THE POINT OF BEGINNING WITH THE SUBJECT TRACT CONTAINING 1,240,574 SQUARE FEET OR 28.480 ACRES OF LAND.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

TRACT B

BEING A TRACT OF LAND SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, TOWN OF PROSPER, COLLIN COUNTY, TEXAS, THE SUBJECT TRACT BEING A PORTION OF A TRACT CONVEYED TO HARMONY CAPITAL, LLC ACCORDING TO THE DEED RECORDED IN DOCUMENT NO. 20120402000374830 OF THE OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS (OPRCCT), THE SUBJECT TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF U.S. HIGHWAY 380, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, FOR THE SOUTHEAST CORNER OF A TRACT CONVEYED TO NEC COIT/380, LLC, RECORDED IN DOCUMENT NO. 20110617000629000 OPRCCT;

THENCE N 00° 12' 56" W, 670.08 FEET ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER;

THENCE N 23° 52' 29" W, 563.28 FEET CONTINUING ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER ON THE SOUTH LINE OF RICHLAND BOULEVARD, A 45 FOOT RIGHT-OF-WAY, CREATED BY THE PLAT OF LOT 1, BLOCK A, PROSPER MIDDLE SCHOOL NO.2 ADDITION, AN ADDITION RECORDED IN CABINET 2006, PAGE 675 OF THE PLAT RECORDS, COLLIN COUNTY, TEXAS;

THENCE ALONG THE SOUTH LINE OF RICHLAND BOULEVARD, AROUND A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 25° 29' 23", A RADIUS OF 1100.00 FEET, A CHORD OF N 76° 46' 00" E - 485.34 FEET, PASSING AT AN ARC LENGTH OF 126.95 FEET TO A POINT FOR THE SOUTHEAST CORNER OF SAID RIGHT-OF-WAY AND THE SOUTHWEST CORNER OF A TRACT CONVEYED TO PROSPER 380 COIT PARTNERS, LTD., RECORDED IN VOLUME 6050, PAGE 214 OF THE DEED RECORDS, COLLIN COUNTY, TEXAS, AND CONTINUING ALONG THE SOUTH LINE THEREOF A TOTAL ARC DISTANCE OF 489.37 FEET TO A POINT FOR CORNER;

THENCE N 89° 30' 41" E, 250.25 FEET CONTINUING ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER;

THENCE CONTINUING ALONG THE COMMON LINE THEREOF, AROUND A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 04° 32' 11", A RADIUS OF 1100.00 FEET A CHORD OF N 87° 14' 35" E - 87.07 FEET, AN ARC LENGTH OF 87.09 FEET TO A POINT FOR CORNER FOR THE NORTHWEST CORNER OF A TRACT CONVEYED TO FIRST BAPTIST CHURCH PROSPER, TEXAS, RECORDED IN DOCUMENT NO. 20120410000417390 OPRCCT;

THENCE S 06° 48' 52" E, 333.40 FEET ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER;

THENCE CONTINUING ALONG THE COMMON LINE THEREOF, AROUND A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 20° 42' 10", A RADIUS OF 600.00 FEET A CHORD OF S 17° 09' 57" E - 215.62 FEET, AN ARC LENGTH OF 216.80 FEET TO A POINT FOR CORNER;

THENCE CONTINUING ALONG THE COMMON LINE THEREOF, AROUND A REVERSE CURVE HAVING A CENTRAL ANGLE OF 27° 04' 21", A RADIUS OF 600.00 FEET A CHORD OF S 13° 58' 52" E - 280.27 FEET, PASSING AT AN ARC LENGTH OF 262.41 FEET A POINT FOR CORNER FOR THE NORTHWEST CORNER OF A TRACT CONVEYED TO COTHMAN MALIBU INVESTMENTS, INC., RECORDED IN DOCUMENT NO. 20140319000257500 OPRCCT, AND CONTINUING ALONG THE COMMON LINE THEREOF A TOTAL ARC DISTANCE OF 283.50 FEET TO A POINT FOR CORNER;

THENCE S 00° 26' 41" E, 487.12 FEET CONTINUING ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER ON THE NORTH LINE OF U.S. HIGHWAY 380;

THENCE S 89° 33' 19" W, 754.03 FEET ALONG THE NORTH LINE OF U.S. HIGHWAY 380 TO THE POINT OF BEGINNING WITH THE SUBJECT TRACT CONTAINING 963,745 SQUARE FEET OR 22.125 ACRES OF LAND.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

TRACT C

BEING A TRACT OF LAND SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, TOWN OF PROSPER, COLLIN COUNTY, TEXAS, THE SUBJECT TRACT BEING A PORTION OF A TRACT OF LAND CONVEYED TO PROSPER 380 COIT PARTNERS, LTD. ACCORDING TO THE DEED RECORDED IN VOLUME 6050, PAGE 214 OF THE DEED RECORDS COLLIN COUNTY, TEXAS (DRCT), THE SUBJECT TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FOR THE NORTHEAST CORNER OF THE SUBJECT TRACT;

THENCE, S 00 DEG 26 MIN 41 SEC E, A DISTANCE OF 1246.88 FEET TO A POINT FOR CORNER;

THENCE, S 89 DEG 33 MIN 19 SEC W, A DISTANCE OF 712.29 FEET TO A POINT FOR CORNER;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 25 DEG 03 MIN 30 SEC, A RADIUS OF 600.00 FEET, A CHORD OF N 14 DEG 59 MIN 17 SEC W, 260.33 FEET, AN ARC LENGTH OF 262.41 FEET TO A POINT FOR CORNER;

THENCE, ALONG A REVERSE CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 20 DEG 42 MIN 10 SEC, A RADIUS OF 600.00 FEET, A CHORD OF N 17 DEG 09 MIN 57 SEC W, 215.62 FEET, AN ARC LENGTH OF 216.80 FEET TO A POINT FOR CORNER;

THENCE, N 06 DEG 48 MIN 52 SEC W, A DISTANCE OF 333.40 FEET TO A POINT FOR CORNER;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 19 DEG 50 MIN 46 SEC, A RADIUS OF 1100.00 FEET, A CHORD OF N 75 DEG 03 MIN 06 SEC E, 379.12 FEET, AN ARC LENGTH OF 381.02 FEET TO A POINT FOR CORNER;

THENCE, N 54 DEG 09 MIN 42 SEC E, A DISTANCE OF 625.19 FEET TO THE PLACE OF BEGINNING WITH THE SUBJECT TRACT CONTAINING 791,914 SQUARE FEET OR 18.180 ACRES OF LAND.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

TRACT D

BEING A TRACT OF LAND SITUATED IN THE I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948, TOWN OF PROSPER, COLLIN COUNTY, TEXAS, THE SUBJECT TRACT BEING A PORTION OF A TRACT OF LAND CONVEYED TO HARMONY CAPITAL, LLC ACCORDING TO THE DEED RECORDED IN DOCUMENT NO. 20120402000374830 OF THE DEED RECORDS, COLLIN COUNTY, TEXAS (DRCT), THE SUBJECT TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF U.S. HIGHWAY 380 (A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) FOR THE SOUTHEAST CORNER OF THE SUBJECT TRACT, AND BEING A SOUTHWESTERLY CORNER OF A REMAINDER OF THAT TRACT CONVEYED TO PROSPER 380 COIT PARTNERS, LTD., RECORDED IN VOLUME 6050, PAGE 214 DRCT;

THENCE S 89° 33' 19" W, 711.92 FEET ALONG THE NORTH LINE OF U.S. HIGHWAY 380 TO A POINT FOR CORNER;

THENCE N 00° 26' 41" W, 487.12 FEET ALONG THE EAST LINE THEREOF TO A POINT FOR CORNER;

THENCE ALONG A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 2° 00' 50", A RADIUS OF 600.00 FEET, A CHORD OF N 01° 27' 06" W - 21.09 FEET, AN ARC LENGTH OF 21.09 FEET TO A POINT FOR CORNER FOR THE SOUTHWEST CORNER OF A TRACT CONVEYED TO THE FIRST BAPTIST CHURCH, PROSPER, TEXAS, RECORDED IN DOCUMENT NO. 20120410000417390 DRCT;

THENCE N 89° 33' 19" E, 712.29 FEET ALONG THE COMMON LINE THEREOF TO A POINT FOR CORNER ON THE EAST LINE OF SAID PROSPER 380 COIT PARTNERS TRACT, FOR THE SOUTHEAST CORNER OF SAID FIRST BAPTIST CHURCH TRACT;

THENCE S 00° 26' 41" E, 508.20 FEET ALONG THE COMMON LINE THEREOF TO THE POINT OF BEGINNING WITH THE SUBJECT TRACT CONTAINING 361,804 SQUARE FEET OR 8.306 ACRES OF LAND.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

APPROV.	
REVISION	
DATE	
No.	



TOWN OF PROSPER  
COLLIN COUNTY, TEXAS  
I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
ORANGE DEVELOPMENT, LLC  
1200 CORPORATE DRIVE, STE. G-50  
BIRMINGHAM, AL 35242



Z15-0008  
ZONING EXHIBIT 'A'  
PROSPER CROSSING  
GROSS ACRES: 83.608 AC  
NET ACRES: 77.090 AC  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS  
I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948

Date	: 05/04/15
Scale	: 1"=100'
File	: 70935-ZON.DWG
Project No.	: 70935

ZONING EXHIBIT 'A'  
PROSPER CROSSING

8 SHEET  
OF

## **EXHIBIT 'B'**

CVS Pharmacy intends to develop the hard corner of US 380 & Coit road with a 14,600 SF building with drive-thru service. The remainder of Tract A is designed as a shopping center to accommodate an approximate 115,000 square foot anchor retail building along with complimentary retail establishments containing restaurant and typical service tenants. Other than CVS, there are four (4) planned outparcels which may contain a combination of national and regional retailers including banks, casual dining restaurants as well as established quick-service restaurants.

Tracts B, C & D are under separate ownership, but governed by the same zoning, Planned Development-38 (PD-38).

This Planned Development request is intended to resolve the discrepancy between the zoning and ownership circumstances and allow for the development of a CVS Pharmacy in the near term and future retail and service of the remaining property in the future.

## -Exhibit C-

### Planned Development Standards

#### Conformance with the Town's Zoning Ordinance and Subdivision Ordinance:

Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance (Ordinance No. 05-20 as it exists or may be amended) and the Subdivision Ordinance (as it exists or may be amended) shall apply.

#### **Tract A Retail District**

A.1 Except as noted below, Tract A shall develop in accordance with the Retail District, as it exists or may be amended.

#### A.2 Development Plans

1. Conceptual Development Plan: Development shall be in conformance with the attached concept plan, set forth in Exhibit D.
2. Elevations: Development shall be in conformance with the attached elevations, set forth in Exhibit F.
3. Landscape Plan: Development shall be in conformance with the attached landscape plan, set forth in Exhibit G.
4. Minor amendments to the approved Conceptual Development shall be considered at time of the submittal of a Preliminary Site Plan. The Preliminary Site Plan shall clearly note any deviations from the approved Conceptual Development Plan. To be classified as a minor amendment, the proposed changes shall not:
  1. alter the basic relationship of the proposed development to adjacent property,
  2. alter the uses permitted,
  3. increase the density,
  4. increase the building height,
  5. increase the coverage of the site,
  6. reduce the off-street parking ratio,
  7. reduce the building lines provided at the boundary of the site, or
  8. significantly alter any open space plans

Where the proposed changes do not meet the criteria of a minor amendment, a formal amendment of the Planned Development District, including Public Hearings conducted by the Planning & Zoning Commission and Town Council shall be required in accordance with Chapter 1, Section 8 of the Zoning Ordinance as it exists or may be amended.

A.3 Uses. Uses shall be permitted in accordance with the Retail District and as shown on Exhibit D with the exception of the following uses which shall be prohibited:

1. Athletic Stadium or Field, Private
2. Athletic Stadium or Field, Public
3. Cemetery/Mausoleum
4. Commercial Amusement, Outdoor

5. Recycling Collection Point
6. School District Bus Yard
7. Sewage Treatment Plant/Pumping Station
8. Trailer Rental
9. Utility Distribution/Transmission Facility
10. Water Treatment Plant

#### A.4 Regulations

1. US 380 - Tree plantings shall be provided at minimum rate of a four (4) inch Caliper trees (at the time of planting) per twenty-five (25) lineal feet. Shrub plantings shall be provided at a lineal rate of 40 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
2. Coit Road - Tree plantings shall be provided at minimum rate of a four (4) inch Caliper tree (at the time of planting) per twenty-five (25) lineal feet. Shrub plantings shall be provided at a lineal rate of 40 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
3. Richland Blvd. – Tree plantings shall be provided at a minimum rate of a four (4) inch caliper tree per twenty (20) linear feet. Shrub plantings shall be provided at a minimum rate of 20 ten (10) gallon shrubs per thirty (30) linear feet. A berm of a minimum height of four (4) feet shall be provided within the landscape buffer along Richland Boulevard in areas which are not encumbered by the gas line easement.
4. Parking abutting perimeter landscape areas shall be screened from the adjacent roadway by 3' minimum tall shrubs and 3' minimum tall berms.
5. Loading Areas – Where loading areas are adjacent to Richland Boulevard evergreen trees with a minimum height of ten (10) feet shall be provided at a minimum rate of one (1) tree per twenty (20) linear feet within the landscape buffer adjacent to the loading areas.
6. Utility Power Lines: New utility distribution and service lines for individual business establishments, buildings, signs and for any other site development features shall be placed underground. Existing overhead facilities may remain overhead.
7. All required trees that conflict with the existing 50' gas easement must be located in an alternate location outside of the 50' gas easement on the subject property for the parking islands as designated on Exhibit 'D'. All other islands shall be designed in a manner to meet Town's landscape requirements.
8. All above ground detention ponds shall be treated as open space amenities and landscaped as such. These ponds shall be placed in a manner as to be designed and constructed to maintain a constant normal pool elevation. The Town's engineering department shall review and confirm any design constraints that would preclude the pond from maintaining a constant pool elevation.

## **Tract B, C, & D Retail District**

B.1 Except as noted below, the Tracts B, C, & D shall develop in accordance with the Retail District, as it exists or may be amended.

### **B.2 Development Plans**

1. Conceptual Development Plan: Prior to application for a Preliminary Site Plan and/or Site Plan on Tract B, C, & D, a Conceptual Development Plan shall be submitted for each Tract, and receive a recommendation from the Planning & Zoning Commission and be approved by the Town Council.

A Conceptual Development Plan shall be prepared and contain the same information as required for "Exhibits D and F" associated with the application for a Planned Development District. The required information of Exhibits D and F associated with a Planned Development District are denoted in the Town's Development Manual as it exists or may be amended.

This Conceptual Development Plan shall be required for the general area within which development is to occur. This general area shall be bounded by thoroughfares, ownership lines, creekways or other physical barriers that define a geographic boundary that separates the area of interest from other parcels.

Minor amendments to the approved Conceptual Development shall be considered at time of the submittal of a Preliminary Site Plan. The Preliminary Site Plan shall clearly note any deviations from the approved Conceptual Development Plan. To be classified as a minor amendment, the proposed changes shall not:

1. alter the basic relationship of the proposed development to adjacent property,
2. alter the uses permitted,
3. increase the density,
4. increase the building height,
5. increase the coverage of the site,
6. reduce the off-street parking ratio,
7. reduce the building lines provided at the boundary of the site, or
8. significantly alter any open space plans

Where the proposed changes do not meet the criteria of a minor amendment, a formal amendment of the Planned Development District, including Public Hearings conducted by the Planning & Zoning Commission and Town Council shall be required in accordance with Chapter 1, Section 8 of the Zoning Ordinance as it exists or may be amended.

B.3 Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following uses which shall be prohibited:

1. Athletic Stadium or Field, Private
2. Athletic Stadium or Field, Public
3. Cemetery/Mausoleum
4. Commercial Amusement, Outdoor
5. Recycling Collection Point
6. School District Bus Yard
7. Sewage Treatment Plant/Pumping Station

8. Trailer Rental
9. Utility Distribution/Transmission Facility
10. Water Treatment Plant

#### B.4 Regulations

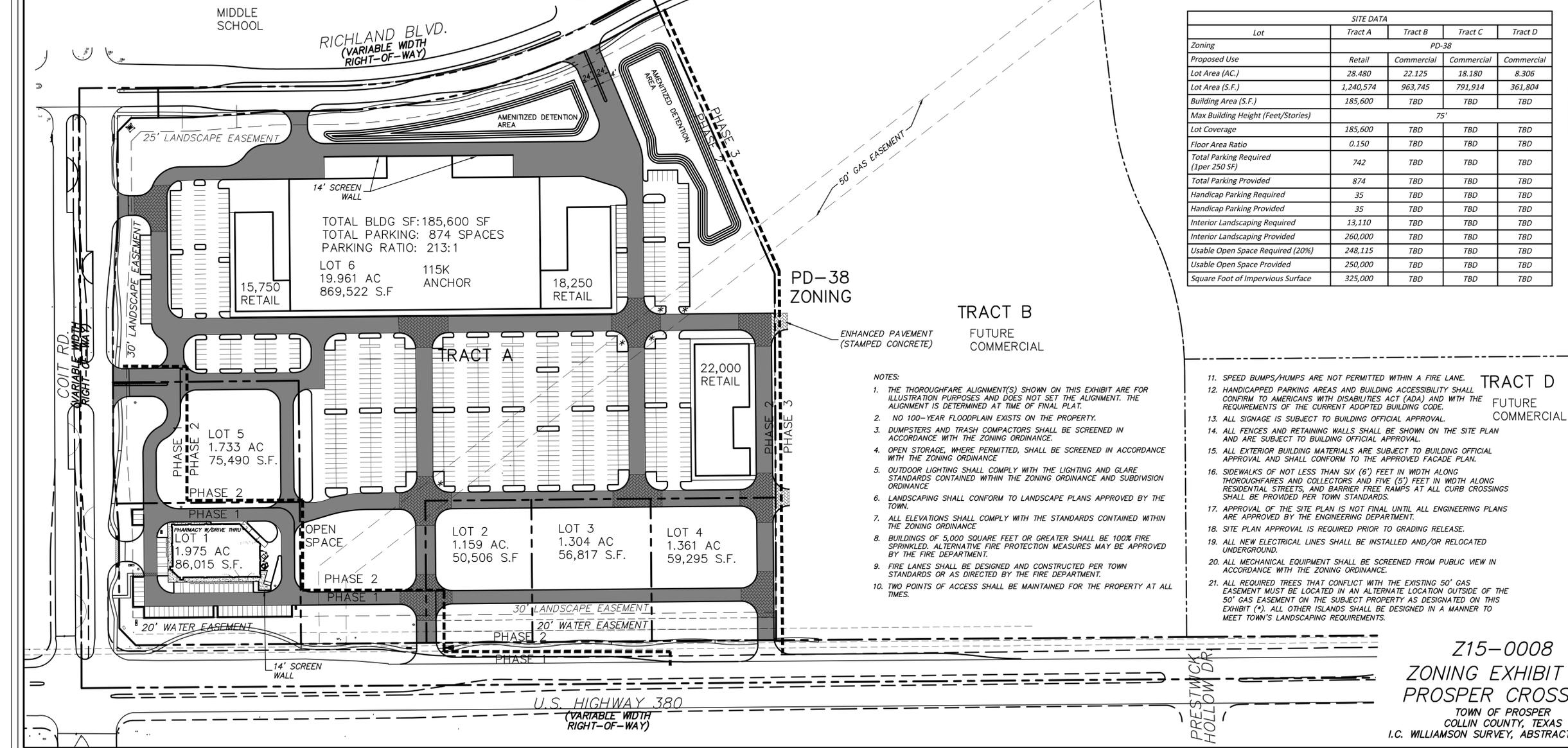
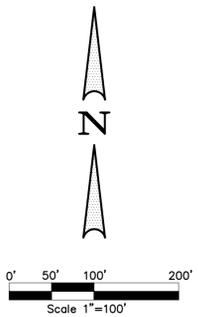
1. US 380 – On Tracts B, C, & D tree plantings shall be provided at minimum rate of a four (4) inch Caliper trees (at the time of planting) per twenty-five (25) lineal feet. Shrub plantings shall be provided at a lineal rate of 40 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
2. Richland Blvd. – On Tracts B, C, & D tree plantings shall be provided at a minimum rate of a four (4) inch caliper tree per twenty (20) linear feet. Shrub plantings shall be provided at a minimum rate of 20 ten (10) gallon shrubs per thirty (30) linear feet. A berm of a minimum height of four (4) feet shall be provided within the landscape buffer along Richland Boulevard in areas which are not encumbered by the gas line easement.
3. East Property Line - On Tracts B, C, & D the landscape buffer shall be twenty five (25) in width. Tree plantings shall be provided at a minimum rate of a four (4) inch caliper tree per twenty (20) linear feet. Shrub plantings shall be provided at a lineal rate of 40 five (5) gallon shrubs (at the time of planting) per a minimum thirty (30) lineal feet.
4. Parking abutting perimeter landscape areas shall be screened from the adjacent roadway by 3' minimum tall shrubs and 3' minimum tall berms.
5. Loading Areas – Where loading areas are adjacent to Richland Boulevard and the east property line, evergreen trees with a minimum height of ten (10) feet shall be provided at a minimum rate of one (1) tree per twenty (20) linear feet within the landscape buffer adjacent to the loading areas.
6. Utility Power Lines: New utility distribution and service lines for individual business establishments, buildings, signs and for any other site development features shall be placed underground. Existing overhead facilities may remain overhead.
7. All required trees that conflict with the existing 50' gas easement must be located in an alternate location outside of the 50' gas easement on the subject property for the parking islands as designated on Exhibit 'D'. All other islands shall be designed in a manner to meet Town's landscape requirements.
8. All above ground detention ponds shall be treated as open space amenities and landscaped as such. These ponds shall be placed in a manner as to be designed and constructed to maintain a constant normal pool elevation. The Town's engineering department shall review and confirm any design constraints that would preclude the pond from maintaining a constant pool elevation.

**FLOOD NOTE**  
 According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 480141-0260G, dated January 19th, 1996, this property is within Flood Zone X, Zone X - Areas determined to be outside the 500-year floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

NOTE: RICHLAND BLVD. IN THIS AREA IS SHOWN PER THE "ROAD AGREEMENT" DATED 12/18/06. THE TOWN OF PROSPER IS NOT A PARTY TO THIS AGREEMENT THEREFORE THE ALIGNMENT MUST BE RECONFIGURED AT THE TIME OF PRELIMINARY SITE PLAN APPROVAL.

- LEGEND**
- PP Power Pole
  - GW Guy Wire
  - MH Manhole
  - WV Water Valve
  - TP Telephone Pedestal
  - WM Water Meter
  - FH Fire Hydrant
  - LP Light Pole
  - IV Irrigation Valve
  - CO Clean Out
  - AC Air Conditioner
  - TV Cable Box
  - SB Signal Box
  - SP Signal Pole
  - SN Sign
  - IRF Iron Rod Found
  - IRS Iron Rod Set
  - SS Sanitary Sewer
  - SW Storm Sewer



Lot	SITE DATA			
	Tract A	Tract B	Tract C	Tract D
Zoning	PD-38			
Proposed Use	Retail	Commercial	Commercial	Commercial
Lot Area (AC)	28.480	22.125	18.180	8.306
Lot Area (S.F.)	1,240,574	963,745	791,914	361,804
Building Area (S.F.)	185,600	TBD	TBD	TBD
Max Building Height (Feet/Stories)	75'			
Lot Coverage	185,600	TBD	TBD	TBD
Floor Area Ratio	0.150	TBD	TBD	TBD
Total Parking Required (1per 250 SF)	742	TBD	TBD	TBD
Total Parking Provided	874	TBD	TBD	TBD
Handicap Parking Required	35	TBD	TBD	TBD
Handicap Parking Provided	35	TBD	TBD	TBD
Interior Landscaping Required	13,110	TBD	TBD	TBD
Interior Landscaping Provided	260,000	TBD	TBD	TBD
Usable Open Space Required (20%)	248,115	TBD	TBD	TBD
Usable Open Space Provided	250,000	TBD	TBD	TBD
Square Foot of Impervious Surface	325,000	TBD	TBD	TBD

PD-38 ZONING

- NOTES:**
- THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.
  - NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
  - DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
  - ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
  - BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
  - FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  - TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.

- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFIRM TO AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SIDEWALKS OF NOT LESS THAN SIX (6') FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5') FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL REQUIRED TREES THAT CONFLICT WITH THE EXISTING 50' GAS EASEMENT MUST BE LOCATED IN AN ALTERNATE LOCATION OUTSIDE OF THE 50' GAS EASEMENT ON THE SUBJECT PROPERTY AS DESIGNATED ON THIS EXHIBIT (\*). ALL OTHER ISLANDS SHALL BE DESIGNED IN A MANNER TO MEET TOWN'S LANDSCAPING REQUIREMENTS.

NO.	DATE	CITY COMMENTS	REVISION	MD	APPROV.
1.	06/08/2015				



TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS  
 I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948  
 ORANGE DEVELOPMENT, LLC  
 1200 CORPORATE DRIVE, STE. G-50  
 BIRMINGHAM, AL 35242

CONCEPTUAL DEVELOPMENT PLAN  
 ZONING EXHIBIT 'D'  
 PROSPER CROSSING

Date : 05/04/15  
 Scale : 1"=100'  
 File : 70536-ZON.DWG  
 Project No. : 70536

Z15-0008  
 ZONING EXHIBIT 'D'  
 PROSPER CROSSING  
 TOWN OF PROSPER  
 COLLIN COUNTY, TEXAS  
 I.C. WILLIAMSON SURVEY, ABSTRACT NO. 948

SHEET  
 2  
 OF  
 2

**EXHIBIT 'E'**

**PROJECTED DEVELOPMENT SCHEDULE**

**PROSPER CROSSING**

**June 12, 2015**

**TRACT A:**

**Phase 1 (CVS Pharmacy)**

- |                                   |                 |
|-----------------------------------|-----------------|
| <b>a. Construction Start</b>      | <b>02/01/16</b> |
| <b>b. Construction Completion</b> | <b>07/16/16</b> |
| <b>c. Store Opening</b>           | <b>08/07/16</b> |

**Phase 2 (Anchored Shopping Center)**

- |                                   |            |
|-----------------------------------|------------|
| <b>a. Construction Start</b>      | <b>TBD</b> |
| <b>b. Construction Completion</b> | <b>TBD</b> |
| <b>c. Store Opening</b>           | <b>TBD</b> |

**TRACTS B, C, & D**

- |                                   |            |
|-----------------------------------|------------|
| <b>a. Construction Start</b>      | <b>TBD</b> |
| <b>b. Construction Completion</b> | <b>TBD</b> |
| <b>c. Store Opening</b>           | <b>TBD</b> |

**WEST ELEVATION**  
(COIT ROAD)



**MATERIALS SQUARE FOOTAGE**

STONE VENEER:	562 SF	(25.0% NET)
BRICK VENEER:	1,484 SF	(66.0% NET)
EIFS/TRELLIS:	202 SF	(09.0% NET)
GLAZING/DOOR:	329 SF	(12.8% TOTAL)
NET:	2,248 SF	
TOTAL:	2,577 SF	

**EXTERIOR FINISH SCHEDULE**

TAG	MATERIAL / DESCRIPTION	MFR	STYLE/ CAT. NO.	COLOR	NOTES
E1	STO FINISH AT TRELLIS	STO POWERWALL	191 STOLIT LOTUSAN 1.5	449 BUCKSKIN	SEE SPECIFICATION
E2	EIFS	STO THERM LOTUSAN	191 STOLIT LOTUSAN 1.5	449 BUCKSKIN	SEE SPECIFICATION
E3	STONE	ACME NATURAL STONE	CHOPPED	AUTUMN BLEND	MORTAR TO MATCH STONE
E4	CAST STONE SILL	BUILDERS CAST STONE		TEXAS CREAM	MORTAR TO MATCH CAST STONE
E5	BRICK	ACME BRICK	MODULAR -- RUNNING BOND	DOESKIN	MORTAR TO MATCH BRICK
E6					
E7	BRICK	ACME BRICK	MODULAR -- RUNNING BOND	KO-KO BROWN	MORTAR TO MATCH BRICK
E8					
E9	STANDING SEAM METAL ROOF	BERRIDGE		ZINC-COTE	
E10	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS	CLEAR ANODIZED	
E11	PRE-FABRICATED CANOPY	MAPES ARCHITECTURAL CANOPIES	SEE SPECS	CLEAR ANODIZED	
E12	ALUM STOREFRONT	SEE SPECS	SEE SPECS	CLEAR ANODIZED	
E13	PAINT	BENJAMIN MOORE		PAINT TO MATCH EIFS "E1"	
E14	PREFINISHED METAL			COLOR TO MATCH EIFS "E2"	COPING & CORNICE LIGHTING BREAK MTL
E15	PAINT	BENJAMIN MOORE		PAINT TO MATCH BRICK "E7"	
E16	BOLLARD COVER	SEE "SITE & STREET FURNISHINGS" SPEC	SEE "SITE & STREET FURNISHINGS" SPEC	YELLOW	TYP FOR ALL PIPE BOLLARDS (UON)
E17	STANDING SEAM METAL AWNING	BERRIDGE	BOTH SIDES TO HAVE ZINC-COTE	ZINC-COTE	GC TO PROVIDE ESCUTCHEON PLATE AFTER STUCCO INSTALL (PAINT TO MATCH FRAME)

**SOUTH ELEVATION**  
(UNIVERSITY DRIVE/ U.S. 380)



**MATERIALS SQUARE FOOTAGE**

STONE VENEER:	846 SF	(22.3% NET)
BRICK VENEER:	2,581 SF	(69.8% NET)
EIFS/TRELLIS:	371 SF	(07.9% NET)
GLAZING/DOOR:	329 SF	(08.0% TOTAL)
NET:	3,798 SF	
TOTAL:	4,127 SF	

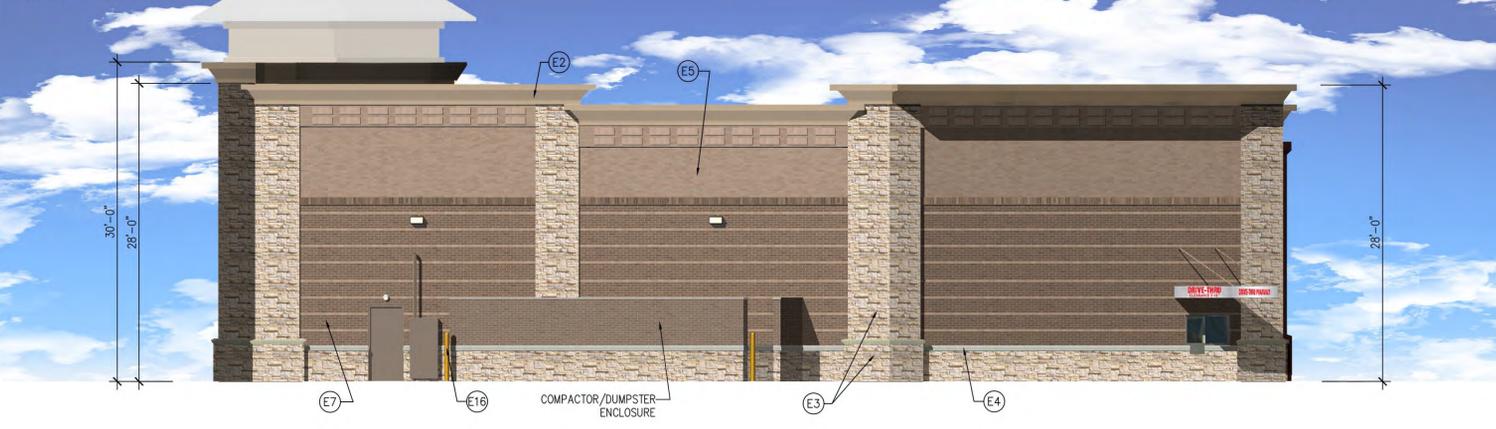
**NORTH ELEVATION**



**MATERIALS SQUARE FOOTAGE**

STONE VENEER:	1,109 SF	(32.8% NET)
BRICK VENEER:	2,136 SF	(63.2% NET)
EIFS/TRELLIS:	137 SF	(04.0% NET)
GLAZING/DOOR:	37 SF	(01.1% TOTAL)
NET:	3,382 SF	
TOTAL:	3,419 SF	

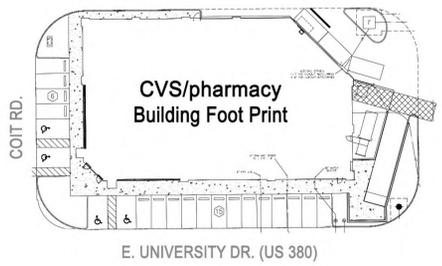
**EAST ELEVATION**



- NOTE:**
1. THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE
  3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
  4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT
  5. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

**MATERIALS SQUARE FOOTAGE**

STONE VENEER:	576 SF	(31.4% NET)
BRICK VENEER:	1,183 SF	(64.5% NET)
EIFS/TRELLIS:	74 SF	(04.1% NET)
GLAZING/DOOR:	37 SF	(02.0% TOTAL)
NET:	1,833 SF	
TOTAL:	1,870 SF	



**LEGEND**

(X) - RE: EXTERIOR FINISH SCHEDULE

NOTE: SIGNAGE UNDER SEPARATE PERMIT



**STANDARD 14600-RIGHT**  
**CHAMFER DRIVE-THRU**

**STORE NUMBER: 10641**

NEC U.S. HWY 380 & COIT ROAD  
PROSPER, TEXAS

**PROJECT TYPE: NEW STORE**  
**DEAL TYPE: FFS**

**CS PROJECT NUMBER: 82079**

**ARCHITECT OF RECORD**

GENESIS DESIGN GROUP, INC.  
421 W HARWOOD ROAD  
SUITE 100  
HURST, TEXAS 76054  
TEL (817) 285-7444  
FAX (817) 285-7318

**STRUCTURAL ENGINEER:**

**MEP ENGINEER:**

**DEVELOPER:**

ORANGE DEVELOPMENT, INC.  
1200 CORPORATE DRIVE  
SUITE G-50  
BIRMINGHAM, AL 35242  
TEL (205) 408-3443

**SEAL:**

**REVISIONS:**


DRAWING BY: \_\_\_\_\_

DATE: \_\_\_\_\_ 2014

JOB NUMBER: \_\_\_\_\_

TITLE: \_\_\_\_\_

**EXTERIOR ELEVATIONS**

**Exhibit F**  
**Z15-0008**





SOUTHERN 14,600-RIGHT  
 CHAMFER DRIVE-THRU  
 STORE NUMBER 10641  
 NEC U.S. HWY 380 & COIT ROAD  
 PROSPER, TEXAS  
 PROJECT TYPE: NEW  
 DEAL TYPE: FEE FOR SERVICE  
 CS PROJECT NUMBER 82079

**CIVIL ENGINEER:**  
  
 W Winkelmann & Associates, Inc.  
 CONSULTING CIVIL ENGINEERS & SURVEYORS  
 4750 HILLCREST PLAZA DR., SUITE 325 DALLAS, TEXAS 75230  
 Texas Engineers Registration No. 89 Texas Surveyors Registration No. 100866-00  
 COPYRIGHT © 2014, Winkelmann & Associates, Inc.

**CONSULTANT:**

**DEVELOPER:**

Orange Development Inc.  
 1200 Corporate Drive  
 Suite G-50  
 BIRMINGHAM, AL 35242  
 TEL: (205)408-3443  
 FAX: (205)408-1850

**SEAL:**

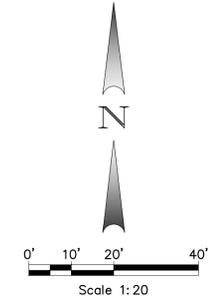
REVISIONS:

EXHIBIT G  
 Z15-0008

FILE NAME: 70936-LAN.dwg  
 JOB NUMBER: 70936  
 DATE: 10/07/14  
 TITLE: LANDSCAPE PLAN  
 SHEET NUMBER: L-1

COMMENTS:  
 NOT FOR CONSTRUCTION

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.



MATCH LINE 'A' - SHEET L-2

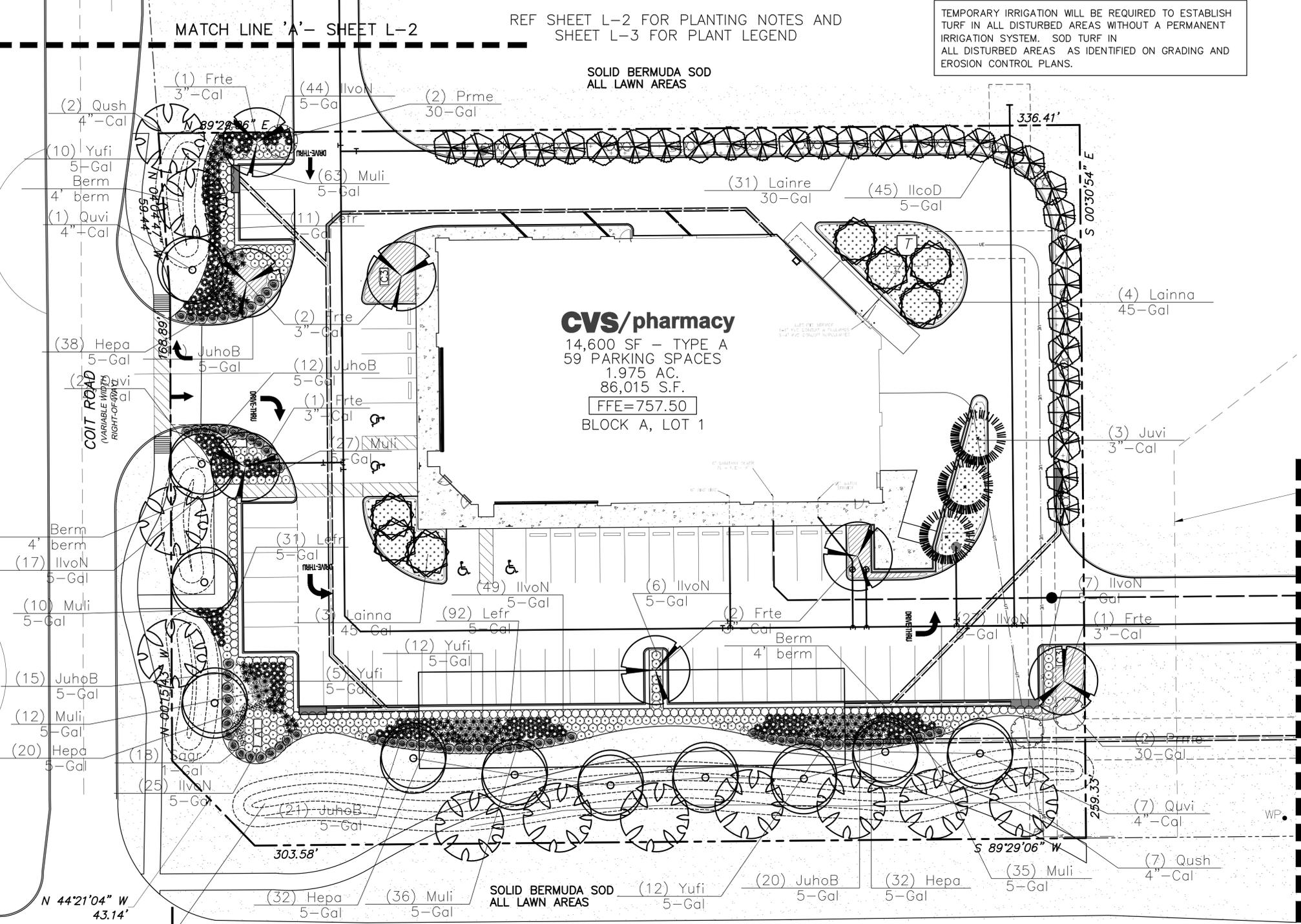
REF SHEET L-2 FOR PLANTING NOTES AND SHEET L-3 FOR PLANT LEGEND

SOLID BERMUDA SOD  
 ALL LAWN AREAS

**CVS/pharmacy**  
 14,600 SF - TYPE A  
 59 PARKING SPACES  
 1.975 AC.  
 86,015 S.F.  
 FFE=757.50  
 BLOCK A, LOT 1

SOLID BERMUDA SOD  
 ALL LAWN AREAS

MATCH LINE 'B' - SHEET L-2



**CAUTION!!!**  
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG: TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377 TEXAS ONE CALL SYSTEMS 1-800-245-4545 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5

BEFORE YOU DIG...

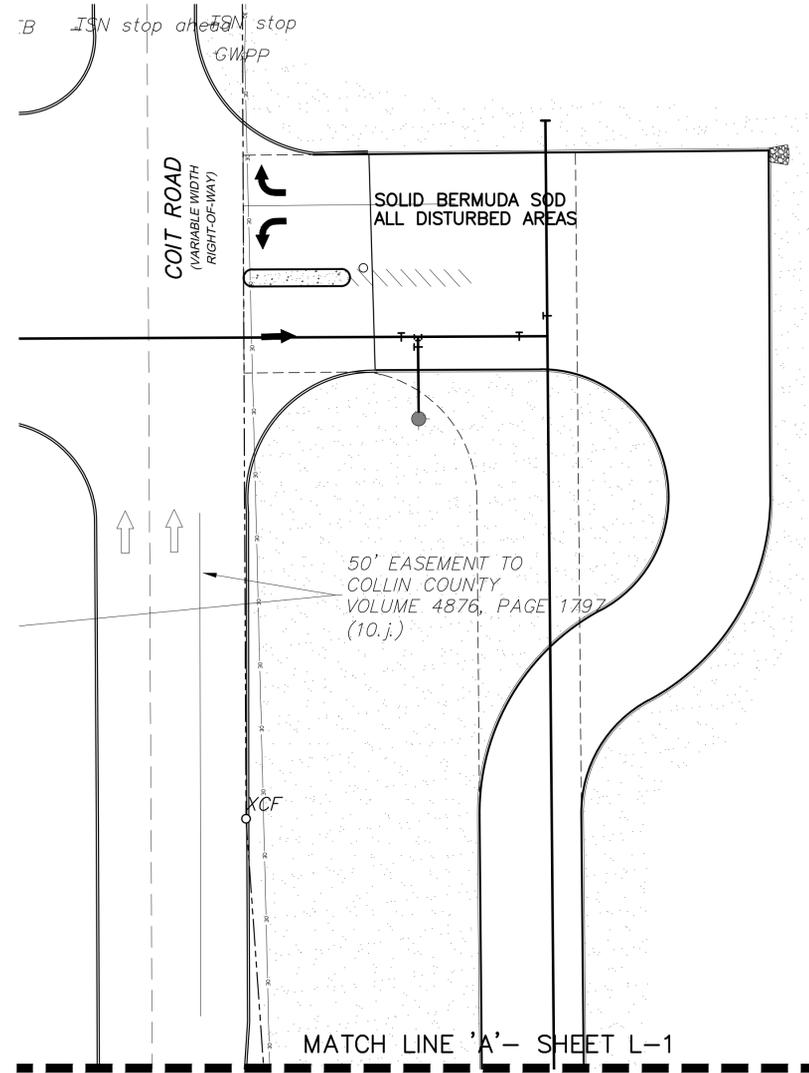
**NOTE:**  
 NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.

U. S. HIGHWAY 380

**DFL Group, LLC**  
 PARKS + OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE  
 82039 MIDCITIES BLVD, NORTH RICHLAND HILLS, TX 76180 817-479-0730



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF JOHN R. FAIN, LANDSCAPE ARCHITECT REGISTRATION NUMBER 805 ON 06/02/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING, PURSUANT TO RULE 3103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.



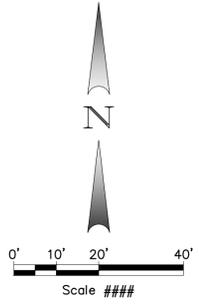
**NOTE:**  
NO LANDSCAPE PLANTINGS  
WITHIN 18" OF PARKING  
LOT CURBS.

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH  
TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT  
IRRIGATION SYSTEM. SOD TURF IN  
ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND  
EROSION CONTROL PLANS.

**CAUTION!!**  
UNDERGROUND UTILITIES ARE LOCATED IN  
THIS AREA. 48 HOURS PRIOR TO ANY  
CONSTRUCTION ACTIVITIES, CONTACT LINE  
LOCATES FOR FRANCHISE UTILITY INFO.  
CALL BEFORE YOU DIG:  
TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
1-800-344-8377  
TEXAS ONE CALL SYSTEMS  
1-800-245-6545  
LONE STAR NOTIFICATION CENTER  
1-800-669-8344 EXT. 5

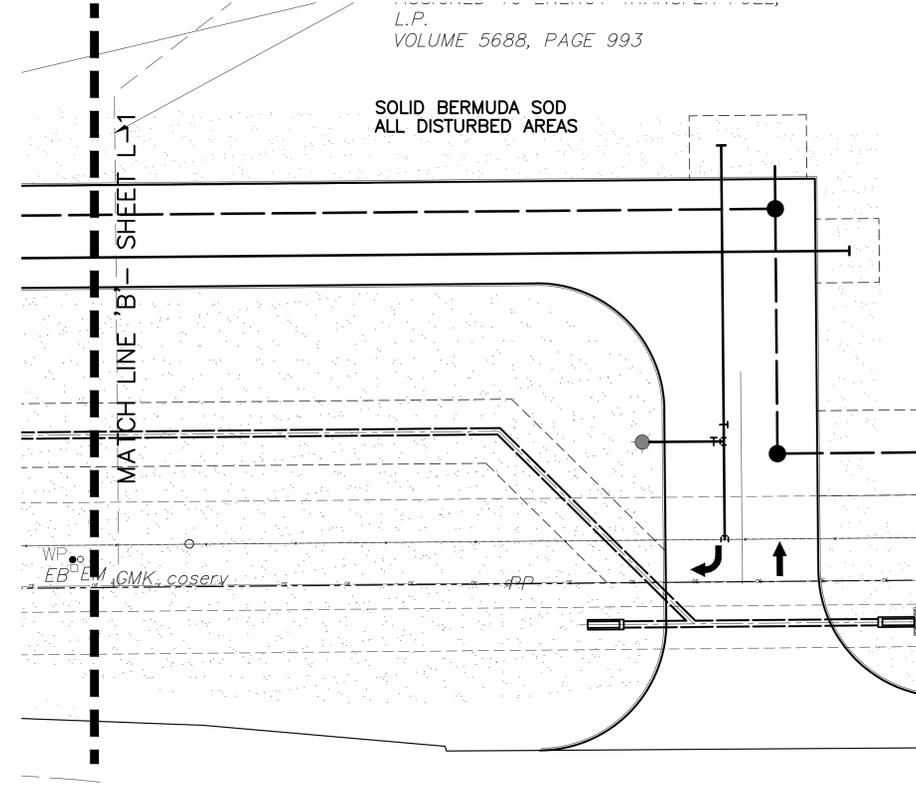


BEFORE  
YOU DIG...



REF SHEET L-3 FOR PLANT LEGEND

L.P.  
VOLUME 5688, PAGE 993



PROSPER LANDSCAPE

(In the event of conflict between these notes and any other plan comments or specifications, Town of Prosper notes shall apply.)

**Landscape Notes**

- Plant material shall be measured and sized according to the latest edition of The Texas Nursery & Landscape Association (TNLA) Specifications, Grades and Standards.
- All plant substitutions are subject to Town approval and must be specified on the approved landscape plan.
- Groundcovers used in lieu of turf grass must provide complete coverage within one (1) year of planting and maintain adequate coverage as approved by the Town.
- Trees must be planted four feet (4') or greater from curbs, sidewalks, utility lines, screening walls, and/or other structures. The Town has final approval for all tree placements.
- Tree pits shall have roughened sides and be two to three times wider than the root ball of the tree in order to facilitate healthy root growth.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within a 24-hour period, the contractor shall provide berming or provide alternative drainage.
- Trees shall not be planted deeper than the base of the trunk flare.
- The tree pit shall be backfilled with native topsoil free of rock and other debris.
- Burlap, twine, and wire baskets shall be loosened and pulled back from the trunk of tree as much as possible.
- Trees shall not be watered to excess that result in soil saturation. If soil becomes saturated, the watering schedule shall be adjusted to allow for drainage and absorption of the excess water.
- A 3-4" layer of mulch shall be provided around the base of the planted tree. The mulch shall be pulled back 1-2" from the trunk of the tree.
- No person(s) or entity may use improper or malicious maintenance or pruning techniques which would likely lead to the death of the tree. Improper or malicious techniques include, but are not limited to, topping or other unsymmetrical trimming of trees, trimming trees with a backhoe, or use of fire or poison to cause the death of the tree.
- Topsoil shall be a minimum of 8" in depth in planting area. Soil shall be free of stones, roots, and clods and any other foreign material that is not beneficial for plant growth.
- All plant beds shall be top-dressed with a minimum of 3" of mulch.
- Trees overhanging walks and parking shall have a minimum clear trunk height of 7 feet. Trees overhanging public street pavement drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet.
- A visibility triangle must be provided at all intersections, where shrubs are not to exceed 30 inches in height, and trees shall have a minimum clear trunk height of 9 feet.
- Trees planted on a slope shall have the tree well at the average grade of the slope.
- No shrubs shall be permitted within areas less than 3 feet in width. All beds less than 3 feet in width shall be grass, groundcover, or some type of fixed paving.
- The owner, tenant, and/or their agents, if any, shall be jointly and severally responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not be limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscape areas.
- All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed, shall be replaced with plant material of similar size and variety within 30 days, unless otherwise approved in writing by the Town of Prosper.
- Landscape and open areas shall be kept free of trash, litter, and weeds.
- An automatic irrigation system shall be provided to irrigate all landscape areas. Overspray on streets and walks is prohibited. A permit from the Building Inspection Department is required for each irrigation system.
- No plant material shall be allowed to encroach on right-of-way, sidewalks, or easements to the extent that the vision of route of travel for vehicular, pedestrian, or bicycle traffic is impeded.
- No planting areas shall exceed 3:1 slopes: 3' horizontal to 1' vertical.
- Earthen berms shall not include construction debris. Contractor must correct slippage or damage to the smooth finish grade of the berm prior to acceptance.
- All walkways shall meet A.D.A. and T. A. S. requirements.
- Contact Town of Prosper Parks and Recreation Division at (972) 346-3502 for landscape inspection. Note that the installation must comply with approved landscape plans prior to final acceptance by the Town and/or obtaining a Certificate of Occupancy.
- Final inspection and approval of screening walls, irrigation and landscape is subject to all public utilities, including but not limited to manholes, valves, water meters, cleanouts, and other appurtenances, to be accessible, adjusted to grade, and to the Town of Prosper's Public Works Department standards.
- Prior to calling for a landscape inspection, contractor is responsible for marking all manholes, valves, water meters, cleanouts, and other utility appurtenances with flagging for field verification by the Town.

CITY OF PROSPER LANDSCAPE REQUIREMENTS		
PERIMETER BUFFER	30' PERIMETER BUFFER ON HWY 380	PROVIDED
REQUIRED	30'	30'
15' PERIMETER BUFFER ON COLLECTOR STREETS	PROVIDED	15'
REQUIRED	15'	15'
15' PERIMETER BUFFER ON ADJACENT RESIDENTIAL	PROVIDED	NA
REQUIRED	NA	NA
5' PERIMETER BUFFER ON ALL OTHER PERIMETERS	PROVIDED	5'
REQUIRED	5'	5'
PERIMETER BUFFER	1 TREE PER 30 LF AND 15 SHRUBS PER 30 LF	PROVIDED
REQUIRED (ADJ UNIVERSITY/380)	333 / 30 = 12 TREES (333 / 30) x 15 = 167 SHRUBS	14 TREES 444 SHRUBS
REQUIRED (ADJ COIT RD)	222 / 30 = 8 TREES (222 / 30) x 15 = 111 SHRUBS	9 TREES 296 SHRUBS
REQUIRED (ADJ RESIDENTIAL)	NA	NA
REQUIRED (ADJ NON-RESIDENTIAL)	526 / 15 = 35 ORNAMENTALS 526 / 15 = 35 SHRUBS	35 ORNAMENTALS 35 SHRUBS
REQUIRED PARKING LOT LANDSCAPING	15 SF LANDSCAPE AREA REQUIRED PER EVERY SPACE	PROVIDED
REQUIRED	60 SPACES X 15 = 900 SF	1,023 SF
REQUIRED PARKING LOT TREES	1 TREE PER TERMINUS OF EACH ROW	PROVIDED
FOUNDATION LANDSCAPING	1 TREE PER AT 10,000 SF	PROVIDED
REQUIRED	14,600 / 10,000 = 2 TREES	2 TREES

NOTE: PLAN MEETS TOTAL REQUIRED MINIMUM PLANTINGS. HOWEVER, SPACE LIMITATIONS REQUIRE SOME PLANTINGS TO BE MOVED ELSEWHERE ON THE SITE.

- PARKING LOT IS SCREENED FROM ROW WITH EVERGREEN HEDGE.
- PARKING LOT SPACES DO NOT EXCEED 15 WITHOUT LANDSCAPE ISLAND.
- SITE WILL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, DESIGNED AND INSTALLED BY A LICENSED TEXAS IRRIGATOR.
- SITE WILL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF PROSPER LANDSCAPE ORDINANCE, SECTION 2.4.

EXHIBIT G  
Z15-008



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF JOHN R. FAIN, LANDSCAPE ARCHITECT REGISTRATION NUMBER 805 ON 06/02/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

**CVS pharmacy**  
SOUTHERN 14,600-RIGHT  
CHAMFER DRIVE-THRU  
STORE NUMBER 10641  
NEC U.S. HWY 380 & COIT ROAD  
PROSPER, TEXAS  
PROJECT TYPE: NEW  
DEAL TYPE: FEE FOR SERVICE  
CS PROJECT NUMBER 82079

**CIVIL ENGINEER**  
**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS • SURVEYORS  
4750 HILLCREST PLAZA DR., SUITE 325 75230 480-7099  
DALLAS, TEXAS 75230 (972) 480-7099  
Texas Engineers Registration No. 89  
Texas Surveyors Registration No. 100866-00  
COPYRIGHT © 2014, Winkelmann & Associates, Inc.

**CONSULTANT:**

**DEVELOPER:**  
Orange Development Inc.  
1200 Corporate Drive  
Suite G-50  
BIRMINGHAM, AL 35242  
TEL: (205)408-3443  
FAX: (205)408-1850

**SEAL:**

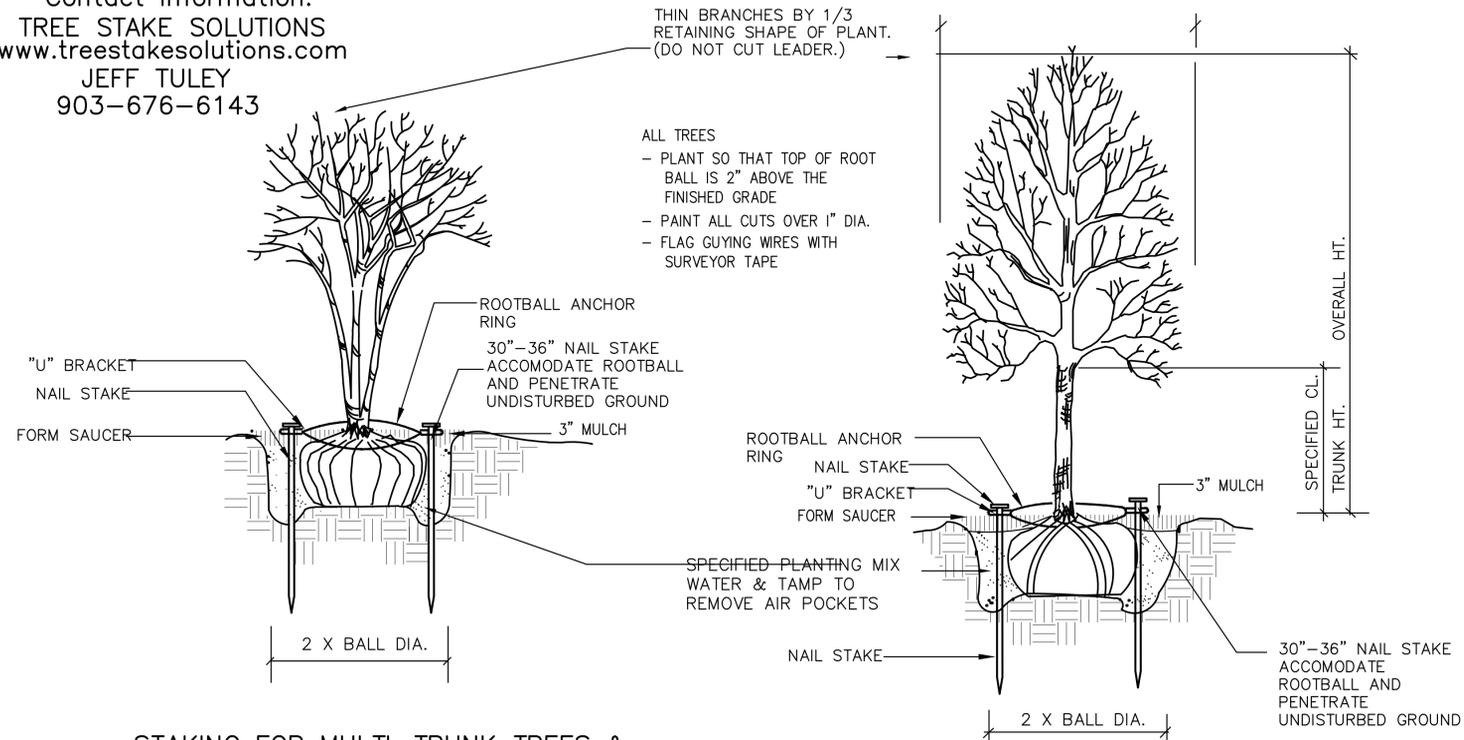
**REVISIONS:**

FILE NAME: 70936-LAN.dwg  
JOB NUMBER: 70936  
DATE: 10/07/14  
TITLE: LANDSCAPE PLAN

SHEET NUMBER: L-2

COMMENTS: NOT FOR CONSTRUCTION

Contact Information:  
**TREE STAKE SOLUTIONS**  
 www.treestakesolutions.com  
**JEFF TULEY**  
 903-676-6143

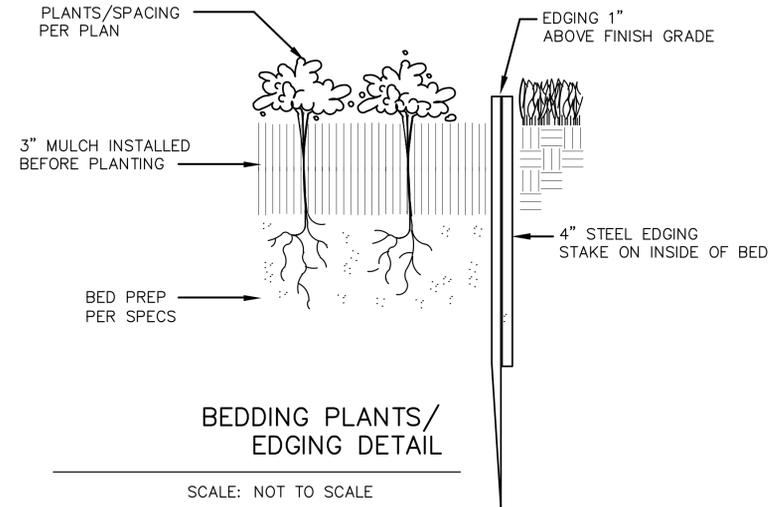


**STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER**

SCALE: NOT TO SCALE

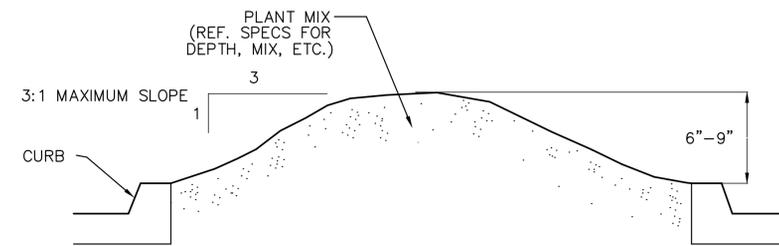
**SAFETY STAKE BY TREE STAKE SOLUTIONS**

SCALE: NOT TO SCALE



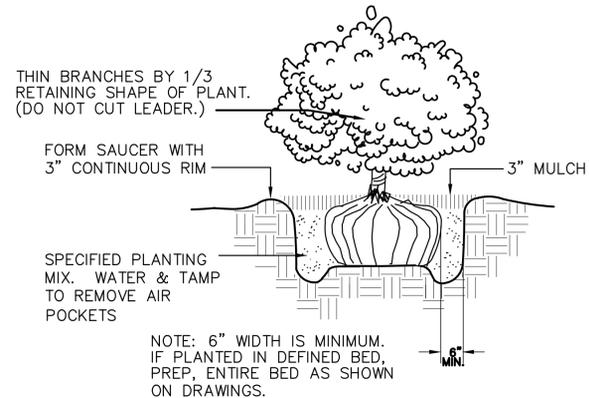
**BEDDING PLANTS/ EDGING DETAIL**

SCALE: NOT TO SCALE



**TYPICAL PARKING LOT ISLAND MOUNDING**

SCALE: NOT TO SCALE



**SHRUB PLANTING**

SCALE: NOT TO SCALE



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF JOHN R. FAIN, LANDSCAPE ARCHITECT REGISTRATION NUMBER 805 ON 06/02/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING, PURSUANT TO RULE 3.102(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

**PLANT LIST**

Symbol	Quantity	Code Name	Scientific Name	Common Name	Planting Size	Comments
	7	Frte	Fraxinus texensis	Texas ash	3"-Cal	B & B, 10' Min Ht
	11	Quvi	Quercus virginiana	Southern live oak	4"-Cal	B & B, 12' Min Ht
	11	Qush	Quercus shumardii	Shumard oak	4"-Cal	B & B, 12' Min Ht
	135	Lefr	Leucophyllum frutescens	Texas ranger	5-Gal	36" O.C.
	185	Muli	Muhlenbergia lindheimeri	Lindheimer muhly	5-Gal	36" O.C.
	4	Prme	Prunus mexicana	Mexican plum	30-Gal	Single straight trunk
	7	Lainna	Lagerstroemia indica 'Natchez'	Crape myrtle 'Natchez'	45-Gal	3 to 5 canes, 8' Min Ht
	31	Lainre	Lagerstroemia indica 'Red Rocket'	'Red Rocket' crape myrtle	30-Gal	3 to 5 canes
	3	Juvi	Juniperus virginiana	Eastern red cedar	3"-Cal	B & B, 10' Min Ht
	79	JuhoB	Juniperus horizontalis 'Bar Harbor'	Bar Harbor juniper	5-Gal	48" O.C.
	175	IlvaN	Ilex vomitoria 'Nana'	Dwarf yaupon	5-Gal	36" O.C.
	18	Sagr	Salvia greggii	Autumn Sage	1-Gal	24" O.C.
	39	Yufi	Yucca filamentosa	Softleaf yucca	5-Gal	48" O.C.
	122	Hepa	Hesperaloe parviflora	Red yucca	5-Gal	36" O.C.
	45	IlcoD	Ilex cornuta 'Dwarf Burford'	Dwarf Burford holly	5-Gal	36" O.C.
	890	Stte	Stipa tenuissima	Mexican feathergrass	4" pot	18" O.C.
	1325	Limu	Liriope muscari 'Big Blue'	Big Blue liriope	4" Pot	12" O.C.
		Cyda	Cynodon dactylon	Solid Bermuda sod	Sod	Solid

NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM PLANT SIZES MEET CITY REQUIREMENTS.



**SOUTHERN 14,600-RIGHT**  
**CHAMFER DRIVE-THRU**  
**STORE NUMBER 10641**  
 NEC U.S. HWY 380 & COIT ROAD  
 PROSPER, TEXAS  
**PROJECT TYPE: NEW**  
**DEAL TYPE: FEE FOR SERVICE**  
**CS PROJECT NUMBER 82079**

**CIVIL ENGINEER:**  
**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS • SURVEYORS  
 4750 HILLCREST PLAZA, SUITE 325 DALLAS, TEXAS 75230  
 Texas Engineers Registration No. 89 (972) 490-7099 FAX  
 Texas Surveyors Registration No. 100866-00  
 COPYRIGHT © 2014, Winkelmann & Associates, Inc.

**CONSULTANT:**

**DEVELOPER:**

**Orange Development Inc.**  
 1200 Corporate Drive  
 Suite G-50  
 BIRMINGHAM, AL 35242  
 TEL: (205)408-3443  
 FAX: (205)408-1850

**SEAL:**

REVISIONS:

FILE NAME: 70936-LAN.dwg

JOB NUMBER: 70936

DATE: 10/07/14

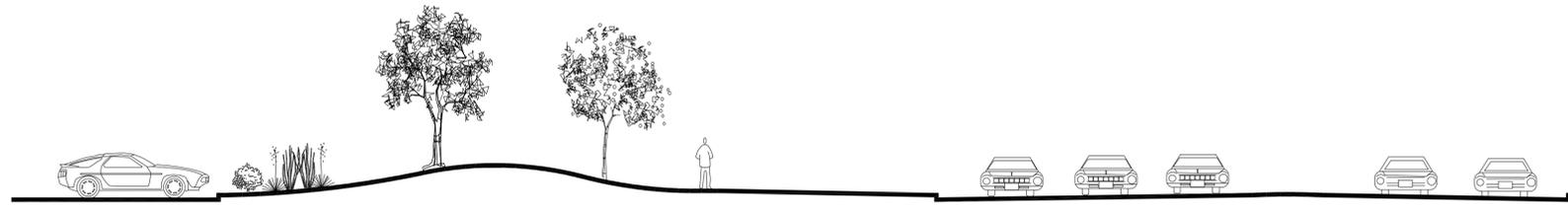
TITLE:

**PLANTING DETAILS**

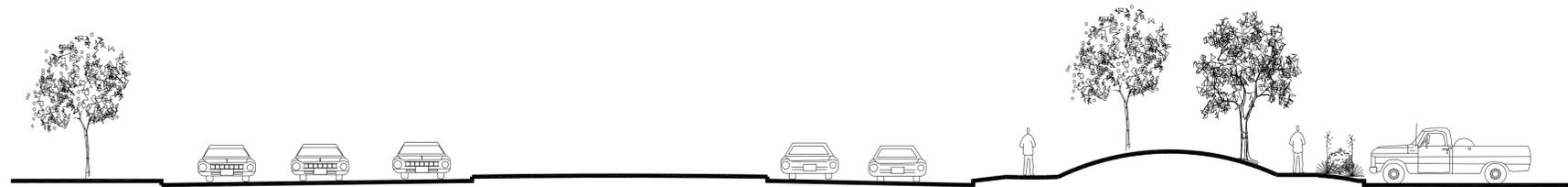
SHEET NUMBER:

**L-3**

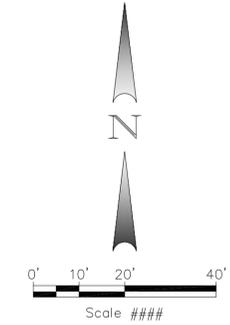
COMMENTS:  
 NOT FOR CONSTRUCTION



SECTION A-A



SECTION B-B



**CAUTION!!!**  
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.  
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
 1-800-344-8377  
 TEXAS ONE CALL SYSTEMS  
 1-800-245-4545  
 LONE STAR NOTIFICATION CENTER  
 1-800-669-8344 EXT. 5



**BEFORE YOU DIG...**



SOUTHERN 14,600-RIGHT  
 CHAMFER DRIVE-THRU  
 STORE NUMBER: 10641  
 NEC U.S. HWY 380 & COIT ROAD  
 PROSPER, TEXAS  
 PROJECT TYPE: NEW  
 DEAL TYPE: FEE FOR SERVICE  
 CS PROJECT NUMBER: 82079

**CIVIL ENGINEER:**  
  
**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
 6750 HILLCREST PLAZA DR., SUITE 325 (972) 490-7090  
 DALLAS, TEXAS 75230 (972) 490-7099 FAX  
 Texas Engineers Registration No. 89  
 Texas Surveyors Registration No. 100966-00  
 COPYRIGHT © 2014, Winkelmann & Associates, Inc.

**CONSULTANT:**

**DEVELOPER:**  
  
**Orange Development Inc.**  
 1200 Corporate Drive  
 Suite G-50  
 BIRMINGHAM, AL 35242  
 TEL: (205)408-3443  
 FAX: (205)408-1850

**SEAL:**

**REVISIONS:**


FILE NAME: 70936-LAN.dwg  
 JOB NUMBER: 70936

DATE: 06/02/14

TITLE: **OPEN SPACE PLAN**

SHEET NUMBER: **OS-1**

COMMENTS: NOT FOR CONSTRUCTION



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF JOHN R. FAIN, LANDSCAPE ARCHITECT REGISTRATION NUMBER 805 ON 06/02/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING, PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.



Development Services  
P.O. Box 307  
409 E. First St.  
Prosper, TX 75078  
Phone: 972-346-3502

---

May 29, 2015

Cothran Malibu LP  
19422 Sierra Linda Rd.  
Irvine, CA 92603

Reliable Tep Partners LLC  
2504 Loftsmoor Lane  
Plano, TX 75025

First Baptist Church of Prosper  
601 S. Church St  
Prosper, TX 75078

RE: Notice of Property Rezoning  
Planned Development-38  
Approximately 83.6 acres  
I.C. Williamson Survey, Abstract 948  
North of US 380; east of Coit Rd; south of Richland Blvd, Prosper TX  
Case Z15-0008

The Town of Prosper has received a formal application to rezone Planned Development-38 (PD-38) as referenced above. PD-38 (enclosed as Attachment 1) was approved by the Town Council in 2007 in response to a request by Alberta Development Partners to create a unified retail center on the 83.6-acre tract of land. The PD requires development to be conformance with the adopted plan and architectural standards.

Over the past several years, the single tract has been sold by metes and bounds to various owners. The owner of the western-most tract desires to deviate from the development plan as established by the PD and desires to develop a CVS Pharmacy at the NEC of US 380 and Coit Road. This action in combination with the split of the parent tract necessitates the amendment of the entire area of PD-38. Without formally amending the PD, development of any portion of the 83.6-acre site will not be permitted.

Attachment 2 denotes the applicant's draft graphic proposal for development of the western tract, labeled as Tract A. The three remaining tracts have been labeled as Tract B for zoning purposes by staff.

Without the benefit of a master development plan as approved in the original PD-38, staff has drafted some basic development standards to accommodate future requests to develop these tracts. As recommended by staff, the tracts shall be developed in accordance with the Retail District of the Town's Zoning Ordinance, with the exception of certain prohibited uses. Please refer to Attachment 3, titled as "Exhibit C – Planned Development Standards" which will be incorporated in the amended PD-38. We have also included an excerpt from the Town's Zoning Ordinance depicting the permitted uses of the Retail District (Attachment 4).

Page 2  
Notice of Property Rezoning  
Planned Development-38  
Z15-0008  
May 29, 2015

This application will be scheduled for a future Planning & Zoning Commission Public Hearing. The earliest date for the Public Hearing could be June 16<sup>th</sup>, but official notice of the exact date will be mailed to all property owners ten (10) days before the meeting.

Alex Glushko, Senior Planner, or I are available to meet with you at your convenience to address any concerns or answer questions. Alex can be contacted at 972-569-1093 or via email at [alex\\_glushko@prospertx.gov](mailto:alex_glushko@prospertx.gov). I can be reached at 972-569-1090 or via email at [john\\_webb@prospertx.gov](mailto:john_webb@prospertx.gov).

Sincerely,

*J. S. Webb*

John S. Webb, AICP  
Director of Development Services

Cc: Alex Glushko, Senior Planner



**DEVELOPMENT SERVICES**  
**DEPARTMENT**  
P.O. Box 307  
Prosper, TX 75078  
Phone: 972-346-3502  
Fax: 972-347-2842

**REPLY FORM**

**SUBJECT:**

Zoning Case Z15-0008: The Town of Prosper has received a request to amend Planed Development-38 (PD-38) in its entirety, being 83.6± acres.

**LOCATION OF SUBJECT PROPERTY:**

The property is located on the northeast corner of Coit Road and US 380.

**DESCRIPTION OF THE REQUEST:**

The purpose of the request is to establish PD development standards in order to facilitate the development of a retail development. The Planned Development (PD) District is a district that accommodates planned associations of uses developed as integral land use units such as offices, commercial or service centers, shopping center, residential development of multiple or mixed housing (including attached single-family dwellings), or any appropriate combination of uses that may be planned, developed, or operated as integral land use units either by a single owner or a combination of owners.

I **OPPOSE** the request as described in the notice of public hearing. If in opposition, please provide a reason for opposition.

I **DO NOT OPPOSE** the request as described in the notice of public hearing.

COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY): *I, Bhadrash Teivedi, Manager of Reliable TEP Partners LLC am replying in favor of City's plan to amend the PD. We will present our concept plans later after the amendment of PD for any development plans.*

*Bhadrash Teivedi*

Name (please print)

*2504 Loftsmoor Ln*

Address

*Plano TX 75025*

City, State, and Zip Code

*[Handwritten Signature]*

Signature

*06/09/2015*

Date

*Bhadrash-Teivedi@yahoo.com*

E-mail Address



**PLANNING**

**To: Planning & Zoning Commission**  
**From: Alex Glushko, AICP, Senior Planner**  
**Through: John Webb, AICP, Director of Development Services**  
**Re: Planning & Zoning Commission Meeting – June 16, 2015**

**Agenda Item:**

Conduct a Public Hearing, and consider and act upon a request to rezone 12.3± acres, from Commercial (C) to Planned Development-Retail (PD-R), located on the west side of Custer Road, 200± feet north of US 380. (Z15-0009).

**Description of Agenda Item:**

The zoning and land use of the surrounding properties are as follows:

	<b>Zoning</b>	<b>Current Land Use</b>	<b>Future Land Use Plan</b>
<b>Subject Property</b>	Commercial	Undeveloped	US 380 District
<b>North</b>	Commercial	Prosper Plaza	US 380 District
<b>East</b>	City of McKinney	City of McKinney	City of McKinney
<b>South</b>	City of McKinney	City of McKinney	City of McKinney
<b>West</b>	Commercial	Undeveloped	US 380 District

**Requested Zoning** – Z15-0003 is a request to rezone 12.3± acres, from Commercial (C) to Planned Development-Retail (PD-R), located on the west side of Custer Road, 200± feet north of US 380. The purpose of this request is to allow for the development of a big box retail building (Lowe’s) with outdoor display, sales, and storage on Tract A, and a retail building on Tract B.

Development of the property is proposed in accordance with Exhibit C (development standards), Exhibit D (conceptual development plan), Exhibit F (conceptual architectural elevations), and Exhibit G (conceptual landscape plans), and in accordance with the Retail (R) District, with the exception of the standards which vary from the Town's requirements, as listed below.

The business model for home improvement stores requires significant areas devoted to the outdoor display of goods and landscape material for sale. In addition, the site needs to accommodate the outdoor storage of overstock material not for immediate sale (see attached pictures of examples). At this site, in addition to outdoor display in front of the building, Lowe's is requesting areas for display and storage between the building and Custer Road and within the parking lot near Custer Road. As noted in paragraphs 5 and 6 below, staff and the Lowe's representatives worked on a buffering and screening plan to accommodate their request while protecting the public view corridor along Custer Road.

1. Uses – The proposed PD limits the permitted uses in the Retail District, as outlined in Exhibit C, Section A.3
2. Façade Plan – Staff and the applicant worked to develop a façade plan that would yield a unique image while respecting the basic architectural needs of a big box building. To “break-up” the long wall of the front façade, a variety of offsets, elements and materials including “barn door” features, brick, stone, stucco, hardy board and a metal canopy were utilized. 84% of the front façade will be masonry.
3. Landscaping, Berming, and Screening – The proposed PD includes requirements for additional landscaping, berming, and screening along Custer Road in order to screen the view of the garden center and the outdoor sales, display, and storage areas. While the proposed landscaping exceeds the Town's minimum requirements and provides for adequate screening, there are existing utility easements located along Custer Road, which have the potential of compromising the landscaping in the future. However, the applicant has sent letters to the two primary easement holders (North Texas Municipal Water District (NTMWD) and CoServ Electric) seeking some level of assurance that the proposed landscaping is will not be removed in the future. NTMWD did respond and indicate that the landscaping is acceptable, but did not provide any assurance that the landscaping would not be removed and/or replaced in the future. The applicant has not received a response from CoServ Electric. The letters have been attached for reference.
4. Parking – The proposed parking requirement for a retail use is one space per 250 square feet, which would result in 556 parking spaces. The applicant is proposing to provide parking for the big box at a ratio of one space per 400 square feet, which would result in 355 parking spaces. Staff has analyzed this request by comparing it to similar uses within nearby municipalities and considered the usage during peak hours, and considers this to be a reasonable parking ratio, which will not result in an over paved, underutilized impervious surface. Staff supports this provision.
5. Outdoor Sales and Display – The Zoning Ordinance does not currently allow for outdoor sales and display. The proposed PD limits outdoor sales and display to the east and south sides of the big box, and in a parking row southeast of the big box, in specific, designate locations. Outdoor sales and display is a critical element of the operations and functions of the proposed big box user, and the applicant has deemed this a necessity component of the use. Staff supports this provision.

6. Open Storage – In conjunction with the aforementioned outdoor sales and display areas located to the east of the big box, and in the parking row southeast of the big box, open storage is permitted in conjunction with the outdoor sales and display. Open storage is another critical element of the operations and functions of the proposed big box user, and the applicant has deemed this as another necessity component of the use. To mitigate concerns over the visual impact of the open storage on the east side of the property and near the public roadway, the applicant has adequately screened the outdoor sales, storage, and display with a landscape screening and berms. Staff supports the open storage in conjunction with the outdoor sales and display.

On the north side of the big box, there are two areas designated for open storage, and the applicant is proposing not to screen these areas in accordance with the minimum requirements of the Zoning Ordinance. In the future, the northern most drive along Custer Road will serve as an access point to future development to the west of the big box; although located in the rear of the building, staff recommends some level of screening should be provided for the open storage to mitigate the visual impact of open storage of stacked and stored materials associated with a home improvement facility, out in the open along the access drive.

7. Foundation Plantings – The Zoning Ordinance requires foundation plantings along the front of a big box building, including one large tree per every ten thousand square feet, located within thirty feet of the building. The proposed big box would require fourteen trees along the front of the building. The intent of this provision is to break up the wall spans and soften the appearance of big box buildings. The applicant has stated that due to soil testing reports recommending against foundation plantings that the provision not be required for this development. Staff recommends the applicant provide foundation plantings, or an alternate form of foundation plantings (i.e. above ground planters) to meet the minimum requirements and intent of the Zoning Ordinance.
8. Parking Islands – The Zoning Ordinance requires landscape islands, including islands required in conjunction with parking rows, to be covered with living plant material. The requirements allow for decomposed granite surfacing, but need to be supplemented with associated ground covering, grasses, shrubs, boulders, etc. The applicant is proposing to utilize decomposed granite, but without any of the associated ground cover, grasses, shrubs, boulders, etc. Town staff recommends these elements be incorporated into the PD standards.
9. Cart Corrals – The proposed PD requires ornamental metal cart corrals. Staff supports this provision.
10. Drive-Through Landscape Island – The Zoning Ordinance requires a ten-foot landscape island for drive-through uses. On Tract B, the applicant is proposing a nine-foot wide island due to site constraints. Staff feels this satisfies the intent of the ordinance and supports this provision.
11. Dumpster Enclosure – The Zoning Ordinance prohibits dumpster enclosures from directly facing public streets. On Tract B, the applicant is proposing to orient the dumpster enclosure directly toward Custer Road; however, the enclosure is setback more than 300 feet from the roadway and will be screened with adequate screening along Custer Road. Staff supports this provision.

Staff has requested that the applicant provide for an alternative type of surfacing (i.e. stained concrete) for the loading area in front of the big box, as opposed to painted striping which is subject to chipping and weathering. The applicant did not include this requirement into the request. Staff recommends the applicant provide alternative type of surfacing for the loading area.

Future Land Use Plan – The Future Land Use Plan recommends US 380 District for the property.

Thoroughfare Plan – The property is adjacent to US 380, a major thoroughfare, and Custer Road which ultimately will be a six-lane major thoroughfare. The zoning exhibit complies with the Thoroughfare Plan.

Water and Sanitary Sewer Services – Water and sanitary sewer services have been extended to the property.

Access – Access to the property will be provided from US 380 and Custer Road.

Schools – This property is served by the Prosper Independent School District (PISD). It is not anticipated that a school site will be needed on this property.

Parks – It is not anticipated that this property will be needed for the development of a park.

Environmental Considerations – There is no 100-year floodplain located on the property.

**Legal Obligations and Review:**

Notification was provided to neighboring property owners as required by state law. Town staff has received one Public Hearing Notice Reply form; not in opposition to the request.

**Attached Documents:**

1. Zoning map of the surrounding area
2. Proposed Exhibits A, B, C, D, E, F, and G
3. Easement holder letters
4. Public Hearing Notice Reply form
5. Pictures of Outdoor Display and Storage at other Home Improvement Stores

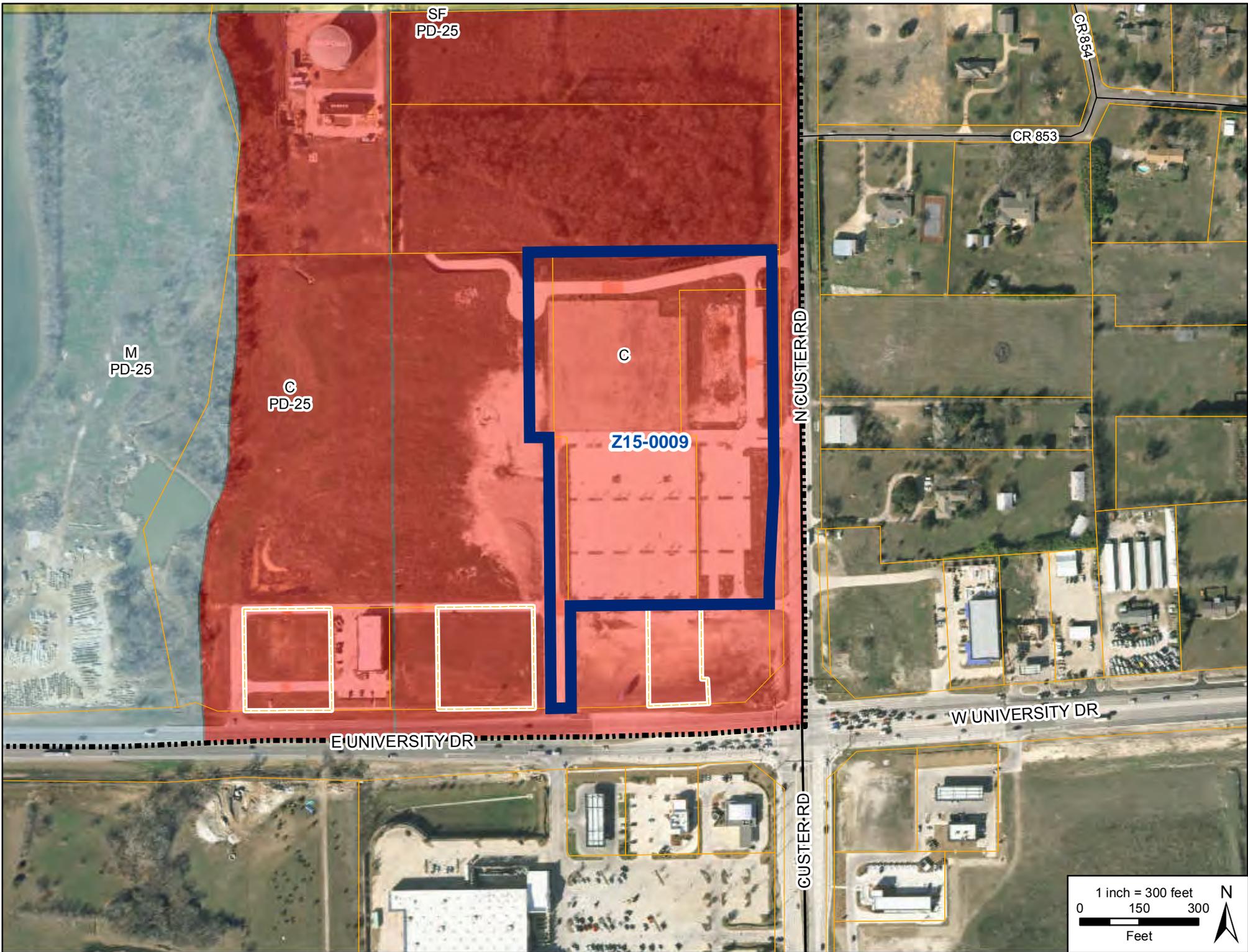
**Town Staff Recommendation:**

Town staff recommends the Planning & Zoning Commission approve the request to rezone 12.3± acres, from Commercial (C) to Planned Development-Retail (PD-R), located on the west side of Custer Road, 200± feet north of US 380, subject to:

1. Revising the PD to require screening for open storage on the north side of the big box.
2. Revising the PD to require foundation plantings or an alternate form of foundation planting in front of the big box.
3. Revising the PD to require the parking row islands provide ground cover, grasses, shrubs, boulders, etc in conjunction with decomposed granite.
4. Revising the PD to require alternative type of surfacing (i.e. stained concrete) for the loading area in front of the big box.

**Town Council Public Hearing:**

Upon a recommendation by the Planning & Zoning Commission, in accordance with the Town's Development Schedule, a public hearing for this item would be scheduled for the Town Council at their Regular meeting on July 14, 2015.



SF  
PD-25

M  
PD-25

C  
PD-25

C

Z15-0009

N CUSTER RD

E UNIVERSITY DR

CUSTER RD

W UNIVERSITY DR

CR 854

CR 853

1 inch = 300 feet  
0 150 300  
Feet



EISENMANN THEODORE J  
WALNUT GROVE #1,  
BLK 2, LOT 3A  
(NO ZONING-UNINCORPORATED)  
COLLIN COUNTY  
EXISTING USE: RESIDENTIAL (ESTATE)

CUSTER STORAGE CENTER, LLC  
ABS A0995 B P WORLEY SURVEY, TRACT 18  
(NO ZONING-UNINCORPORATED)  
COLLIN COUNTY  
EXISTING USE: MINI-STORAGE

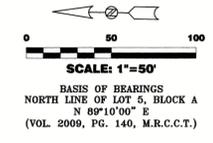
LEWIS MICHELE ANN &  
SHERIDAN ELAINE FREMMING &  
MICHAEL DOUGLAS FREMMING, JR.  
ABS A0995 B P WORLEY SURVEY, TRACT 16  
(NO ZONING-UNINCORPORATED)  
COLLIN COUNTY  
EXISTING USE: RESIDENTIAL (ESTATE)

FREMMING M D ESTATE &  
SHIRLEY GRAVES ESTATE  
ABS A0995 B P WORLEY SURVEY, TRACT 12  
(NO ZONING-UNINCORPORATED)  
COLLIN COUNTY  
EXISTING USE: RESIDENTIAL (ESTATE)

GESHER VENTURE, LTD.  
CUSTER 380 (CMC),  
BLOCK A, LOT 2  
(ZONED PD-CITY OF MCKINNEY)  
EXISTING USE: VACANT

TCG CUSTER/380 INVESTORS, LLC  
PARCEL 601 603 (CMC),  
BLK A, LOT 2R  
(ZONED PD-CITY OF MCKINNEY)

**CUSTER ROAD (F.M. 2478)**  
**(VARIABLE-WIDTH R.O.W.)**  
**(C.C.F. No. 2008-005, D.R.C.C.T.)**  
**(VOLUME 2008, PAGE 262, M.R.C.C.T.)**



**P.O.B.**  
TRACT A  
5/8" I.R.F.C.

**P.O.B.**  
TRACT B

7.5649 ACRES (called)  
FF 14TH FAIRWAY L.P.  
(VOLUME 4189, PAGE 1138, D.R.C.C.T.)  
ZONED: "C"  
EXISTING USE: VACANT  
FUTURE LAND USE: U.S. 380 DISTRICT

PART OF  
LOT 6, BLOCK A  
FINAL PLAT  
PROSPER PLAZA,  
LOTS 5 & 6, BLOCK A  
(VOLUME 2009, PAGE 140,  
M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA, L.P.  
C.C.F. NO. 20120906001115310  
D.R.C.C.T.

PROPOSED RESTAURANT/RETAIL  
REMAINDER OF  
LOT 6, BLOCK A  
FINAL PLAT  
PROSPER PLAZA,  
LOTS 5 & 6, BLOCK A  
(VOLUME 2009, PAGE 140,  
M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA, L.P.  
C.C.F. NO. 20120906001115310  
D.R.C.C.T.

EXISTING TACO BUENO  
LOT 1, BLOCK A  
FINAL PLAT  
PROSPER PLAZA,  
LOT 1, BLOCK A  
(VOLUME 2013, PAGE 462,  
M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA L.P.  
C.C.F. NO. 20131014010002990  
D.R.C.C.T.  
ZONED: "C"

WACHOVIA BANK NATIONAL ASSOC.  
CUSTER WAL MART (CMC),  
BLK A, LOT 4R  
(ZONED PD-CITY OF MCKINNEY)

**TRACT A**  
479,619 SQUARE FEET  
6.5673 ACRES  
CURRENT USE: VACANT  
PROPOSED USE: LOWES HOME IMPROVEMENT CENTER  
CURRENT ZONING: "C" COMMERCIAL  
PROPOSED ZONING: PLANNED DEVELOPMENT RETAIL  
FUTURE LAND USE: U.S. 380 DISTRICT

**TRACT B**  
57,866 SQUARE FEET  
1.3305 ACRES  
CURRENT USE: VACANT  
PROPOSED USE: RESTAURANT/RETAIL  
CURRENT ZONING: "C" COMMERCIAL  
PROPOSED ZONING:  
PLANNED DEVELOPMENT RETAIL  
FUTURE LAND USE: U.S. 380 DISTRICT

EXISTING BURGER KING  
LOT 7, BLOCK A  
REVISED CONVEYANCE PLAT  
PROSPER PLAZA,  
LOT 7, BLOCK A  
(VOLUME 2013, PAGE 462,  
M.R.C.C.T.)  
OWNER:  
FIREBRAND PROPERTIES L.P.  
C.C.F. NO. 20131003001384780  
D.R.C.C.T.  
ZONED: "C"

AYCO REALTY, LTD.  
CUSTER WAL MART (CMC),  
BLK A, LOT 3R  
(ZONED PD-CITY OF MCKINNEY)

PART OF  
LOT 5, BLOCK A  
FINAL PLAT  
PROSPER PLAZA, LOTS 5 & 6, BLOCK A  
(VOLUME 2009, PAGE 140, M.R.C.C.T.)  
OWNER:  
KOHL'S ILLINOIS INC.  
PROPERTY TAX DEPARTMENT  
C.C.F. NO. 20080529000646420  
D.R.C.C.T.

REMAINDER OF  
LOT 5, BLOCK A  
FINAL PLAT  
PROSPER PLAZA,  
LOTS 5 & 6, BLOCK A  
(VOLUME 2009, PAGE 140,  
M.R.C.C.T.)  
OWNER:  
KOHL'S ILLINOIS INC.  
PROPERTY TAX DEPARTMENT  
C.C.F. NO. 20080529000646420  
D.R.C.C.T.

LOT 2, BLOCK A  
REVISED CONVEYANCE PLAT  
PROSPER PLAZA, LOTS 1-4 & 7, BLOCK A  
(VOLUME 2009, PAGE 140, M.R.C.C.T.)  
OWNER: VIEWPOINT BANK  
C.C.F. NO. 20090414000434660  
D.R.C.C.T.  
ZONED: "C"  
EXISTING USE: VACANT  
FUTURE LAND USE: U.S. 380 DISTRICT

MURPHY OIL USA, INC.  
CUSTER WAL MART (CMC),  
BLOCK A, LOT 2  
(ZONED PD-CITY OF MCKINNEY)

PART OF  
LOT 4, BLOCK A  
REVISED CONVEYANCE PLAT  
PROSPER PLAZA, LOTS 1-4 & 7, BLOCK A  
(VOLUME 2009, PAGE 140, M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA, L.P.  
C.C.F. NO. 20120906001115310  
D.R.C.C.T.

REMAINDER OF  
LOT 4, BLOCK A  
REVISED CONVEYANCE PLAT  
PROSPER PLAZA, LOTS 1-4 & 7, BLOCK A  
(VOLUME 2009, PAGE 140, M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA, L.P.  
C.C.F. NO. 20120906001115310  
D.R.C.C.T.  
ZONING: C PD-25  
FUTURE LAND USE: U.S. 380 DISTRICT

REMAINDER OF  
LOT 3, BLOCK A  
REVISED CONVEYANCE PLAT  
PROSPER PLAZA, BLOCK A, LOTS 3 AND 10  
(VOLUME 2011, PAGE 49, M.R.C.C.T.)  
OWNER:  
ROSEBRIAR PROSPER PLAZA, L.P.  
C.C.F. NO. 20120906001115310  
D.R.C.C.T.  
ZONING: C  
EXISTING USE: VACANT  
FUTURE LAND USE: U.S. 380 DISTRICT

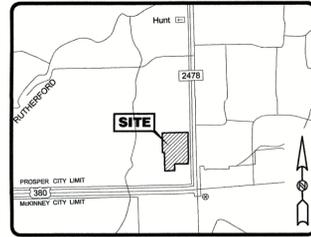
ZONING EXHIBIT "A"  
Z15-0009  
**12.341 ACRE TRACT OF LAND**  
**PART OF LOTS 4-5-6, BLOCK A**  
**PROSPER PLAZA**  
(VOLUME 2009, PAGE 140, M.R.C.C.T.)  
out of  
JEREMIAH HORN SURVEY, ABSTRACT No. 411  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**THOROUGHFARE NOTE**  
The thoroughfare alignment(s) shown on this exhibit are for illustration purposes and does not set the alignment.  
The alignment is determined at time of final plat.

**PREPARED FOR:**  
CROSSPOINT ENGINEERING  
5620 Old Bullard Road  
Suite 130  
Tyler, Texas 75703  
(903) 705-4416

**PROJECT INFORMATION**  
Date of Survey: 03/02/2015  
Job Number: 0714617  
Drawn By: W.J.J.  
G.P. No.: None  
File: Lowes-Prosper-PD Exhibit.Dwg  
**SHEET 1 OF 2**

**SCI**  
Survey Consultants, Inc.  
903 N. Bowser Road, Suite 240  
Richardson, Texas 75081  
(972) 424-7002 Voice  
(972) 633-1702 Fax  
WWW.SurveyConsultantsInc.Com  
TBPUS Firm No. 10139600



**LOCATION MAP**  
SCALE: 1"=2000'

**LEGEND**

5/8" I.R.S.  
(C.M.)  
C.C.F. NO.  
D.R.C.C.T.  
I.R.F.  
M.R.C.C.T.  
PG.  
P.O.B.  
R.O.W.  
VOL.

5/8" IRON ROD SET WITH PLASTIC CAP STAMPED "R.P.L.S. 5199"  
COUNTY CLERK'S FILE NUMBER  
CONTROLLING MONUMENT  
DEED RECORDS, COLLIN COUNTY, TEXAS  
IRON ROD FOUND  
MAP RECORDS, COLLIN COUNTY, TEXAS  
PAGE  
POINT OF BEGINNING  
RIGHT-OF-WAY  
VOLUME

**ZONING NOTES**

Property is Zoned "C" (Commercial)

**"C" Commercial Zoning** setback requirements, height and floor area restrictions.

Minimum Front Yard: 30'  
Minimum Side Yard: 15' adjacent to a non-residential district. The minimum side yard setback may be eliminated for attached retail buildings on separate lots as shown on an approved site plan.  
40' for a one-story building adjacent to a residential district, and 60' for a two-story building adjacent to a residential district.  
30' adjacent to a street.

Minimum Rear Yard: 15' adjacent to a non-residential district. The minimum rear yard setback may be eliminated for attached retail buildings on separate lots as shown on an approved site plan.  
40' for a one-story building adjacent to a residential district, and 60' for a two-story building adjacent to a residential district.

Minimum Lot Size: 10,000 square feet  
Minimum Lot Width: 70'  
Minimum Lot Depth: 100'  
Maximum Height: Two stories, no greater than 40'  
Maximum Lot Coverage: 50%  
Maximum Floor Area Ratio: 0.5 to 1

**LEGAL DESCRIPTION**

**TRACT A (Proposed Lowes Tract)**

**BEING** a tract of land located in the Town of Prosper, Collin County, Texas, part of the Jeremiah Horn Survey, Abstract No. 411, and being part of Lots 4, 5 and 6, Block A, Prosper Plaza, an addition to the Town of Prosper, Collin County, Texas according to the plat thereof recorded in Volume 2009, Page 140, Map Records, Collin County, Texas and being more particularly described as follows:

**BEGINNING** at a 5/8" iron rod with plastic cap stamped "RPLS 5199" found for the northeast corner of said Lot 6, being the most southerly northeast corner of Lot 5, Block A, said Prosper Plaza Addition, being in the west right-of-way line of Custer Road (F.M. 2478, a variable width R.O.W.);

**THENCE**, along the east line of said Lot 6 and the west line of Custer Road, as follows:  
South 00 degrees 50 minutes 00 seconds East, a distance of 589.96 feet to a 5/8" iron rod with plastic cap stamped "RPLS 5199" found;

South 02 degrees 36 minutes 01 seconds West, a distance of 138.58 feet to an "X" in concrete set;

**THENCE**, departing the west line of Custer Road, over and across said Lot 6 and Lot 5, South 89 degrees 10 minutes 04 seconds West, a distance of 351.50 feet to an "X" in concrete set;

**THENCE**, South 00 degrees 49 minutes 56 seconds East, a distance of 167.00 feet to an "X" in concrete set, being in the south line of said Lot 5 and the north line of Lot 2, Block A, Prosper Plaza, Lots 1-4 & 7, Block A as recorded in Volume 2009, Page 140, Map Records, Collin County, Texas;

**THENCE**, along the south line of said Lot 5 and the north line of said Lot 2, South 89 degrees 10 minutes 04 seconds West, a distance of 152.50 feet to an "X" in concrete set, being the northwest corner of said Lot 2 and being in the east line of said Lot 4;

**THENCE**, along the west line of said Lot 2 and the east line of said Lot 4, South 00 degrees 49 minutes 56 seconds East, a distance of 258.14 feet to a 5/8" iron rod set with plastic cap stamped "RPLS 5199", being the southwest corner of said Lot 2 and the southeast corner of said Lot 4, being in the north right-of-way line of U.S. Highway 380 (variable width R.O.W.);

**THENCE**, along the south line of said Lot 4 and the north line of U.S. Highway 380, South 89 degrees 10 minutes 04 seconds West, a distance of 51.50 feet to an "X" in concrete set;

**THENCE**, departing the north line of U.S. Highway 380, over and across said Lot 4 as follows:  
North 00 degrees 49 minutes 57 seconds West, a distance of 685.14 feet to an "X" in concrete set;

South 89 degrees 10 minutes 04 seconds West, a distance of 47.47 feet to a 5/8" iron rod set with plastic cap stamped "RPLS 5199";

North 00 degrees 49 minutes 56 seconds West, a distance of 468.28 feet to a 5/8" iron rod set with plastic cap stamped "RPLS 5199", being in the north line of said Lot 4 and the south line of a 7.5649 acre tract described in deed to FF 14th Fairway, L.P. as recorded in Volume 4189, Page 1138, Deed Records, Collin County, Texas;

**THENCE**, along the north line of said Lots 4, 5 and 6, and the south line of said 7.5649 acre tract, North 89 degrees 10 minutes 00 seconds East, a distance of 611.26 feet to the **POINT OF BEGINNING** and containing 479,619 square feet or 11.0105 acres of land more or less.

**LEGAL DESCRIPTION**

**TRACT B (Out-Parcel Tract)**

**BEING** a tract of land located in the Town of Prosper, Collin County, Texas, part of the Jeremiah Horn Survey, Abstract No. 411, and being part of Lots 5 & 6, Block A, Prosper Plaza, an addition to the Town of Prosper, Collin County, Texas according to the plat thereof recorded in Volume 2009, Page 140, Map Records, Collin County, Texas and being more particularly described as follows:

**BEGINNING** at an "X" in concrete found for the southeast corner of said Lot 6, being the northeast corner of Lot 1, Block A, Prosper Plaza addition as recorded in Volume 2013, Page 462, Map Records, Collin County, Texas, being in the west right-of-way line of Custer Road (F.M. Highway 2478, a variable width R.O.W.);

**THENCE**, along the south line of Lot 6, South 89 degrees 10 minutes 04 seconds West, passing at a distance of 344.80 the southwest corner of said Lot 6 and the southeast corner of said Lot 5, continuing along the south line of Lot 5 for a total distance of 344.80 feet to an "X" in concrete set;

**THENCE**, departing the south line of said Lot 5, over and across said Lots 5 & 6 as follows:  
North 00 degrees 49 minutes 56 seconds West, a distance of 167.00 feet to an "X" in concrete set;

North 89 degrees 10 minutes 04 seconds East, passing at a distance of 165.00 feet the east line of said Lot 5 and the west line of said Lot 6, continuing for a total distance of 351.50 feet to an "X" in concrete set, being in the east line of said Lot 6 and the west right-of-way line of said Custer Road;

**THENCE**, along the east line of said Lot 6 and the west right-of-way line of Custer Road, as follows:  
South 02 degrees 36 minutes 01 seconds West, a distance of 111.87 feet to a 5/8" iron rod found;

South 00 degrees 50 minutes 00 seconds East, a distance of 55.33 feet to the **POINT OF BEGINNING** and containing 57,956 square feet or 1.3305 acres of land more or less.

*William J. Johnson*  
William J. Johnson  
Registered Professional Land Surveyor No. 5426

**NOTICE:**  
This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

ZONING EXHIBIT "A"  
Z15-0009

**12.341 ACRE TRACT OF LAND  
PART OF LOTS 4-5-6, BLOCK A  
PROSPER PLAZA**

(VOLUME 2009, PAGE 140, M.R.C.C.T.)

out of  
JEREMIAH HORN SURVEY, ABSTRACT No. 411  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**PREPARED FOR:**  
CROSSPOINT ENGINEERING  
5620 Old Bullard Road  
Suite 130  
Tyler, Texas 75703  
(903) 705-4416

**PROJECT INFORMATION**  
Date of Survey: 03/02/2015  
Job Number: 0714817  
Drawn By: W.J.J.  
G.F. No.: None  
File: Lowes-Prosper PD Exhibit.Dwg  
**SHEET 2 OF 2**



903 N. Bowser Road, Suite 240  
Richardson, Texas 75081  
(972) 424-7002 Voice  
(972) 633-1702 Fax  
WWW.SurveyConsultantsInc.Com  
TBPLS Firm No. 10139600

**-Exhibit B-  
Statement of Intent & Purpose**

The Applicant intends to develop a home improvement store along with a garden center. A Kohl's Department Store was originally planned on the property along with a 25,000 sf retail development. Most of the existing infrastructure has been constructed. The proposed home improvement building is currently planned to be approximately 112,000 square feet along with a 28,000 square feet garden center. In addition to the home improvement store, the plan is to develop a 1.33 acre outparcel in the existing parking lot. The outparcel building is currently planned to be restaurant and retail with approximately 8,500 square feet.

## -Exhibit C-

### Planned Development Standards

#### Conformance with the Town's Zoning Ordinance and Subdivision Ordinance:

Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance (Ordinance No. 05-20 as it exists or may be amended) and the Subdivision Ordinance (as it exists or may be amended) shall apply.

#### **Tract A Retail District**

A.1 Except as noted below, the Tract shall develop in accordance with the Retail District, as it exists or may be amended.

A.2 Development Plans

1. Concept Plan: Development shall be in conformance with the attached concept plan, set forth in Exhibit D.
2. Elevations: Development shall be in conformance with the attached elevations, set forth in Exhibit F.
3. Landscape Plan: Development shall be in conformance with the attached landscape plan, set forth in Exhibit G.

A.3 Uses. Uses shall be permitted in accordance with the Retail District. A big box retail building including a home improvement store with a garden center is a permitted use.

The following uses shall be prohibited:

1. Athletic Stadium or Field, Private
2. Athletic Stadium or Field, Public
3. Cemetery/Mausoleum
4. Commercial Amusement, Outdoor
5. Recycling Collection Point
6. School District Bus Yard
7. Sewage Treatment Plant/Pumping Station
8. Trailer Rental
9. Utility Distribution/Transmission Facility
10. Water Treatment Plant

A.4 Regulations

1. Custer Road

- a. Tree plantings shall be provided at minimum rate of one tree of a minimum four (4) inch caliper (at the time of planting) per thirty (30) lineal feet.
- b. Shrub plantings shall be provided at a minimum rate of 25 shrub plantings per thirty (30) lineal feet which shall be a minimum of five (5) gallon shrubs (at the time of planting).
- c. Primary screening within the landscape buffer shall be provided by Eastern Red Cedars, or a similar species as approved by the Town's Landscape Architecture, spaced on six-foot centers, a minimum 6 feet in height at the time of planting full to the ground, to screen the outdoor sales, storage and display areas.

- d. A continuous split-rail fence shall be provided.
  - e. A berm of a minimum height of three (3) feet shall be provided within the landscape buffer to provide additional screening of the outdoor sales, storage and display areas.
  - f. Trees may be grouped or clustered together to provide additional screening as an alternative to planting all at a specific distance between trees.
2. All landscaping and the perimeter berm along Custer Road shall be installed prior to the issuance of a certificate of occupancy (CO) for the home improvement store.
  3. Parking: Retail parking shall be 1 space per 400 square feet, inclusive of the garden center.
  4. Outdoor sales, display and storage: Shall be permitted but limited to a big box and subject to the following conditions:
    - a. Shall be located in the locations identified on Exhibit D.
    - b. Shall not block or impair sidewalks, ADA access, doorways or fire lanes.
  5. Foundation landscape requirements of the Zoning Ordinance shall not apply.
  6. Cart corrals shall be ornamental metal fence.
  7. Lots shall have a frontage onto a public street or a common public access drive. The common public access drives shall be dedicated as a public access, fire lane and utility easement.
  8. Screening wall requirements of the Zoning Ordinance for loading and service areas shall not apply.
  9. Open storage screening requirements of the Zoning Ordinance shall not apply to open storage on north side of the building.
  10. Interior landscaped island requirements of the Zoning Ordinance (no more than fifteen parking spaces permitted in a continuous row without being interrupted by a landscaped island) shall not apply to parking area on east side of the building in conjunction with outdoor sales, storage and display area.
  11. Vegetative landscape requirements for interior parking row islands of the Zoning Ordinance shall not apply.

## **Tract B Retail District**

- B.1 Except as noted below, the Tract shall develop in accordance with the Retail District, as it exists or may be amended.
- B.2 Development Plans
  1. Concept Plan: Development shall be in conformance with the attached concept plan, set forth in Exhibit D.

B.3 Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following uses which shall be prohibited:

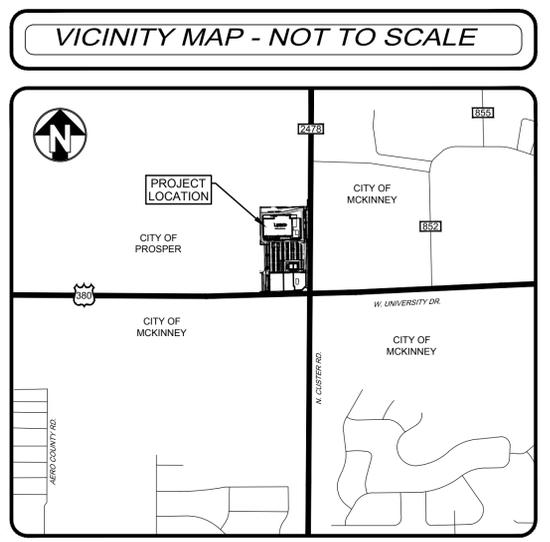
1. Athletic Stadium or Field, Private
2. Athletic Stadium or Field, Public
3. Cemetery/Mausoleum
4. Commercial Amusement, Outdoor
5. Recycling Collection Point
6. School District Bus Yard
7. Sewage Treatment Plant/Pumping Station
8. Trailer Rental
9. Utility Distribution/Transmission Facility
10. Water Treatment Plant

B.4 Regulations

1. A drive-through landscape island shall be a minimum of nine feet wide.
2. Tree plantings shall be provided at minimum rate of one tree of a minimum four (4) inch caliper (at the time of planting) per thirty (30) lineal feet along Custer Road.
3. Dumpster gates facing right-of-way requirements of the Zoning Ordinance shall be permitted with landscape screening primarily by Eastern Red Cedars, or a similar species as approved by the Town's Landscape Architecture, spaced on six-foot centers, a minimum 6 feet in height at the time of planting full to the ground.



REVISIONS	
DATE	DESCRIPTION



**LEGEND**



**CITY SITE PLAN NOTES**

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING AND SUBORDINATE ORDINANCES.
- LANDSCAPING SHALL CONFORM TO THE LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES. DIRECTED BY THE FIRE DEPARTMENT.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED SCHEDULE PLAN.
- CURB RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED, AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL DIMENSIONS AND RACKS ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

**GENERAL NOTES**

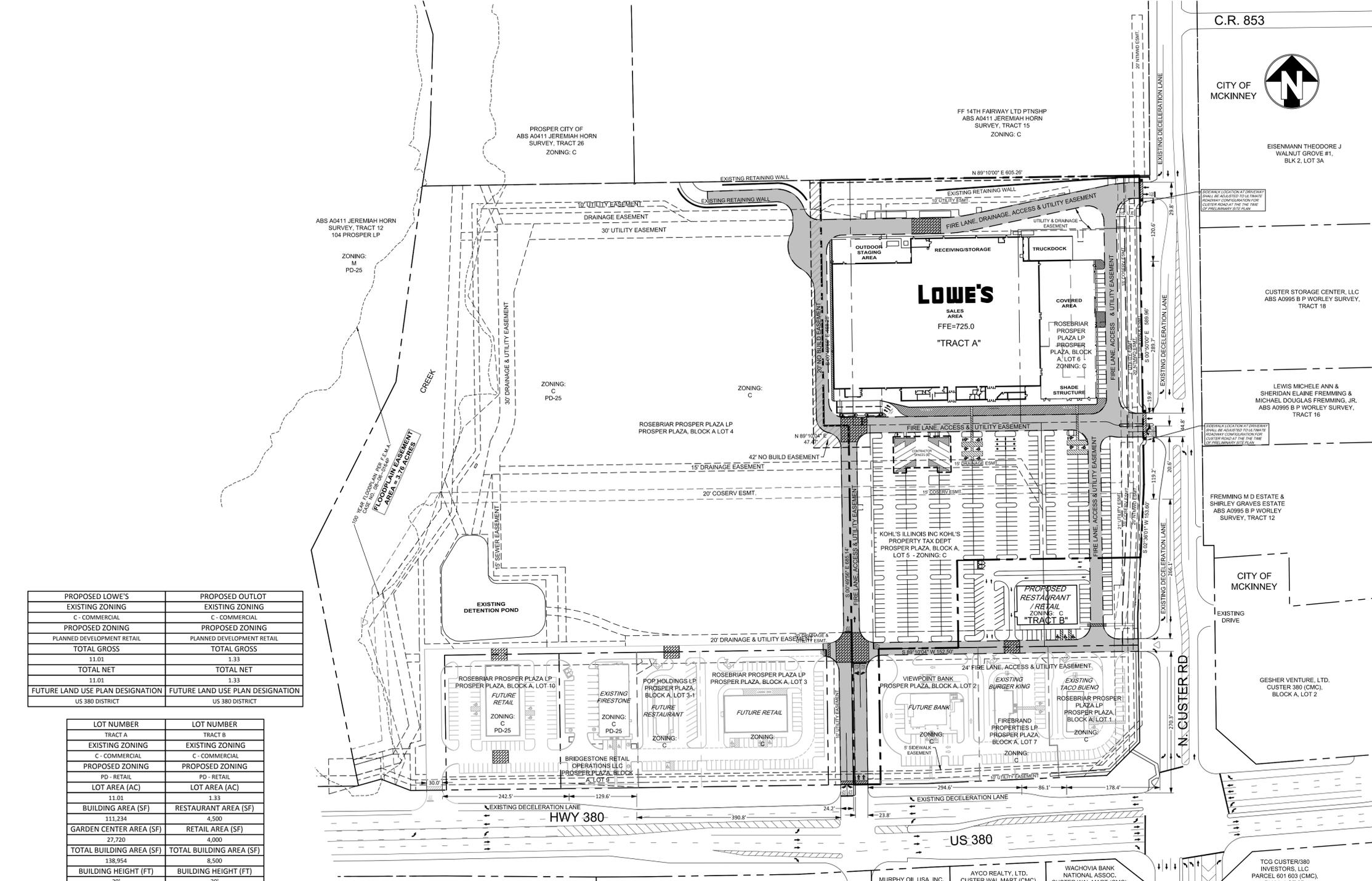
- THE THROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES ONLY AND DO NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT THE TIME OF FINAL PLAT.
- NO 100 YEAR FLOOD PLAIN EXISTS ON THE PROPERTY.
- ALL DRIVEWAYS, TURN LANES AND MEDIAN OPENINGS SHALL MEET THE TOWN OF PROSPER'S THROUGHFARE DESIGN STANDARDS AND TxDOT STANDARDS.
- ALL FIRE LANES TO MEET TOWN OF PROSPER STANDARDS IN TERMS OF WIDTH AND PAVEMENT SECTION.

**LOWE'S HOME CENTERS, LLC**  
 1605 CURTIS BRIDGE ROAD  
 WILKESBORO, NC 28697  
 (336) 658-4000

**ROSEBRIAR HOLDINGS, INC.**  
 P.O. BOX 541208  
 DALLAS, TX 75354  
 (214) 902-2287

**CROSSPOINT ENGINEERING, LLC**  
 5620 OLD BULLARD ROAD, SUITE 130  
 TYLER, TX 75703  
 (903) 705-4416

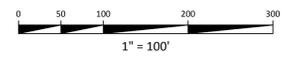
**PROSPER PLAZA**  
 JEREMIAH HORN SURVEY  
 ABSTRACT NO. 411



PROPOSED LOWE'S	PROPOSED OUTLOT
EXISTING ZONING	EXISTING ZONING
C - COMMERCIAL	C - COMMERCIAL
PROPOSED ZONING	PROPOSED ZONING
PLANNED DEVELOPMENT RETAIL	PLANNED DEVELOPMENT RETAIL
TOTAL GROSS	TOTAL GROSS
11.01	1.33
TOTAL NET	TOTAL NET
11.01	1.33
FUTURE LAND USE PLAN DESIGNATION	FUTURE LAND USE PLAN DESIGNATION
US 380 DISTRICT	US 380 DISTRICT

LOT NUMBER	LOT NUMBER
TRACT A	TRACT B
EXISTING ZONING	EXISTING ZONING
C - COMMERCIAL	C - COMMERCIAL
PROPOSED ZONING	PROPOSED ZONING
PD - RETAIL	PD - RETAIL
LOT AREA (AC)	LOT AREA (AC)
11.01	1.33
BUILDING AREA (SF)	RESTAURANT AREA (SF)
111,234	4,500
GARDEN CENTER AREA (SF)	RETAIL AREA (SF)
27,720	4,000
TOTAL BUILDING AREA (SF)	TOTAL BUILDING AREA (SF)
138,954	8,500
BUILDING HEIGHT (FT)	BUILDING HEIGHT (FT)
30'	30'
LOT COVERAGE	LOT COVERAGE
28.97%	14.67%
FLOOR AREA RATIO	FLOOR AREA RATIO
29	15

BUILDING WITH GARDEN	RESTAURANT PARKING RATIO
CENTER PARKING RATIO	1:100
1:400	RETAIL PARKING RATIO
TOTAL PARKING REQUIRED	1:250
348	TOTAL PARKING REQUIRED
TOTAL PARKING PROVIDED	61
355	TOTAL PARKING PROVIDED
HC PARKING REQUIRED	63
8	HC PARKING REQUIRED
HC PARKING PROVIDED	3
9	HC PARKING PROVIDED
TOTAL PARKING PROVIDED INCLUDING	3
OUTDOOR SALES AND STORAGE AREA	INTERIOR LANDSCAPING PROVIDED (SF)
400	2,366
INTERIOR LANDSCAPING PROVIDED (SF)	OPEN SPACE PROVIDED (SF)
8,549	7,913
OPEN SPACE PROVIDED (SF)	TOTAL LANDSCAPING AREA (SF)
76,031	10,279
TOTAL LANDSCAPING AREA (SF)	IMPERVIOUS SURFACE AREA (SF)
84,580	47,656
IMPERVIOUS SURFACE AREA (SF)	
395,016	



**EXHIBIT D2**  
**Z15-0009**

EXHIBIT D2 - OVERALL  
 SITE PLAN  
 LOWE'S OF:  
 PROSPER, TEXAS  
 PROJECT No. 14-1500-05 DRAWN BY: TDG CHECKED BY: DDK

CRITERIA  
 ISSUE DATE:  
 PERMIT SET  
 ISSUE DATE:  
 CONSTRUCTION  
 SET ISSUE DATE:  
 DRAWING NUMBER:

**D2**

**crosspoint**  
 engineering

5620 Old Bullard Road, Suite 130 | Tyler, Texas 75703  
 903 705 4416 | TBPE Firm Reg. No. F-33365  
 cpe@cp-engineering.com

**LOWE'S HOME CENTERS, INC.**  
 1605 CURTIS BRIDGE ROAD  
 WILKESBORO, NC 28697

336 658 4000 336 658 2527  
 (V) (F)

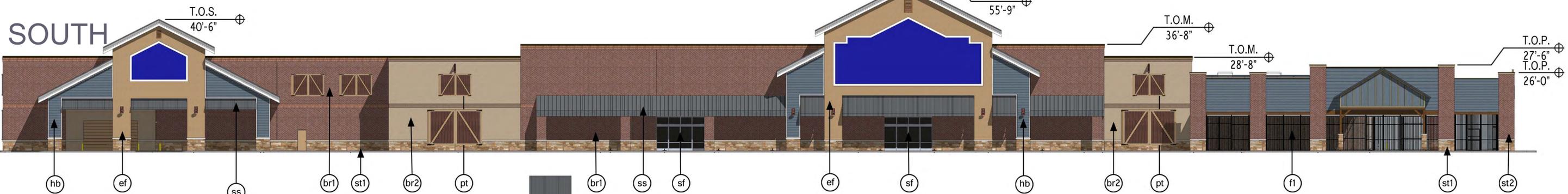
THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2012 ALL RIGHTS RESERVED.

**LOWE'S**  
 Never Stop Improving®

**-Exhibit E-**

**Development Schedule**

The development of this project is dependent upon market conditions. Currently the project is expected to be completed by the end of 2017.



SOUTH FACADE (GROSS): 19,639s.f.  
 STOREFRONT/WINDOWS/  
 DOORS & OPENINGS: 1,381 s.f.  
 SOUTH FACADE (NET): 18,255 s.f.  
 = 100%

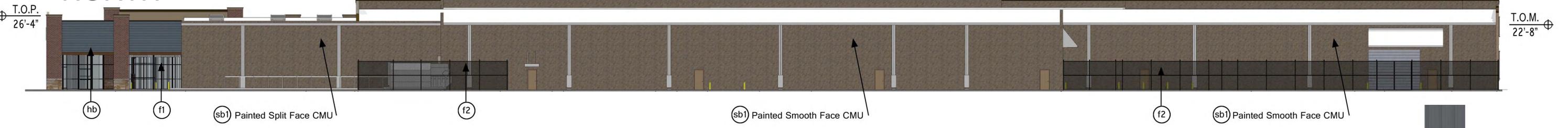
STONE 1,339s.f. = 7%  
 BRICK 11,593s.f. = 64%  
 STUCCO 2,303s.f. = 13%  
 METAL CANOPY 1,368s.f. = 7%  
 HARDY BOARD 1,652s.f. = 9%

EAST FACADE (GROSS): 9,968 s.f.  
 STOREFRONT/WINDOWS/  
 DOORS & OPENINGS: 2,530 s.f.  
 EAST FACADE (NET): 7,438 s.f.  
 =100%

CMU 1,231s.f. = 16%  
 STONE 2,553s.f. = 34%  
 HARDY BOARD 2,364s.f. = 32%  
 BRICK 1,290s.f. = 17%



### NORTH

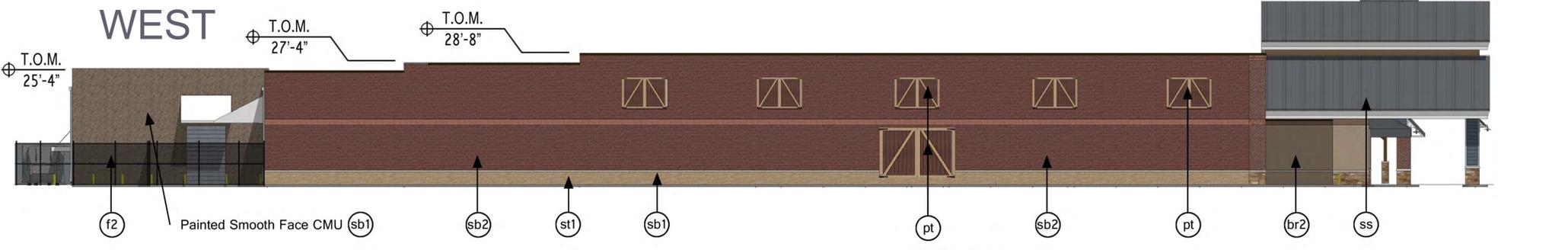


NORTH FACADE (GROSS): 13,235s.f.  
 STOREFRONT/FENCING/  
 DOORS & OPENINGS: 2,440s.f.  
 NORTH FACADE (NET): 10,795s.f.  
 100%

CMU 10,129s.f. = 94%  
 STONE 38s.f. = .3%  
 BRICK 230s.f. = 2%  
 HARDY BOARD 398s.f. = 4%

WEST FACADE (GROSS): 9,465s.f.  
 STOREFRONT/FENCING/  
 DOORS & OPENINGS: 591s.f.  
 WEST FACADE (NET): 887s.f.  
 100%

CMU 8,067s.f. = 91%  
 STONE 108s.f. = 1.1%  
 BRICK 666s.f. = 7.5%  
 HARDY BOARD 33s.f. = .4%



- "THIS CONCEPTUAL ELEVATION IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION"
- "ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE"
- "WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING"
- "ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT"
- "WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT."

#### FINISH SCHEDULE

- st1 Dry Stack Stone  
DFW Stone Supply - Oklahoma Golden Chopped Stone
- hb Hardi Board Siding  
Paint - SW 7603 Pool House
- br1 Architectural Brick  
Acme Brick - Cranberry Flash Ruff
- br2 Architectural Brick  
Acme Brick - Canyon Gray
- sb1 Architectural Concrete Block  
Headwaters - Split Face CMU, Painted SW7693
- sb2 Architectural Concrete Block  
Headwaters - Split Face CMU, Painted SW7591
- sb3 Architectural Concrete Block  
Headwaters - Smooth Face CMU, Painted SW7693
- pt Paint - SW 6335 Fire Brick  
SW 7693 Stone Barrier
- cs Cast Stone  
Siteworks - Natural
- ef Reinforced E.I.F.S.  
Dryvit - Paint SW 7693 Stone Barrier
- pm Metal Coping  
Berridge - Zinc Grey
- sf Clear Anodized  
Aluminum
- ss Standing Seam Metal Roof  
Berridge - Galvalume
- f1 Architectural Fence  
Ornamental Fence W/Windscreen
- f2 Architectural Fence  
Chain link Fence W/Windscreen

GRAPHIC REPRESENTATION ONLY/NOT FOR CONSTRUCTION  
 Building, landscape, and site furnishing images are a graphic representation of the design intent. This may not reflect all variations in colors, materials, construction that may occur due to local material differences, and final design detailing. Landscaping shown is preliminary and does not reflect the final landscaping design that conforms with local code.

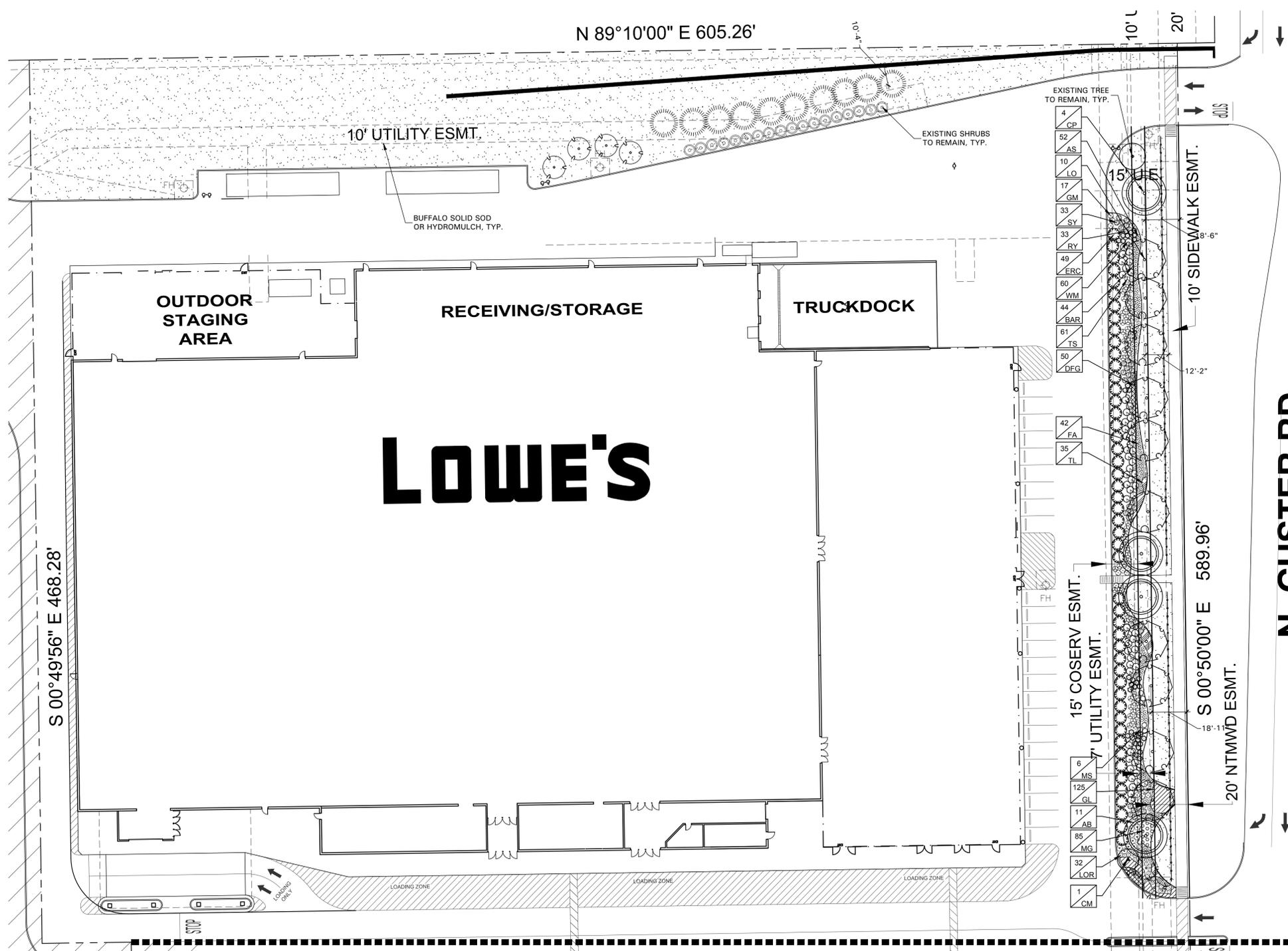
# LOWE'S OF PROSPER, TEXAS

W. UNIVERSITY DR. @ N. CUSTER DR.  
 PROSPER, TEXAS

EXHIBIT F  
 ZONING: Z15-009

9639 McCULLOUGH AVE. PH. 210.340.2400  
 SAN ANTONIO, TEXAS 78216 FAX. 210.340.2449  
 PROJECT No. 2015006 DATE: 05/05/15





**TOWN OF PROSPER LANDSCAPE GENERAL NOTES**

- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY AND LANDSCAPE ASSOCIATION (TLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROWING COVERS IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE TOWN.
- TREES MUST BE PLANTED FOUR FEET OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE TOWN HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF PIT WITHIN A 24 HOUR PERIOD, THE CONTRACTOR SHALL PROVIDE BERMING OR DEVISE ALTERNATIVE DRAINAGE.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE TRUNK PLANE.
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP TWINE AND WIRE BASKETS SHALL BE LOOSEENED AND PULLED BACK FROM TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3-4" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 1-2" FROM THE TRUNK OF THE TREE.
- NO PERSONS OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH CHAINSAW, OR USE OF FIRE OR POISON TO CAUSE DEATH OF A TREE.
- TOPSOIL SHALL BE A MINIMUM OF 9" IN DEPTH IN PLANTING AREAS. SOIL SHALL BE FREE OF STONES, ROOTS AND CLODS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL TO PLANT GROWTH.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" OF MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7'. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14'.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS, WHERE SHRUBS ARE NOT TO EXCEED 30" IN HEIGHT AND TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9'.
- TREES PLANTED ON A SLOPE SHALL HAVE THE TREE WELL AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3" IN WIDTH. ALL BEDS LESS THAN 3" IN WIDTH SHALL BE GRASS, GROUND COVER OR SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOVING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED BY THE TOWN OF PROSPER.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUSH ON THE RIGHT-OF-WAY, SIDEWALKS, OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREA SHALL EXCEED 3:1 SLOPE. 3" HORIZONTAL TO 1" VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPADE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT TOWN OF PROSPER PARKS AND RECREATION DIVISION AT (972) 346-3502 FOR LANDSCAPE INSPECTION. NOTE THAT LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR TO FINAL ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE, AND TO THE TOWN OF PROSPER'S PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND ALL OTHER UTILITY APPURTENANCES WITH FLAGGING OR FIELD VERIFICATION BY THE TOWN.

**GENERAL LAWN NOTES**

- EROSION CONTROL AND SOIL PREPARATION:**  
 THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGES. DRAINAGE DITCHES AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.
- ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.
- CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.
- FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- TOPSOIL SHALL BE FRAGILE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOVING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.
- SOLID SOD:**  
 SOLID SOD SHALL BE PLACED ALONG ALL IMPROVED EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/- 1/4"). EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.
- DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXX, HORTICULTURE COMMISSION CHAPTER 1.
- HYDROMULCH:**  
 SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL, HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERBERIA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.
- IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERBERIA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SECEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.
- LANDSCAPE NOTES**  
 REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 3". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4.1 OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION:**  
 IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY, BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.
- ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS:**  
 VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS:**  
 STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

**LANDSCAPE TABULATIONS for Prosper, TX PERIMETER REQUIREMENTS**

- A 30' landscape area shall be provided adjacent to and outside of the r.o.w. on all properties.
- One tree, 4" caliper, shall be provided for every 30 l.f. of roadway frontage.
- A minimum of 25 shrubs, 5 gal. shall be planted for every 30 l.f. of roadway frontage. Parking abutting the landscape area shall be screened from adjacent roadway.

N CUSTER ROAD - 737 l.f.

REQUIRED	PROVIDED
30' buffer	30' buffer
25 (4" cal.) trees	24 proposed (4" cal.) trees; 1 existing tree
614 (5 gal.) shrubs	648 (5 gal.) shrubs

**INTERIOR PARKING LOT LANDSCAPE**

- 15 s.f. of landscaping shall be provided for each parking space.
- One shade tree, 3" cal. shall be provided for every 10 spaces.
- One shade tree, 3" cal. shall be provided no farther than 150' from every parking space.

Parking Spaces = 400

REQUIRED	PROVIDED
6,000 s.f. landscape	8,549 s.f. landscape
	27 existing ornamental trees (=9 shade trees)
42 (3" cal.) trees	36 existing trees
	10 (3" cal.) trees

**OPEN SPACE**

- 7% of the net (c) area shall be open space. Open space cannot include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks or detention ponds.
- Site: 479,596 s.f. (11.01s acres)
- | REQUIRED                    | PROVIDED                       |
|-----------------------------|--------------------------------|
| 33,572 s.f. open space (7%) | 76,031 s.f. open space (15.8%) |

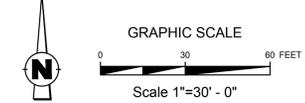
MATCHLINE: REF. 1/L2.02

**PLANT SCHEDULE**

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>TREES</b>					
8	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 5' spread, matching
2	CM	Crape Myrtle	<i>Lagerstromia indica</i> (Variety to match existing)	30 gal	8' ht. 3' spread, matching
6	CP	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	14' ht., 5' spread, matching
75	ERC	Eastern Red Cedar	<i>Juniperus virginiana</i>	6" ht.	3' spread min., full to base
16	LO	Escarpment Live Oak	<i>Quercus fusiformis</i>	4" cal.	14' ht., 5' spread, matching
4	LE	Lacebark Elm	<i>Ulmus parvifolia</i> 'Sempervirens'	4" cal.	14' ht., 5' spread
<b>SHRUBS/GROUND COVER</b>					
20	AB	Edward Goucher Abelia	<i>Abelia x grandiflora</i> 'Edward Goucher'	5 gal.	full, 20" spread, 30" o.c.
96	AS	Autumn Sage	<i>Salvia greggii</i>	5 gal.	full, 24" o.c.
60	BAR	Crimson Pygmy Barberr	<i>Berberis thunbergii</i> 'Autopurpurea'	5 gal.	full, 20" sprd, 24" o.c.
120	DFG	Dwarf Fountain Grass	<i>Pennisetum alopecuroides</i> 'Little Bunny'	1 gal.	full, 18" o.c.
133	FA	Flame Acanthus	<i>Anisacanthus quadrifidus</i> var. <i>wrightii</i>	5 gal.	full, 20" sprd, 24" o.c.
350	GL	Giant Lirope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
43	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	full, 30" o.c.
58	LOR	Loropetalum 'Shang-lo'	<i>Loropetalum chinense</i> 'Shang-lo'	5 gal.	full, 20" sprd, 24" o.c.
200	MG	Variagated Mondo Grass	<i>Ophiopogon japonicus</i> 'Variegata'	1 gal.	full, 12" o.c.
16	MS	Morning Light Miscanthus	<i>Miscanthus sinensis</i> 'Morning Light'	5 gal.	full, 20" spread, 36" o.c.
51	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 30" o.c.
45	SY	Softleaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	full, 30" o.c.
65	TL	Texas Lantana	<i>Lantana horrida</i>	1 gal.	full, 18" o.c.
94	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens</i> 'Thundercloud'	5 gal.	full, 24" sprd, 30" o.c.
75	WM	Dwarf Wax Myrtle	<i>Myrica cerifera</i> var. <i>pumila</i>	7 gal.	full, 30" sprd, 40" o.c.
		Buffalograss	<i>Buchloe dactyloides</i>		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

**EXHIBIT G Z15-0009**



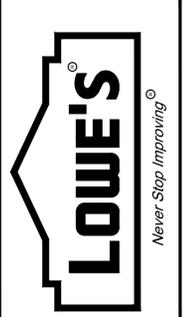
**REVISIONS**

DATE	DESCRIPTION



**crosspoint engineering**  
 5620 Old Bullard Road, Suite 330 | Waco, Texas 76702  
 903.705.4416 | P/E Firm Reg. No. L-53585  
 cpe-eng.com

**LOWE'S HOME CENTERS, INC.**  
 1605 CURTIS BRIDGE ROAD  
 WILKESBORO, NC 28697  
 336.658.4000 (V) 336.658.2527 (F)  
 THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2012. ALL RIGHTS RESERVED.



**LANDSCAPE PLAN**  
 LOWE'S OF:  
**PROSPER, TEXAS**  
 PROJECT NO. 14-1500-06 DRAWN BY: AMWR CHECKED BY: AMWR

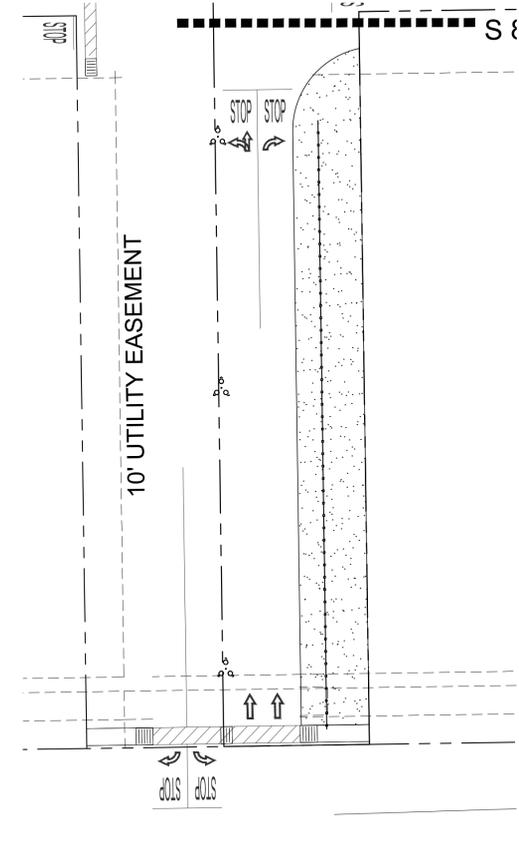
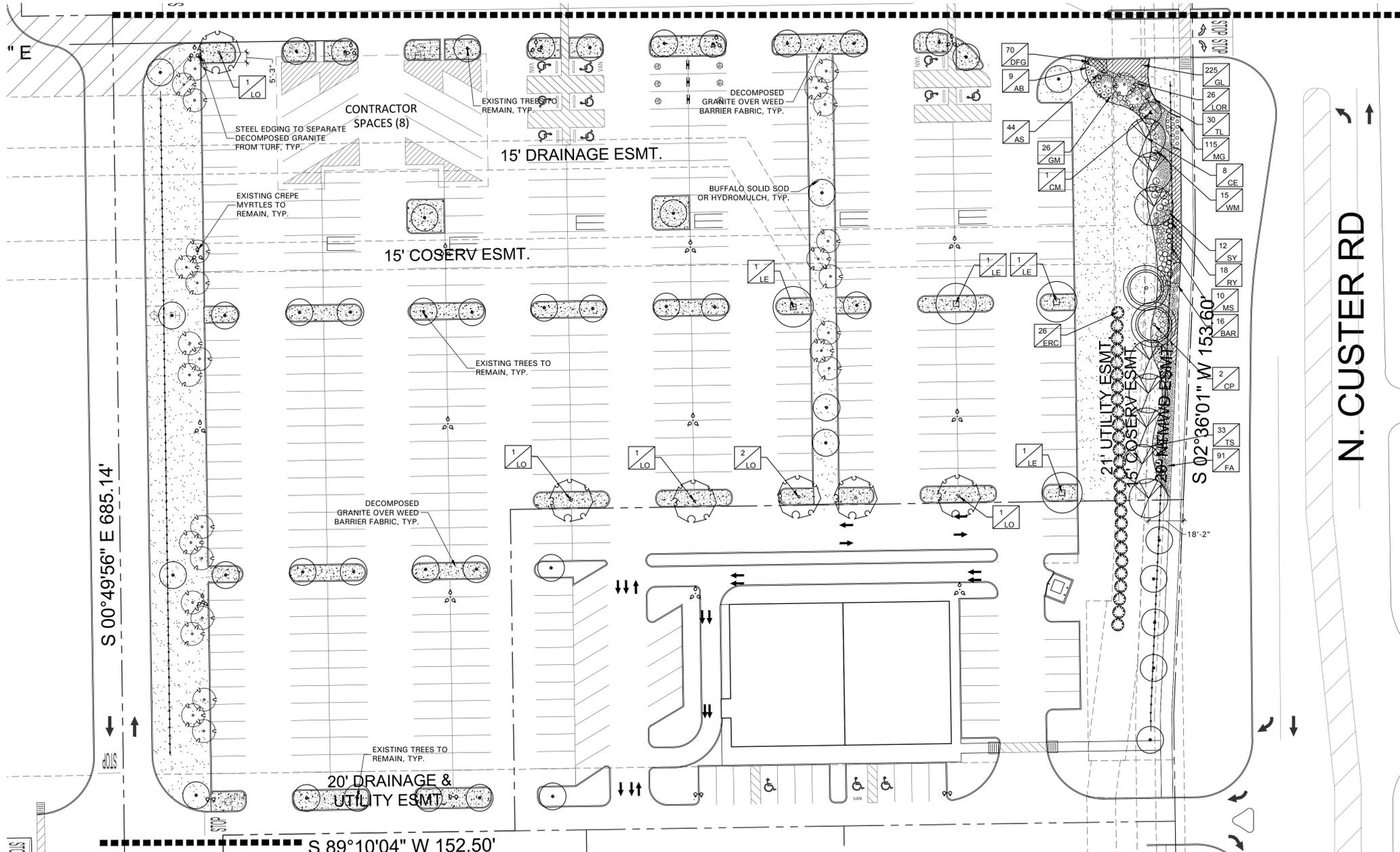
**CRITERIA**

ISSUE DATE: \_\_\_\_\_  
 PERMIT SET ISSUE DATE: \_\_\_\_\_  
 CONSTRUCTION SET ISSUE DATE: \_\_\_\_\_  
 DRAWING NUMBER: **L2.01**



MATCHLINE: REF. L2.01

MATCHLINE: REF. 1/L2.02



MATCHLINE: REF. 2/L2.02

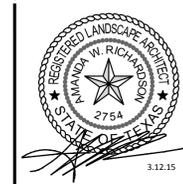
1 LANDSCAPE PLAN  
1"=30'-0"

2 LANDSCAPE PLAN  
1"=30'-0"

**PLANT SCHEDULE**

- TREES**
- CE Cedar Elm
  - CM Crape Myrtle
  - CP Chinese Pistache
  - ERC Eastern Red Cedar
  - LO Escarpment Live Oak
  - LE Lacebark Elm
- SHRUBS/GROUNDCOVER**
- AB Edward Goucher Abelia
  - AS Autumn Sage
  - BAR Crimson Pygmy Barbary
  - DFG Dwarf Fountain Grass
  - FA Flame Acanthus
  - GL Giant Lirope
  - GM Gulf Muhly
  - LOR Loropetalum 'Shang-lo'
  - MG Variegated Mondo Grass
  - MS Morning Light Miscanthus
  - RY Red Yucca
  - SY Softleaf Yucca
  - TL Texas Lantana
  - TS Texas Sage 'Thundercloud'
  - WM Dwarf Wax Myrtle
  - Buffelgrass

REVISIONS	
DATE	DESCRIPTION



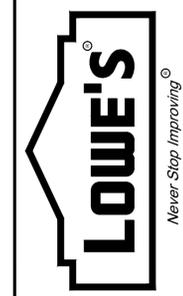
**crosspoint**  
engineering

5820 Old Bullard Road, Suite 301 | Tyler, Texas 75703  
903 705 4416 | TPBE Firm Reg. No. L-35385

**LOWE'S HOME CENTERS, INC.**  
1605 CURTIS BRIDGE ROAD  
WILKESBORO, NC 28697

336.658.4000 (V) 336.658.2527 (F)

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2012. ALL RIGHTS RESERVED.



LANDSCAPE PLAN

LOWE'S OF:  
**PROSPER**  
PROSPER, TEXAS

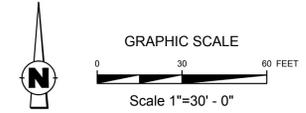
PROJECT No. 14-1500-08 DRAWN BY: AMR CHECKED BY: AMR

CRITERIA	
ISSUE DATE:	
PERMIT SET	
ISSUE DATE:	
CONSTRUCTION	
SET ISSUE DATE:	
DRAWING NUMBER:	

L2.02



EXHIBIT G  
Z15-0009



June 2, 2015

VIA U.S. MAIL

**North Texas Municipal Water District**

Attn: Bob Quinn  
505 E. Brown St.  
Wylie, TX 75098

Dear Mr. Quinn:

Reference is made to that certain Easement for Right-of-Way North Texas Municipal Water District Frisco/McKinney Water Transmission Pipeline WCF 01-8 (the "**Easement Agreement**") executed on May 25, 2004 by FF 14th Fairway Limited Partnership, as "Grantor", in favor of North Texas Municipal Water District ("NTMWD"), as "Grantee", and recorded on August 27, 2004 in Volume 5741, Page 37 of the Real Property Records of Collin County, Texas. For your convenience, a copy of the Easement Agreement is enclosed herewith.

The real property subject to the Easement Agreement is hereinafter referred to as the "**Easement Property**". Lowe's Home Centers, LLC ("**Lowe's**") and the current owners of the Easement Property (collectively, the "**Current Owners**") have entered into purchase and sale agreements, dated as of May 1, 2015 (collectively, the "**Purchase Contracts**"), wherein the Current Owners have agreed to sell the Easement Property to Lowe's, subject to the terms and conditions of the Purchase Contracts.

In the event Lowe's purchases the Easement Property, Lowe's intends to install landscaping in accordance with the standards of the Town of Prosper while planting proposed trees within the outer two feet of the easement, as such landscaping work is more particularly depicted and/or described in the site plan and proposal for landscaping improvements enclosed herewith (the "**Work**").

The Easement Agreement expressly permits Lowe's to complete the Work, assuming Lowe's purchases the Easement Property. Specifically, the third paragraph of the second page of the Easement Agreement states that Lowe's, as the successor-in-interest to the "Grantor" named in the Easement Agreement, "**shall have the right fully to use and enjoy the [Easement Property],...including the right to lay out and construct streets, alleys, parking lots, landscaping, fences, signs, including subdivision and/or project monument type signs constructed on brick masonry and/or stone structures, and utilities along and across said [Easement Property]**".

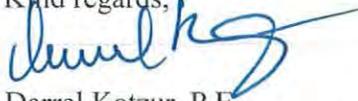
Although the Easement Agreement does not require that Lowe's obtain NTMWD's consent in order to complete the Work, the Town of Prosper has requested that Lowe's provide evidence that NTMWD approves of the Work; accordingly, Lowe's has enclosed herewith the plans and proposal describing the Work and, as a professional courtesy, hereby requests that an authorized signatory of NTMWD sign the Consent included at the end of this letter, on behalf of NTMWD, and mail the original signed Consent to Lowe's Home Centers, LLC at the following address: 1605 Curtis Bridge Road (ECS7-4), Wilkesboro, NC 28697, Attention: Matthew Minton, Design Engineering Director.

If you have questions with respect to the foregoing matters, please do not hesitate to contact me via e-mail at darrelk@cp-eng.com or via telephone at 903-705-4416.

JUN 08 2015

Thank you for your prompt attention to this matter.

Kind regards,



Darrel Kotzur, P.E.  
Crosspoint Engineering, LLC

### CONSENT

The undersigned, an authorized signatory of North Texas Municipal Water District ("NTMWD"), hereby acknowledges that NTMWD has reviewed and approved the plans and proposal describing the landscaping "Work", as described in the foregoing letter from Lowe's Home Centers, LLC, and hereby consents to the completion of the Work.

This CONSENT is executed as of the date specified below.

NORTH TEXAS MUNICIPAL WATER DISTRICT

By:   
Name: Jennifer Flippo  
Title: Interim Real Estate Manager  
Dated: 6-8-2015

\* Fence foundations are not permitted more than 18 inches below existing grade. Proposed fence may be located no closer than 4 feet from the water line. Existing NTMWD 48" water line located approximately in center of easement. Proposed tree locations are acceptable.

Foundations for monument signs are not permitted more than 18 inches below existing grade.

June 2, 2015

VIA U.S. MAIL

**Denton County Electric Cooperative, Inc.**

(doing business as CoServ Electric)  
7701 South Stemmons  
Corinth, TX 76210

Dear Sir or Madam:

Reference is made to that certain Electric Line Easement (the "**Easement Agreement**") executed on February 9, 2009 by Custer-Prosper, L.P., as "Grantor", in favor of Denton County Electric Cooperative, Inc. *d/b/a* CoServ Electric ("**CoServ Electric**"), as "Grantee", and recorded in the Real Property Records of Collin County, Texas on May 4, 2009 as Document No. 20090504000525300. For your convenience, a copy of the Easement Agreement is enclosed herewith.

The real property subject to the Easement Agreement is hereinafter referred to as the "**Easement Property**". Lowe's Home Centers, LLC ("**Lowe's**") and the current owners of the Easement Property (collectively, the "**Current Owners**") have entered into purchase and sale agreements, dated as of May 1, 2015 (collectively, the "**Purchase Contracts**"), wherein the Current Owners have agreed to sell the Easement Property to Lowe's, subject to the terms and conditions of the Purchase Contracts.

In the event Lowe's purchases the Easement Property, Lowe's intends to install landscaping in accordance with the standards of the Town of Prosper within the easement, as such landscaping work is more particularly depicted and/or described in the site plan and proposal for landscaping improvements enclosed herewith (the "**Work**").

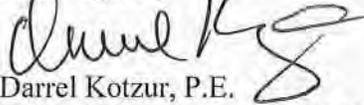
The Easement Agreement expressly permits Lowe's to complete the Work, assuming Lowe's purchases the Easement Property. Specifically, the paragraph on the Easement Agreement's second page under the heading "Structures", states that Lowe's, as the successor-in-interest to the "Grantor" under the Easement Agreement, "**shall be permitted to place within the Easement Property paved driveways, paved parking areas, paved sidewalks, paved walkways, concrete curbing, irrigation equipment and landscaping that does not unreasonably restrict or prevent [CoServ Electric] from utilizing the Easement Property for the stated purpose**".

Although the Easement Agreement does not require that Lowe's obtain CoServ Electric's consent in order to complete the Work, the Town of Prosper has requested that Lowe's provide evidence that CoServ Electric approves of the Work; accordingly, Lowe's has enclosed herewith the plans and proposal describing the Work and, as a professional courtesy, hereby requests that an authorized signatory of CoServ Electric sign the Consent included at the end of this letter, on behalf of CoServ Electric, and mail the original signed Consent to Lowe's Home Centers, LLC at the following address: 1605 Curtis Bridge Road (ECS7-4), Wilkesboro, NC 28697, Attention: Matthew Minton, Design Engineering Director.

If you have questions with respect to the foregoing matters, please do not hesitate to contact me via e-mail at darrelk@cp-eng.com or via telephone at 903-705-4416.

Thank you for your prompt attention to this matter.

Kind regards,



Darrel Kotzur, P.E.  
Crosspoint Engineering, LLC

### CONSENT

The undersigned, an authorized signatory of Denton County Electric Cooperative, Inc. *d/b/a* CoServ Electric (“**CoServ Electric**”), hereby acknowledges that CoServ Electric has reviewed and approved the plans and proposal describing the landscaping “Work”, as described in the foregoing letter from Lowe’s Home Centers, LLC, and hereby consents to the completion of the Work.

This CONSENT is executed as of the date specified below.

DENTON COUNTY ELECTRIC COOPERATIVE, INC.  
(*d/b/a* CoServ Electric)

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Dated: \_\_\_\_\_



**DEVELOPMENT SERVICES**

**DEPARTMENT**

P.O. Box 307  
Prosper, TX 75078  
Phone: 972-346-3502  
Fax: 972-347-2842

**REPLY FORM**

**SUBJECT:**

Zoning Case Z15-0009: The Town of Prosper has received a request to rezone 12.3± acres, from Commercial (C) to Planned Development-Retail (PD-R).

**LOCATION OF SUBJECT PROPERTY:**

The property is located on the west side of Custer Road, 200± feet north of US 380.

**DESCRIPTION OF THE REQUEST:**

The purpose of the request is to establish PD development standards in order to facilitate the development of a big box and retail development. The Planned Development (PD) District is a district that accommodates planned associations of uses developed as integral land use units such as offices, commercial or service centers, shopping center, residential development of multiple or mixed housing (including attached single-family dwellings), or any appropriate combination of uses that may be planned, developed, or operated as integral land use units either by a single owner or a combination of owners.

- I **OPPOSE** the request as described in the notice of public hearing. If in opposition, please provide a reason for opposition.
- I **DO NOT OPPOSE** the request as described in the notice of public hearing.

COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ROSEBRIAR PROSPER PLAZA, LP  
Name (please print)

William R. Hill, CEO  
Signature

Box 541208  
Address

6/8/15  
Date

DALLAS, TEX. 75354  
City, State, and Zip Code

BILL@ROSEBRIAR.COM  
E-mail Address

## Examples of Outdoor Display of Goods for Sale and Outdoor Storage of Overstock Material











## PLANNING

**To: Planning & Zoning Commission**

**From: Pamela Clark, Planning Technician**

**Through: Alex Glushko, AICP, Senior Planner**

**Re: Planning & Zoning Commission Meeting – June 16, 2015**

The chart below summarizes the Town Council's actions from their June 9, 2015 meeting on items that received recommendations from the Planning & Zoning Commission:

Item	Planning & Zoning Recommendation	Town Council Action
Conduct a Public Hearing, and consider and act upon an ordinance rezoning 9.4± acres, located 500± feet north of Prosper Trail, 3,000± feet west of Dallas Parkway, from Agricultural (A) to Planned Development-Single Family-15 (PD-SF-15). (Z14-0016).	Approved 4-1, the Commission indicated that even though the entirety of the development did not meet the minimum requirement for 15,000 square foot lots, improvements had been made to the exhibit in terms of lot size in addition to the enhanced development standards. Commissioner Snyder indicated the request did not warrant a deviation from the Future Land Use Plan.	Approved 7-0, subject to revising the side yard setback from 8 feet to 10 feet. (The amended exhibit depicts all lots at a minimum of 15,000 square feet.)