



*Town of Prosper*  
*"a place where everyone matters"*

*Town Council Meeting*  
*February 24, 2015*



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 1.*

*Call to Order/Roll Call.*



*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Item 2.*

*Invocation, Pledge of Allegiance, and  
Pledge to the Texas Flag.*



*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Item 3.*

*Announcements of upcoming events.*



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 4.*

### *Consent Agenda*

*Items placed on the Consent Agenda are considered routine in nature and non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of Council Members or staff.*



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4a.*

- 4a.** Consider and act upon minutes from the following Town Council meetings. **(RB)**
- Regular Meeting – February 10, 2015



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4b.*

- 4b.** Consider and act upon a resolution ordering a General Election to be held on May 9, 2015, and authorizing the Town Manager to execute contracts with the Collin County Election Administration, the Denton County Election Administration, the Prosper Independent School District, and the Collin College District for joint election services. **(RB)**



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4c.*

- 4c.** Consider and act upon canceling the March 10, 2015, Town Council meeting.  
**(RB)**



*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Items 4d.*

- 4d.** Receive the January 2015 Financial Report.  
**(KG)**



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4e.*

- 4e.** Consider and act upon approving the purchase and installation of a central irrigation controller system for the Parks and Recreation Department, from Interspec, LLC, through the Texas Local Government Purchasing Cooperative.  
**(MF)**



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4f.*

- 4f.** Consider and act upon authorizing the Town Manager to execute a Channel Maintenance Agreement between Two-J Partners, LLLP, and the Town of Prosper, Texas, related to the maintenance of offsite drainage improvements to serve the Parks at Legacy development. **(HW)**



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4g.*

- 4g.** Consider and act upon authorizing the continued use of a Professional Services Agreement with Bureau Veritas North America, Inc., related to third-party building permit plan review and inspection services. (JW)



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Items 4h.*

- 4h.** Consider and act upon authorizing the Town Manager to execute a License Agreement between TVG Texas I, LLC, Windsong Ranch Community Association, Inc., and the Town of Prosper, Texas, related to the installation and maintenance obligations of improvements consisting of landscaping, trees, root barriers, irrigation, and/or drainage facilities within the right-of-ways of the public roads in Windsong Ranch, Phase 1A and Phase 1B. **(DH)**

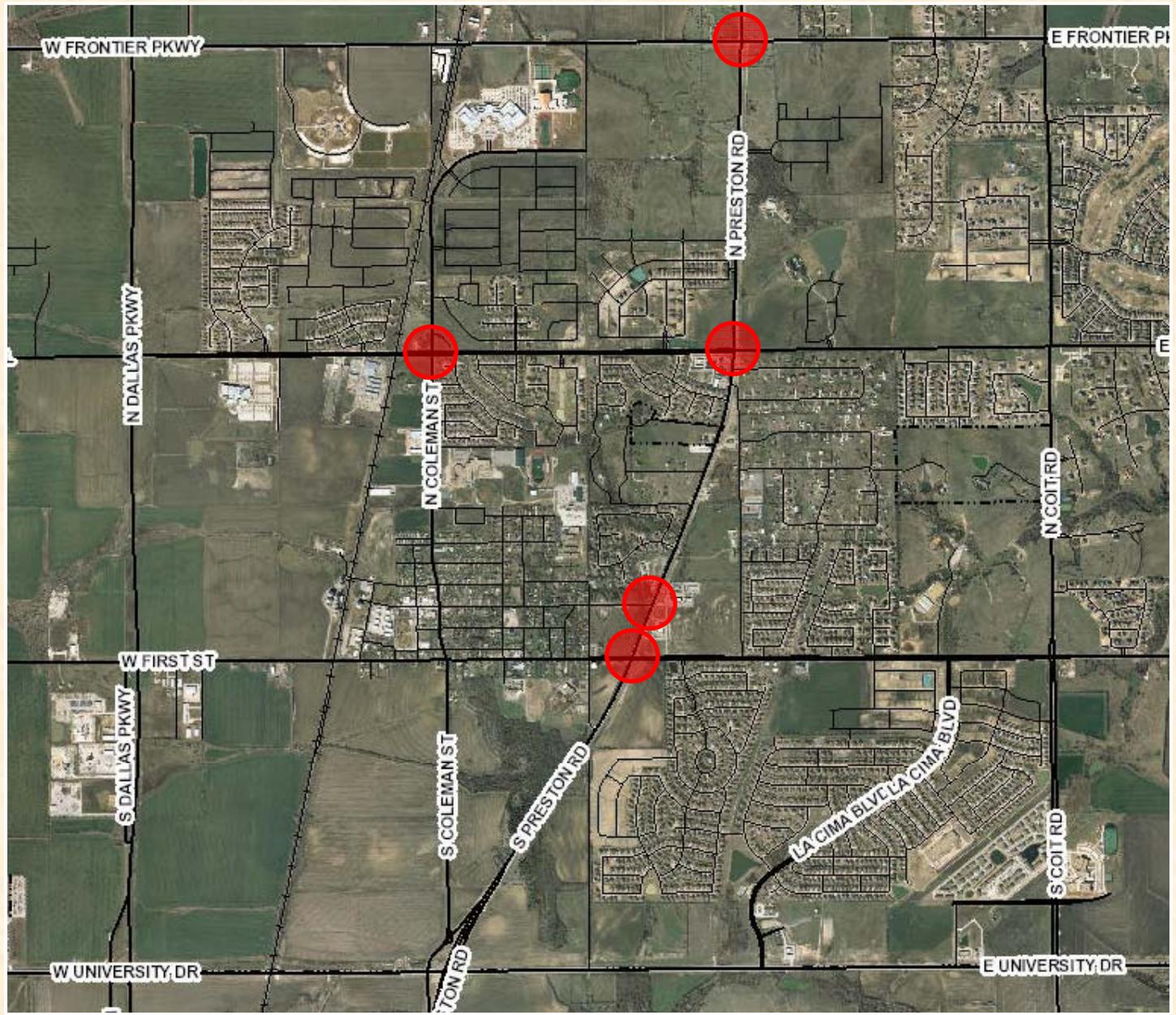


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 4i.*

- 4i.** Consider and act upon approving the purchase and installation of illuminated street name signs for various intersections on Preston Road and Coleman Street from Consolidated Traffic Controls, Inc., through the Houston-Galveston Area Council (HGAC) Cooperative Purchasing Program. **(MR)**

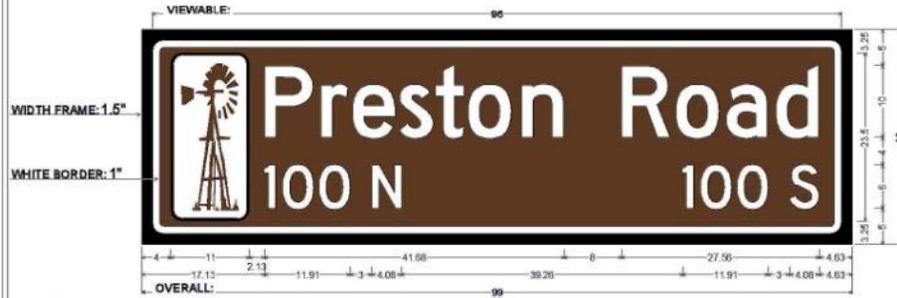




**SOUTHERN  
MANUFACTURING**  
2000 E Lake Mary Blvd  
Severed, FL 32773 (407)831-1588

Designer: N. Asptis / Date: 09/25/2014

- QTY: N/A  
- INTERSECTION: PRESTON RD @  
BROADWAY ST.



(ELECTRO CUT FILM (EC FILM))

DIAMOND GRADE REFLECTIVE

CUSTOMER NAME: CONSOLIDATED TRAFFIC CONTROLS, INC	APPROVED BY: _____
P.O.#: N/A	DATE: _____
JOB #: N/A	PANEL: POLYCARBONATE CLEAR
CITY/COUNTY/STATE: TOWN OF PROSPER	FILM TYPE: 3M 1179 EC BROWN/ 3M 4090T D. GRAI
SIGN TYPE: CLEAN PROFILE	BORDER: 1" WHITE
BODY: SINGLE SIDE	LOGO: PROSPER
BODY SIZE: 8'-3" X 30" (OVERALL) / 96" X 27" (VIEWABLE)	FONT: FHWA SERIES D / SUFFIX & BLOCK: 6"
BODY COLOR: BLACK	BRKT: REAR RIGID MT.
	ILLIUM SOURCE: LED LIGHT ENGINE



**SOUTHERN  
MANUFACTURING**  
2000 E Lake Mary Blvd  
Severed, FL 32773 (407)831-1588

Designer: N. Asptis / Date: 09/25/2014

- QTY: N/A  
- INTERSECTION: PRESTON RD @  
PROSPER TRAIL



(ELECTRO CUT FILM (EC FILM))

DIAMOND GRADE REFLECTIVE

CUSTOMER NAME: CONSOLIDATED TRAFFIC CONTROLS, INC	APPROVED BY: _____
P.O.#: N/A	DATE: _____
JOB #: N/A	PANEL: POLYCARBONATE CLEAR
CITY/COUNTY/STATE: TOWN OF PROSPER	FILM TYPE: 3M 1179 EC BROWN/ 3M 4090T D. GRADE
SIGN TYPE: CLEAN PROFILE	BORDER: 1" WHITE
BODY: SINGLE SIDE	LOGO: PROSPER
BODY SIZE: 8'-3" X 30" (OVERALL) / 96" X 27" (VIEWABLE)	FONT: FHWA SERIES D / SUFFIX & BLOCK: 6"UC/ 10"UC
BODY COLOR: BLACK	BRKT: REAR RIGID MT.
	ILLIUM SOURCE: LED LIGHT ENGINE







# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 4j.*

- 4j. Consider and act upon authorizing the Town Manager to execute a First Amendment to the Temporary Parking Lot Agreement between the Prosper Independent School District, and the Town of Prosper, Texas, related to overflow parking at Frontier Park. **(WM)**



OVERFLOW PARKING

An aerial photograph showing a parking area. A red outline highlights a triangular-shaped area labeled 'OVERFLOW PARKING'. Below this area, a grey rectangular overlay covers a portion of the parking lot, labeled 'EXISTING PARKING'. To the left, a white building with a curved roof and several windows is visible. The surrounding area appears to be a mix of paved and grassy surfaces.

EXISTING PARKING

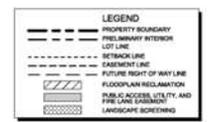
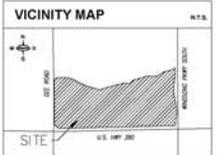
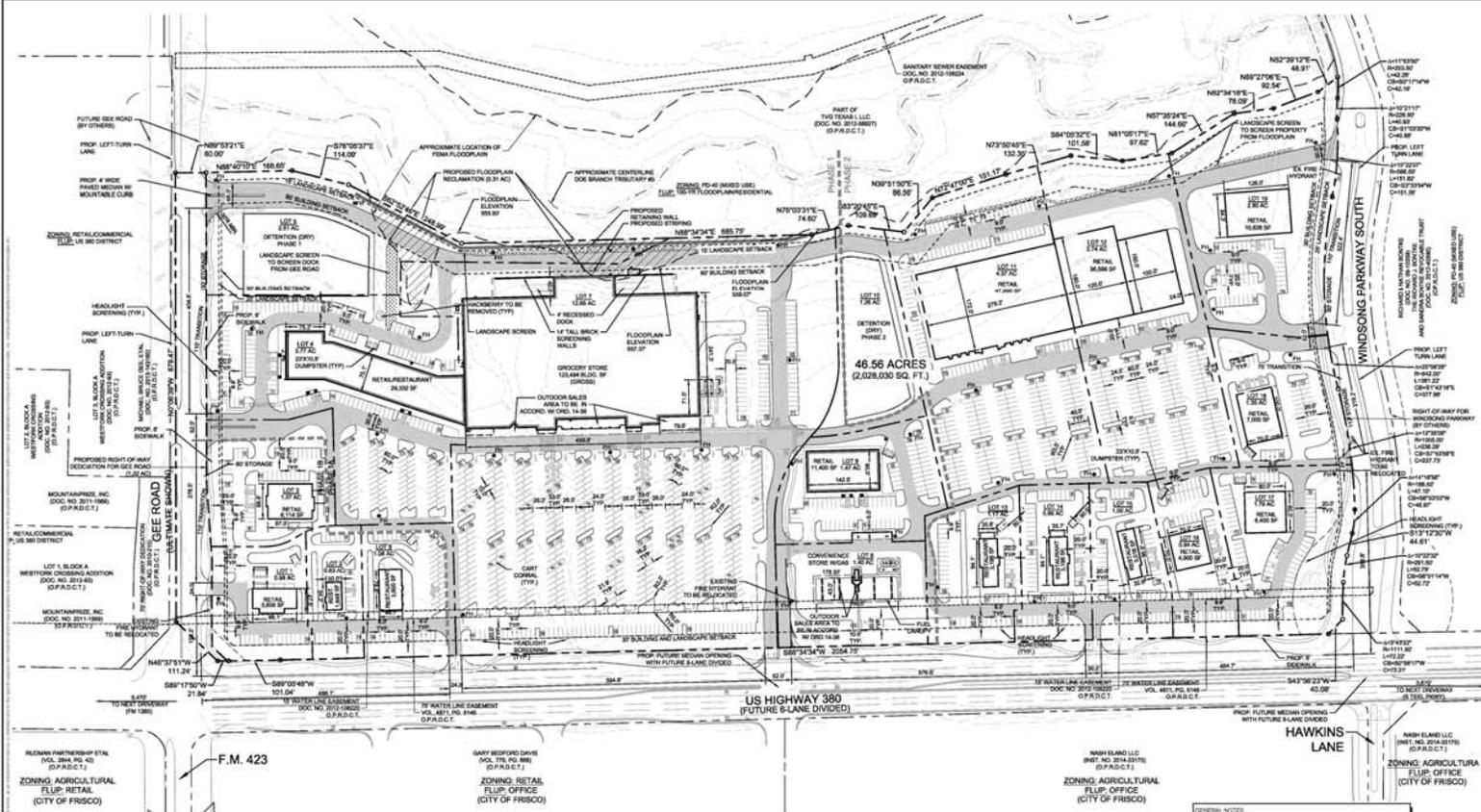


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 4k.*

- 4k.** Consider and act upon whether to direct staff to submit a written notice of appeal on behalf of the Town Council to the Development Services Department, pursuant to Chapter 4, Section 1.5(C)(7) and 1.6(B)(7) of the Town's Zoning Ordinance, regarding action taken by the Planning & Zoning Commission on any site plan or preliminary site plan. **(AG)**



**TOWN OF PROSPER SITE PLAN NOTES**

1. DIMENSIONS AND TRADE CONTRACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
2. EXTERIOR LIGHTING SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
3. OUTDOOR LIGHTING SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS APPROVED BY THE TOWN.
6. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
7. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
8. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
9. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
10. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
11. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
12. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
13. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
14. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
15. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
16. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
17. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
18. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
19. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
20. ALL BUILDINGS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.

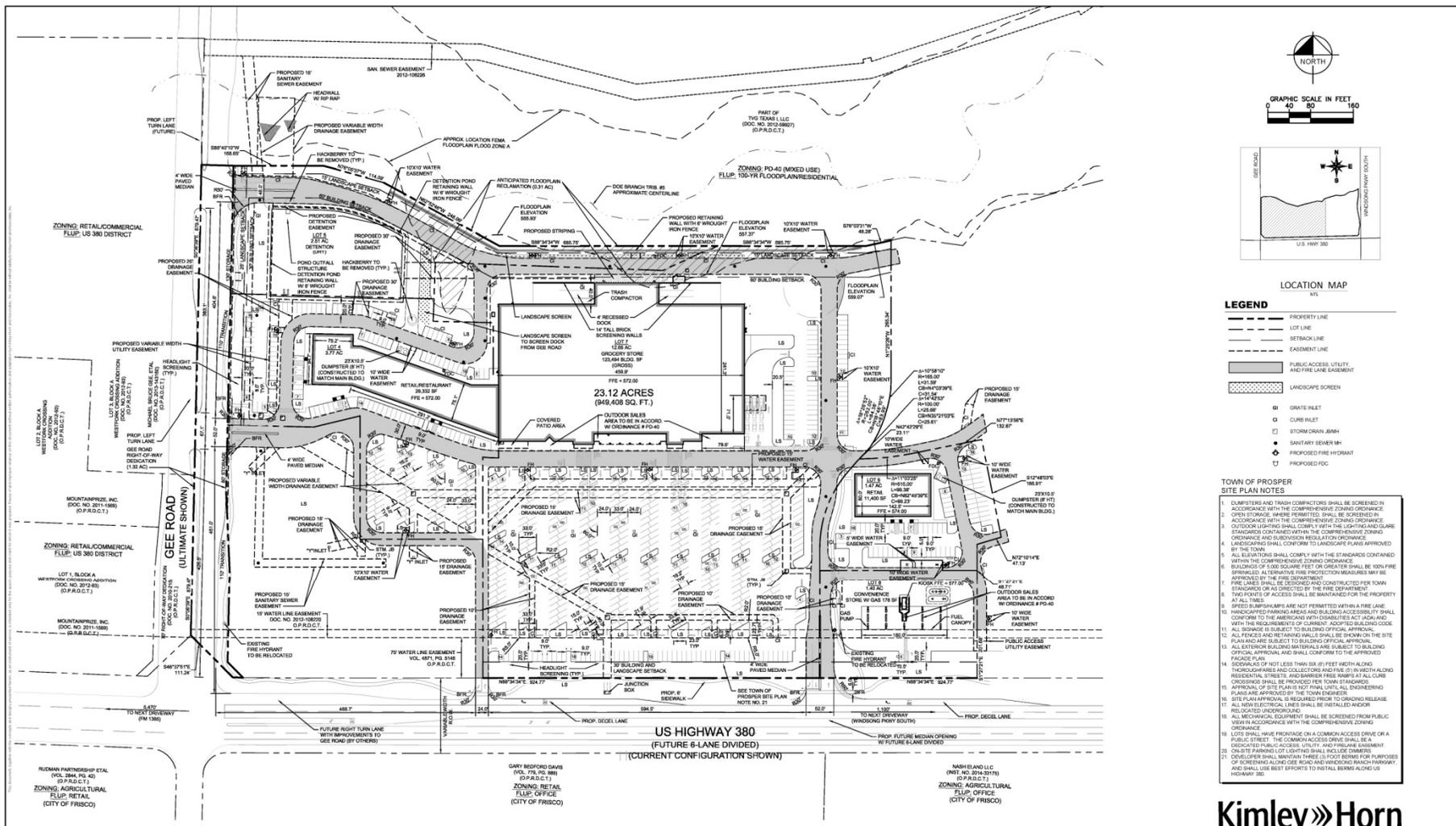
**OWNER'S NOTES**

1. DIMENSIONS ARE TO FACE OF CURBS UNLESS OTHERWISE NOTED.
2. FUTURE LINES SHALL BE A MINIMUM OF 30' FROM ANY EXISTING OR PROPOSED CURB.
3. MEDIAN ALONG WINDSONG PARKWAY SOUTH ARE PRIVATELY OWNED BY TWD AND ANY IMPROVEMENTS ALONG WINDSONG PARKWAY SOUTH ARE TO BE DISCUSSED WITH THE TOWN AND TWD.
4. ALL OUTDOOR SALES AREA SHALL COMPLY WITH ZONING ORDINANCE (ORDINANCE NO. 2014-0317) AND REQUIRE INSTALLATION OF STANCHIONS.
5. THIS SHALL NOT BE LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
6. ACCORDANCE WITH TOWN STANDARDS, ORIENTATIONAL TREES SHALL BE LOCATED WITHIN THE 10' SETBACK AND LOCATED ALONG THE NORTH SIDE OF THE CITY OF PROSPER EASEMENT NO CLOSER THAN FOUR FEET TO THE WATER LINE AND REQUIRE INSTALLATION OF STANCHIONS.
7. THIS SHALL NOT BE LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
8. ACCORDANCE WITH TOWN STANDARDS, ORIENTATIONAL TREES SHALL BE LOCATED WITHIN THE 10' SETBACK AND LOCATED ALONG THE NORTH SIDE OF THE CITY OF PROSPER EASEMENT NO CLOSER THAN FOUR FEET TO THE WATER LINE AND REQUIRE INSTALLATION OF STANCHIONS.
9. THIS SHALL NOT BE LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
10. ACCORDANCE WITH TOWN STANDARDS, ORIENTATIONAL TREES SHALL BE LOCATED WITHIN THE 10' SETBACK AND LOCATED ALONG THE NORTH SIDE OF THE CITY OF PROSPER EASEMENT NO CLOSER THAN FOUR FEET TO THE WATER LINE AND REQUIRE INSTALLATION OF STANCHIONS.
11. LANDSCAPE IMPROVEMENTS WITHIN THE EXISTING CITY OF PROSPER EASEMENT SHALL BE SUBJECT TO THE CITY OF PROSPER APPROVAL. THE FOUNDATION PLANTINGS SHALL CONFORM TO LANDSCAPE PLANS TO BE APPROVED BY THE TOWN.

**Kimley»Horn**  
**PRELIMINARY SITE PLAN**  
**WINDSONG RANCH MARKETPLACE**  
**LOTS 1-19**  
 46.56 AC. SITUATED IN THE  
 J. SALING SURVEY, ABSTRACT NO. 1675  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS  
 DATE: FEBRUARY 12, 2015

Owner/Applicant: NORTHEAST ACQUISITION, LTD. (201 FREDERICK ROAD) SUITE 110 DALLAS, TX 75248 CONTACT: NUMBER 808.6411  
 Engineer: KIMLEY-HORN ASSOCIATES, INC. (1000 WESTERN AVENUE) SUITE 100 DALLAS, TX 75241 TEL: NO. (972) 795-0300 CONTACT: NUMBER 808.6411

LOT	ZONING	PROPOSED USE	LOT AREA		BUILDING AREA	BUILDING HEIGHT	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING	PARKING PROVIDED		PARKING RATIO	REQUIRED HANDICAP PARKING		PROVIDED HANDICAP PARKING		INTERIOR LANDSCAPE		EXTERIOR LANDSCAPE		IMPERVIOUS AREA (SQ. FT.)	OPEN SPACE (SQ. FT.)	OPEN SPACE (PERCENT)
			SF	AC						REQUIRED	PROVIDED		REQUIRED	PROVIDED	REQUIRED (SQ. FT.)	PROVIDED (SQ. FT.)	REQUIRED (SQ. FT.)	PROVIDED (SQ. FT.)					
1	PD-40	RETAIL	42,488	0.98	1,806	22	5.0%	0.091	4	5	22	5.8	2	2	360	4,015	31,951	2,934	6,715				
2	PD-40	RESTAURANT W/ D.T.	27,590	0.63	1,648	22	6.0%	0.061	10	17	24	14.6	1	2	2,851	38,776	1,931	4,775					
3	PD-40	RETAIL	50,558	1.17	1,196	22	36.3%	0.051	4	29	45	2.4	2	2	875	38,466	4,489	3,728					
4	PD-40	RESTAURANT/RESTAURANT (50%)	154,901	3.57	35,192	40	17.9%	0.126	4 (INT. V. 1/2885)	179	211	7.33	7	7	3,365	15,636	105,113	11,505	10,220				
5	PD-40	DETENTION	109,144	2.51	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	7,647	8,824		
6	PD-40	RESTAURANT W/ D.T.	46,611	1.08	1,600	22	7.9%	0.071	10	36	48	13.9	2	2	720	1,595	35,861	3,290	3,815				
7	PD-40	GROCERY/RETAIL	551,030	12.65	123,494	40	22.4%	0.204	4	424	579	4.7	12	12	4,665	23,720	305,247	38,271	39,467				
8	PD-40	CONVENIENCE STORE W/ U.S.	40,830	1.40	178	40	0.8%	0.003	5/EMPLOYEE	1	5	28.1	1	1	75	1,718	54,766	4,217	4,148				
9	PD-40	RESTAURANT/RESTAURANT (50%)	64,139	1.47	11,400	40	17.8%	0.178	4 (INT. V. 1/2885)	30	31	6.2	3	3	1,005	5,817	39,737	4,490	7,385				
10	PD-40	DETENTION	54,718	1.26	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-				
11	PD-40	RETAIL	100,291	4.37	48,130	40	28.4%	0.254	4	104	201	5.8	7	7	4,215	6,000	118,133	13,320	14,228				
12	PD-40	RETAIL	162,934	3.74	36,599	40	22.5%	0.225	4	147	308	5.7	7	7	3,120	4,738	108,068	11,445	15,499				
13	PD-40	RESTAURANT W/ D.T.	50,754	1.17	1,196	40	6.8%	0.061	10	32	43	13.5	2	2	543	1,871	37,660	3,513	7,928				
14	PD-40	RESTAURANT	42,953	0.99	1,196	40	7.4%	0.074	13.33	43	52	16.3	3	3	780	3,351	26,813	3,007	5,931				
15	PD-40	RESTAURANT W/ D.T.	43,478	1.00	1,016	40	6.9%	0.069	10	31	47	15.6	2	2	705	3,465	29,177	3,043	7,820				
16	PD-40	RETAIL	40,343	0.94	4,400	40	12.0%	0.121	4	29	56	11.4	3	3	840	2,140	28,259	2,863	4,844				
17	PD-40	RETAIL	77,832	1.75	6,400	40	8.2%	0.083	4	26	69	10.8	3	3	1,075	3,000	47,771	5,448	20,599				
18	PD-40	RETAIL	58,729	1.35	7,000	40	11.9%	0.119	4	38	46	6.6	2	2	690	4,815	38,839	4,111	8,075				
19	PD-40	RETAIL	122,170	2.81	10,620	40	8.7%	0.087	4	43	65	4.2	4	4	875	6,857	57,228	8,552	47,699				
SUBTOTAL			452.8																				
ROW DEDICATION			1.53																				
TOTAL			1,970,602	46.56	302,835				1,400	1,852	60		69		27,780	101,113	1,344,797	134,112	228,530				



- LEGEND**
- PROPERTY LINE
  - - - LOT LINE
  - - - SETBACK LINE
  - - - EASEMENT LINE
  - ▭ PUBLIC ACCESS UTILITY AND/OR LANE EASEMENT
  - ▨ LANDSCAPE SCREEN
  - GRATE INLET
  - CURB INLET
  - STORM DRAIN BHM
  - SANITARY SEWER IM
  - ◆ PROPOSED FIRE HYDRANT
  - ◆ PROPOSED FOG
- TOWN OF PROSPER  
SITE PLAN NOTES**
1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
  2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE STANDARDS CONTAINED WITHIN THE COMPREHENSIVE ZONING ORDINANCE AND SUBORDINATE REGULATION ORDINANCE.
  3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHT POLLUTION STANDARDS CONTAINED WITHIN THE COMPREHENSIVE ZONING ORDINANCE AND SUBORDINATE REGULATION ORDINANCE.
  4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
  5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE COMPREHENSIVE ZONING ORDINANCE.
  6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. AN ALTERNATIVE FIRE PROTECTION MEASURE MAY BE APPROVED BY THE FIRE DEPARTMENT.
  7. FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER TOWN ORDINANCE AS DETERMINED BY THE FIRE DEPARTMENT.
  8. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  9. SPEED LIMITS SHALL NOT BE PERMITTED WITHIN A FIRE LANE.
  10. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND WITH THE REQUIREMENTS OF CURRENTLY ADOPTED BUILDING CODE.
  11. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  12. ALL EXTERIOR SIGNAGE SHALL BE SCREENED FROM THE SITE FROM ALL PUBLIC ROADS.
  13. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
  14. DRIVEWAYS OF NOT LESS THAN 50' BY 10' FEET WIDTH ALONG THROATWAYS AND COLLECTORS AND FIVE (5) FEET WIDTH ALONG RESIDENTIAL STREETS, AND BARBER FIVE FEET AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARD.
  15. ANNUAL SITE PLANS FOR LOT FINAL UTILITIES SHALL BE SUBMITTED AND APPROVED BY THE TOWN ENGINEER.
  16. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING BEGINS.
  17. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED ABOVE-RELOCATED UNDERGROUND.
  18. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
  19. LOTS SHALL HAVE PROVISION ON A COMMON ACCESS DRIVE OR A PUBLIC STREET. THE COMMON ACCESS DRIVE SHALL BE A DEDICATED PUBLIC ACCESS UTILITY, AND PROBABLY EASEMENT ON QUOTE PARKING LOT LOCATING SHALL INCLUDE DUMPSTERS.
  20. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 10 FEET. WIDTHS OF DRIVEWAYS SHALL BE 10 FEET.
  21. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 10 FEET. WIDTHS OF DRIVEWAYS SHALL BE 10 FEET.
  22. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 10 FEET. WIDTHS OF DRIVEWAYS SHALL BE 10 FEET.

LOT	ZONING	PROPOSED USE	LOT AREA		BUILDING AREA (SF)	BUILDING HEIGHT (FT)	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO (SP/1,000 SF)	PARKING PROVIDED		PARKING (SPACES/1,000 SF)	REQUIRED HANDICAP PARKING	PROV'D/D HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE	
			SF	AC						REQUIRED (SF)	PROVIDED (SF)							REQUIRED (SF)	PROVIDED (SF)
4	PD-40	RETAIL/RESTAURANT	156,301	3.77	29,332	40'	17.9%	0.179:1	4	188	216	7.3	7	7	3,340	15,636	106,887	11,501	14,646
5	PD-40	DETENTION	109,344	2.51															
7	PD-40	GROCERY/RETAIL	551,020	12.65	123,494	40'	22.4%	0.224:1	4	454	586	4.7	12	12	8,790	23,782	369,130	38,571	34,614
8	PD-40	CONVENIENCE STORE W/PH	60,810	1.40	178	40'	0.3%	0.003:1	3/1,000 SF	3	5	28.1	1	1	75	1,718	54,590	4,257	4,324
9	PD-40	RETAIL/RESTAURANT (2ND)	64,139	1.47	11,400	40'	17.8%	0.178:1	4	79	78	6.8	4	3	1,170	5,817	34,369	4,400	22,533
SUBTOTAL				21.80															
ROW DEDICATION				1.32															
<b>TOTAL</b>			<b>945,514</b>	<b>23.12</b>	<b>164,404</b>					<b>755</b>	<b>885</b>		<b>24</b>	<b>23</b>	<b>13,275</b>	<b>46,963</b>	<b>562,776</b>	<b>58,833</b>	<b>66,137</b>

**GENERAL NOTES**

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. FIRE LINES SHALL BE A MINIMUM OF 24" IN WIDTH WITH A 30" FINISH GRADE.
3. MEDIAN ALONG WINDSONG PARKWAY SOUTH ARE PRIVATELY OWNED BY THE HWY STREET IMPROVEMENTS ALONG WINDSONG PARKWAY SOUTH ARE TO DISCLOSED WITH THE TOWN AND TRIP.
4. ALL OUTDOOR SALES AREA SHALL COMPLY WITH THE TOWN AND TRIP.
5. FLOOR SHALL BE PROVIDED IN ACCORDANCE WITH TOWN OF PROSPER ORDINANCE.
6. DRIVEWAYS SHALL NOT BE LOCATED WITHIN PUBLIC EASEMENTS IN ACCORDANCE WITH TOWN STANDARDS. ORNAMENTAL TREES MAY BE LOCATED WITHIN THE 10' WATER EASEMENT LOCATED ALONG THE NORTH SIDE OF THE 18' CITY OF IRVING EASEMENT NOT COVERED THERE FOR FEET 45' TO THE WATER LINE AND REQUIRED RECALCULATION OF A ROOT BARRIER.
7. SEE RED IS SHOWS AN ALTERNATE BUILD OUTLINED ON INFORMATION PROVIDED BY OTHERS.

**Kimley»Horn**

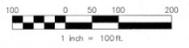
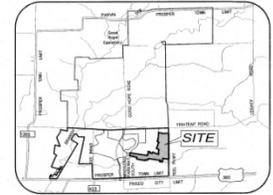
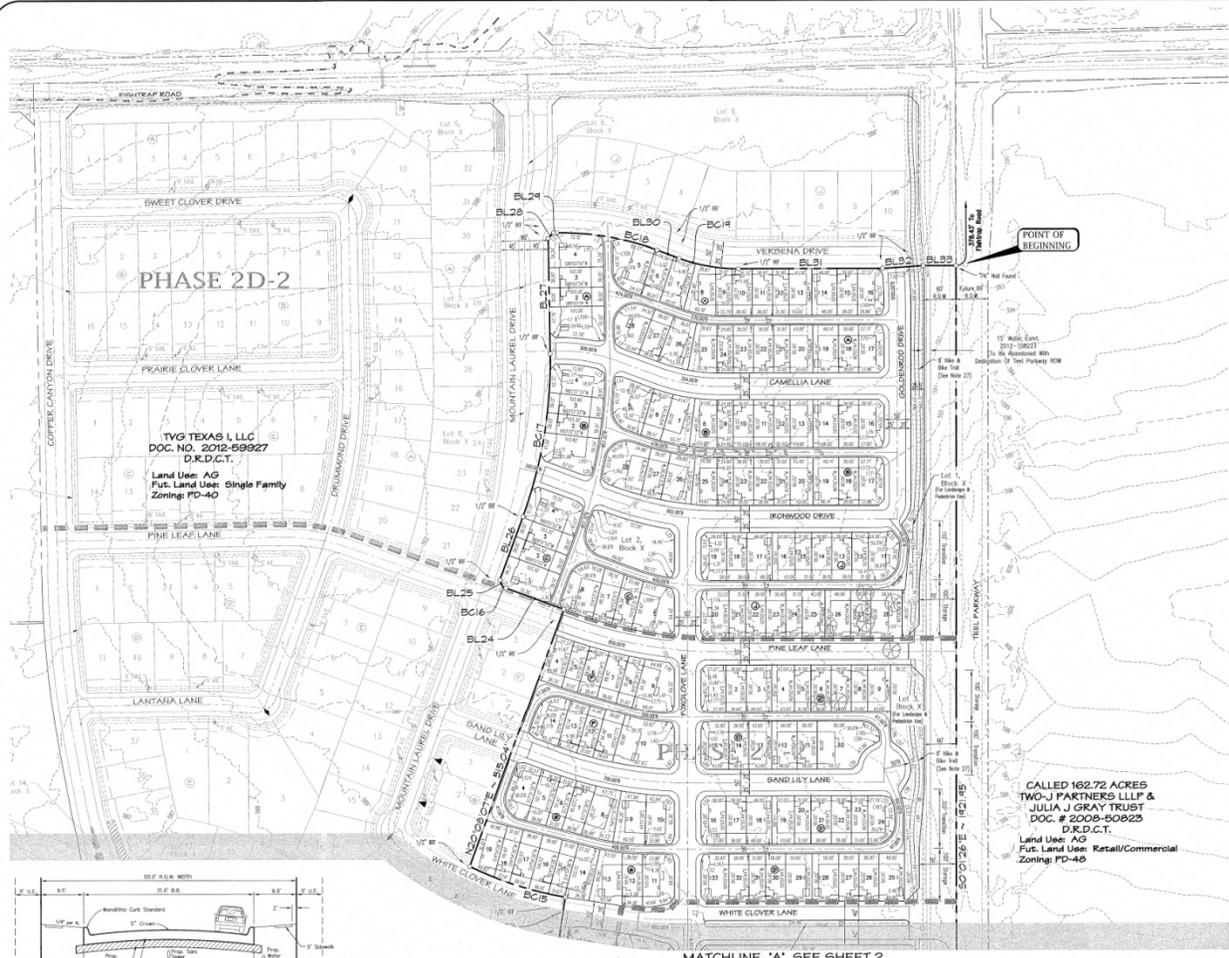
**SITE PLAN**  
**WINDSONG RANCH MARKETPLACE**  
**LOTS 4, 5, 7, 8, & 9**

23.12 AC. SITUATED IN THE  
J. SALING SURVEY, ABSTRACT NO. 1675  
TOWN OF PROSPER, DENTON COUNTY, TEXAS

DATE: FEBRUARY 9, 2014

Owner/Applicant: THE KINDER CO. LTD.  
7001 PRESTON ROAD  
SUITE 410  
DALLAS, TX 75235  
TEL NO. (972) 224-8400  
CONTACT: ROBERT DORVAL

Owner: THE KINDER CO.  
1301 E. WINDSONG PARK  
SUITE 1500  
IRVING, TX 75038  
TEL NO. (972) 719-1200  
CONTACT: CHRISTINA KIMHORN  
CONTACT: BART LUSK, P.E.



LOCATION MAP

LEGEND

- 1/4" = Iron Rod Set
- 1/4" = Iron Rod Found
- Building Line Setback
- Right Of Way
- Drainage Easement
- Sanitary Sewer Easement
- Water Easement
- Home Owners Association
- Existing Trees
- UTILITY Easement
- Wall Maintenance Easement
- H.O.A. Easement
- Street Name Change
- Denotes Lot Frontage To Street
- No Drive Access
- 10'x10' Transformer Easement

SITE PLAN NOTES

- Any revision to this plan will require town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
- Dumpsters and trash compactors shall be screened in accordance with the Comprehensive Zoning Ordinance.
  - Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
  - Outdoor lighting shall comply with the standards contained within the Comprehensive Zoning Ordinance and Subdivision Regulation Ordinance.
  - Landscaping shall conform to landscape plans approved by the Town.
  - All elevations shall comply with the standards contained within the Comprehensive Zoning Ordinance.
  - Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
  - Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
  - Two points of access shall be maintained for the property at all times.
  - Speed bumps/humps are not permitted within a fire lane.
  - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
  - All signage is subject to Building Official approval.
  - All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
  - All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
  - Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) in width along residential streets, and barrier free ramps of all curb crossings shall be provided per Town standards.
  - Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
  - Site plan approval is required prior to grading release.
  - All new electrical lines shall be installed and/or relocated underground.
  - All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.
  - Landscaping in all alley rights-of-way to be maintained by the HOA.
  - One hour demising wall to deck is required per Fire Department with signage stating "Firewall do not penetrate".
  - Fire wall to be inspected and approved by the Fire Department via written document by an approved third party.
  - Each townhome shall have an approved fire suppression system.
  - All fences adjacent to open space shall be ornamental metal.
  - Detention to be provided off-site with on-chamber storage.
  - All franchise utility surface-mounted equipment to be located in alley right-of-way.
  - Alley geometry shown is based on City of Frisco Standard Details.
  - The tree & bike trail alignment shown is for illustrative purposes only. The final alignment shall be included in the landscape and hardscape plans and shall be approved by the town.

Site Data Summary Table	
General Site Data	Single Family - PD-40
Zoning	Single Family - PD-40
Proposed Use	Townhomes (300 units - 1 or 2 Bdrm.)
Area	2,852,093 Sq. Ft./65,475 Ac.
Lot Area	1,223,020 Sq. Ft./28,077 Ac.
Lot Coverage (Percent)	42.9
Total Required Parking	2 Sp. Per 1 or 2 Bdrm. (300 units x 2) = 600 Spaces (Garage)
Impervious Area (Square Feet)	452,511
Open Space Required (CDE)	570,419
Open Space Provided (Square Feet)	690,078



TYPICAL LOT DETAIL  
(Min. Lot Area 1,500 SF)

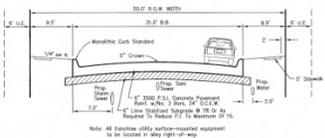
PRELIMINARY SITE PLAN  
**WINDSONG RANCH**  
**PHASE 2C**  
 65,475 Acres Out Of The  
 J. Bates Survey - Abstract No. 1620  
 C. Smith Survey - Abstract No. 1681  
 TOWN OF PROSPER  
 DENTON COUNTY, TEXAS

OWNER / APPLICANT  
 TVG TEXAS I, LLC  
 1001 Windsong Parkway South  
 Prosper, Texas 75078  
 Telephone (972) 238-7410  
 Contact: David Blom

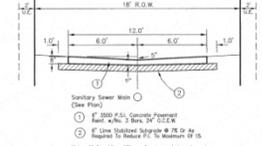
ENGINEER / SURVEYOR  
 Spans Engineering, Inc.  
 700 Carter Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 423-0077  
 REPE No. F-3121  
 Contact: Matt Dorsett

Sheet 1 of 4

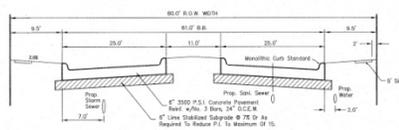
Scale: 1" = 100' February, 2015 SEI Job No. 14-173



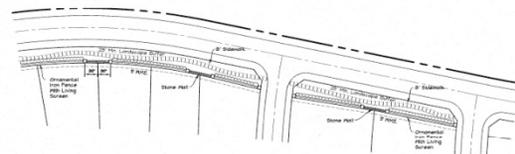
31' B-D Residential Pavement Section  
Not To Scale



12' Alley Pavement Section  
Not To Scale

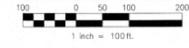


80' Divided Pavement Section  
Not To Scale

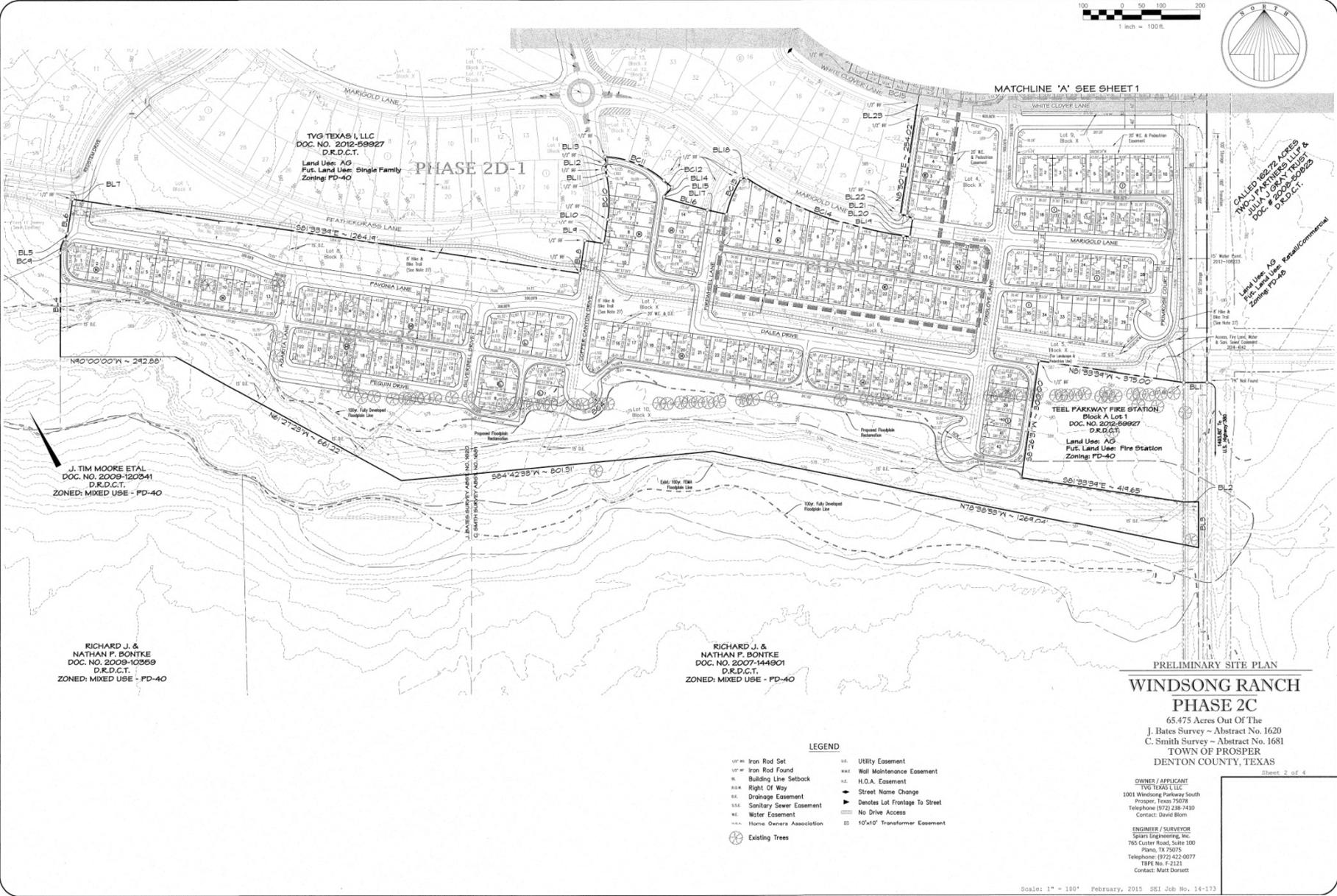


Typical Thoroughfare Screening Detail

- Sidewalk alignment as shown is conceptual. Final detail shall comply with Town of Prosper design requirements.
- Thoroughfare screening shall include trees every 30' per Town of Prosper design requirements.



MATCHLINE 'A' SEE SHEET 1



TYG TEXAS I, LLC  
DOC. NO. 2012-59927  
D.R.D.C.T.  
Land Use: AG  
Fut. Land Use: Single Family  
Zoning: PD-40

**PHASE 2D-1**

CALL FOR 10072 LOTS  
IN THE PARKWAY LOT &  
BLOCK A ONLY LOT &  
DOC. # 2008-00282  
D.R.D.C.T.

Land Use: AG  
Fut. Land Use: Retail/Commercial  
Zoning: PD-40

TEEL PARKWAY FIRE STATION  
Block A Lot 1  
DOC. NO. 2008-09927  
D.R.D.C.T.  
Land Use: AG  
Fut. Land Use: Fire Station  
Zoning: PD-40

J. TIM MOORE ETAL  
DOC. NO. 2009-120341  
D.R.D.C.T.  
ZONED: MIXED USE - PD-40

RICHARD J. &  
NATHAN P. BONTKE  
DOC. NO. 2009-10269  
D.R.D.C.T.  
ZONED: MIXED USE - PD-40

RICHARD J. &  
NATHAN P. BONTKE  
DOC. NO. 2007-144901  
D.R.D.C.T.  
ZONED: MIXED USE - PD-40

**PRELIMINARY SITE PLAN**

**WINDSONG RANCH  
PHASE 2C**

65.475 Acres Out Of The  
J. Bates Survey - Abstract No. 1620  
C. Smith Survey - Abstract No. 1681  
TOWN OF PROSPER  
DENTON COUNTY, TEXAS

Sheet 2 of 4

**LEGEND**

- 1/4" Iron Rod Set
- 1/2" Iron Rod Found
- Building Line Setback
- Right Of Way
- Drainage Easement
- Sanitary Sewer Easement
- Water Easement
- Home Owners Association
- Existing Trees
- Utility Easement
- Wall Maintenance Easement
- H.O.A. Easement
- Street Name Change
- Denotes Lot Frontage To Street
- No Drive Access
- 10'x10' Transformer Easement

OWNER / APPLICANT  
TYG TEXAS I, LLC  
1001 Windsong Parkway South  
Prosper, Texas 75078  
Telephone: (972) 338-7410  
Contact: David Blom

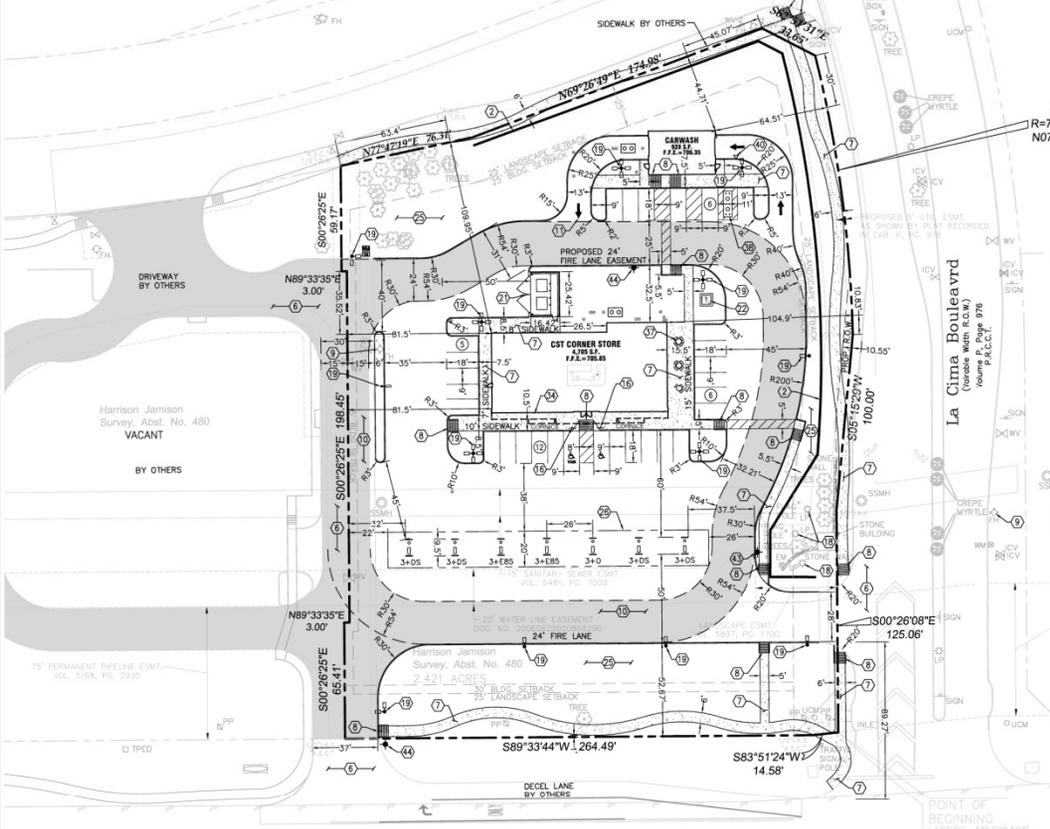
ENGINEER / SURVEYOR  
Spartan Engineering, Inc.  
795 Coaster Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TPE No. F-2121  
Contact: Matt Dorett

**BENCHMARKS**  
 "X" SET ON THE NORTHEAST CORNER OF CURB INLET, LOCATED ON THE EAST SIDE OF LA CIMA BLVD., BEING APPROXIMATELY 52 FEET NORTH OF THE NORTH EDGE OF ASPHALT OF U.S. HWY 380. ELEVATION=707.76'

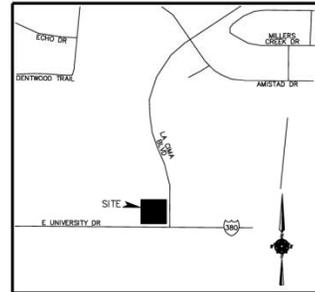
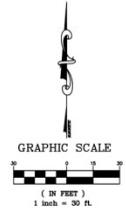
Mustang-Midway Plano, Ltd.  
 County Clerk's File No. 96-00382753  
 R.P.R.C.C.T.  
 (remainder)  
 VACANT

Lot 8, Block A  
 Hunter Gateway Centre  
 Cabinet 2011, Page 150  
 P.R.C.C.T.  
 (remainder)  
 VACANT

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND CLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SIDEWALKS OF NOT LESS THAN (6") FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5") FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE WIDTH ALONG ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- NO 100-YEAR FLOOD PLAIN EXISTS ON THIS SITE.



- EXISTING LEGEND:**
- RP ROWER POLE
  - ICV IRRIGATION CONTROL VALVE
  - UCM UNDERGROUND CABLE MARKER
  - LVD LIGHT POLE
  - TPED TELEPHONE PEDestal
  - SMWH SANITARY SEWER MANHOLE
  - WV WATER VALVE
  - FH FIRE HYDRANT
  - EM ELECTRIC METER



**LOCATION MAP**  
 NOT TO SCALE

- LEGEND:**
- PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - TRAFFIC/HANDICAP SIGN
  - PARKING SPACES
  - PROPOSED FIRELANE
  - TRANSFORMER
  - HANDICAP SPACES
  - ADA RAMP
  - BOLLARD
  - PROPERTY LINE
  - TRAFFIC/HANDICAP SIGN
  - LIGHT POLE
  - GREASE TRAP
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - WATER METER
  - IRRIGATION METER

- SITE KEY NOTES:**
- RETAINING WALL. (BY OTHERS)
  - EXISTING PAVEMENT TO REMAIN
  - CONCRETE SIDEWALK. (PER LOCAL CODES)
  - SIDEWALK RAMP @ 8.33% MAX. AND 2% MAX. CROSS SLOPE. (PER LOCAL CODES)
  - EXISTING FIRE HYDRANT.
  - PROPOSED FIRE LANE.
  - DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
  - HANDICAP SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - EXISTING LIGHT POLE.
  - PROPOSED LIGHT POLE.
  - 8' DUMPSTER ENCLOSURE. CONSTRUCTED TO MATCH MAIN BUILDING.
  - PAD MOUNTED TRANSFORMER.
  - LANDSCAPE AREA.
  - 181.5'x20' CANOPY.
  - 328 S.F. OUTDOOR SEATING.
  - AIR/VACUUM STATION.
  - CARWASH KIOSK.
  - FIRE HYDRANT POINT OF RELOCATION BY OTHERS.
  - NEW FIRE HYDRANT.

Lot 6, Block A  
 Hunter Gateway Centre  
 Cabinet 2011, Page 150  
 P.R.C.C.T.  
 VACANT

SITE DATA TABLE	
LOCATION:	NWC U.S. HWY 380 & LA CIMA BLVD., PROSPER, TX 75078
SITE AREA:	2.421 AC. (105,440 S.F.)
ZONING:	COM/CD-2
CURRENT USE:	VACANT
PROPOSED USE:	CONVENIENCE STORE WITH GAS PUMPS AND CARWASH
BUILDING DATA:	
BUILDING AREA:	4,705 S.F.
BUILDING OVERHANG:	270 S.F.
BUILDING HEIGHT:	20'-0" (1 STORY)
BUILDING COVERAGE:	4%
F.A.R.:	0.04
PATIO/OUTDOOR SEATING:	326 S.F.
PARKING SUMMARY:	11 SP PER 250 S.F.
9'x18' PARKING SPACES:	19
4,705 S.F./250 = 19 PARKING SPACES REQUIRED	
326 S.F./250/2 = 1 PARKING SPACE REQUIRED	
29 TOTAL PARKING SPACES PROVIDED (27 REGULAR, 2 ADA)	
LANDSCAPE:	
PERVIOUS:	34,614 S.F.
IMPERVIOUS:	70,826 S.F.
OPEN SPACE REQUIREMENTS:	REQUIRED PROVIDED
OPEN SPACE (7%)	7,381 S.F. 7,500 S.F.

Lot 1, Block A  
 Hunter Gateway Centre  
 Cabinet 2011, Page 150  
 P.R.C.C.T.  
 VACANT

OWNER:  
 MUSTANG-MIDWAY PLANO LTD  
 16475 DALLAS PARKWAY, STE 820  
 ADDISON, TEXAS 75001

CIVIL ENGINEER:  
 JOHN THOMAS ENGINEERING  
 800 N. WATTERS, STE. 170  
 ALLEN, TX 75013  
 CONTACT: JOHN MEASELS  
 (214) 491-1830

ARCHITECT:  
 PM DESIGN GROUP, INC.  
 710 E. PARK BOULEVARD, STE 108  
 PLANO, TEXAS 75074  
 CONTACT: JOHN MELENDEZ  
 (972) 449-8084

SURVEYOR:  
 ARTHUR SURVEYING CO., INC.  
 220 ELM STREET, SUITE 200  
 LEWISVILLE, TEXAS 75067  
 CONTACT: DOUGLAS L. ARTHUR  
 (972) 221-9439

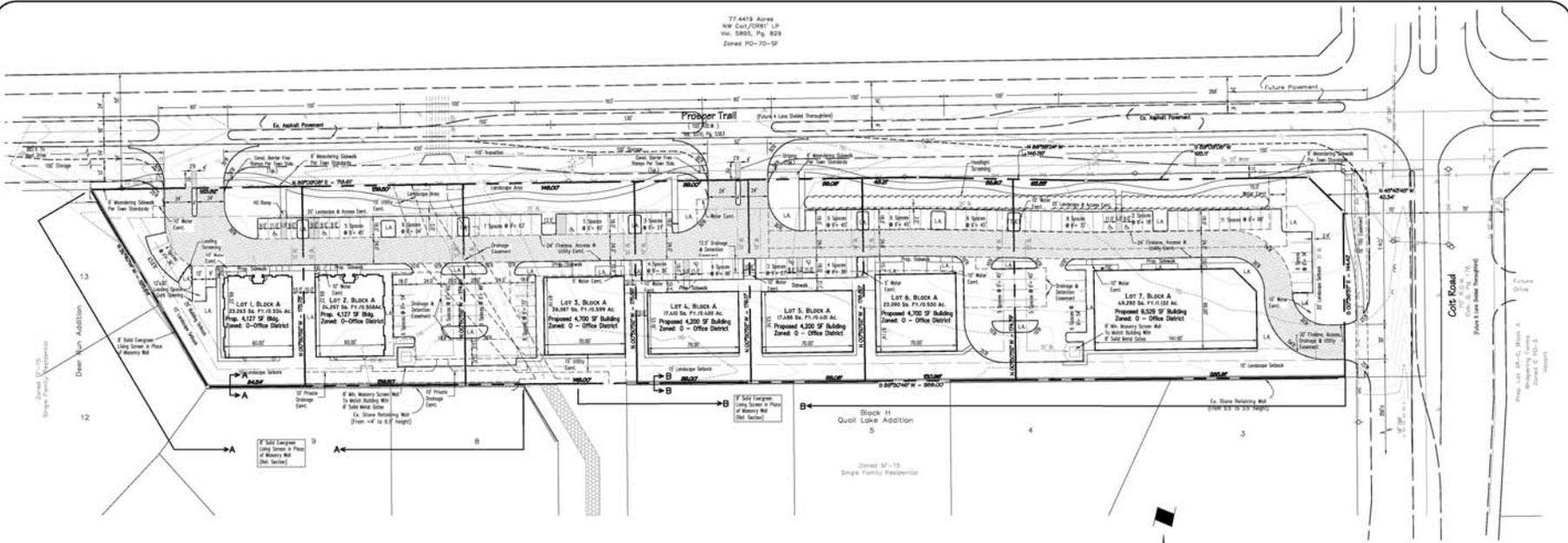


**SITE PLAN**  
 CST CORNER STORE #1580  
 NWC U.S. HWY. 380 & LA CIMA BLVD.  
 PROSPER, TX 75078

REVISION RECORD
11-14-14 INITIAL SUBMITTAL
1-20-15 CITY COMMENTS
2-10-15 CITY COMMENTS

SHEET NO.  
**C-3.0**

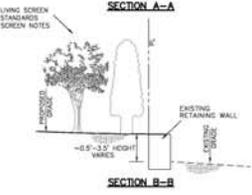
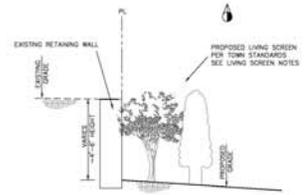
77.4419 Acres  
 NW 1/4, 1981st St  
 Vol. 5885, Pg. 829  
 Zoned PD-70-5F



- Notes:**
1. No floodplain exists on this site.
  2. All fire hydrants & FDC to have 5" Storz connection.
  3. All dimensions are to face of curb or edge of building.
  4. No existing trees on site.

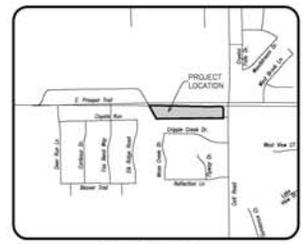
**SITE PLAN NOTES**

- 1) Dumpsters and trash compactors shall be screened in accordance with the Comprehensive Zoning Ordinance.
- 2) Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
- 3) Outdoor lighting shall comply with the lighting and glare standards contained within the Comprehensive Zoning Ordinance and Subdivision Regulation Ordinance.
- 4) Landscaping shall conform to landscape plans approved by the Town.
- 5) All driveways shall comply with the Town's Comprehensive Zoning Ordinance requirements.
- 6) Buildings of 5000 square feet or greater shall be 100% fire sprinklers. Alternative fire protection measures may be approved by the Fire Department.
- 7) Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- 8) Two points of access shall be maintained for the property at all times.
- 9) Speed bumps/humps are not permitted within a fire lane.
- 10) Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Uniform Building Code.
- 11) All signage is subject to Building Official approval.
- 12) All fences and retaining walls shall be shown on the Site Plan and are subject to Building Official approval.
- 13) All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- 14) Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
- 15) Approval of the Site Plan is not final until all engineering plans are approved by the Town Engineer.
- 16) Site Plan approval is required prior to grading release.
- 17) All new electrical lines shall be installed and/or relocated underground.
- 18) All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.



**Living Screen Notes:**  
 Solid living screening in lieu of a masonry wall. The solid living screening shall consist of one large evergreen tree planted on 30-foot centers, 3-inch caliper minimum at the time of planting, and evergreen shrubs planted on 6-foot centers, 45-gallon and 8-foot in height minimum at the time of planting.

**LEGEND**  
 LA FRELANE  
 LA LANDSCAPE AREA



**Vicinity Map**

SHEET 1 OF 2  
 PRELIMINARY SITE PLAN  
 OF  
**PROSPER TRAILS  
 OFFICE CENTER**  
 LOTS 1-7, BLOCK A  
 4,153 Acres  
 situated in the  
 WILLIAM BUTLER SURVEY ~ ABST. 112  
 PROSPER, COLLIN COUNTY, TEXAS

**Owner/Analyst:** Mike Fozell  
 9 Bermuda Dunes Ct.  
 Frisco, Texas 75034  
 Telephone (214) 957-2764

**Engineer/Designer:** Solera Engineering, Inc.  
 785 Custer Road, Suite 100  
 Plano, Texas 75075  
 Telephone (972) 422-0077  
 Contact: John Spiera

Scale 1"=40' December 2014

Site Data Summary Table (Lot 1, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 1 Area (Gross)	23,083 Sq. Ft./0.534 Ac.
Building Area	4,127 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	17.5
Floor Area Ratio	0.175:1
Total Required Parking	
4,127 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 8 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	135
Interior Landscape Provided (Square Feet)	534
Impervious Area (Square Feet)	12,306
Open Space Required (Square Feet)	1,829
Open Space Provided (Square Feet)	3,551

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 2, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 2 Area (Gross)	24,297 Sq. Ft./0.558 Ac.
Building Area	4,127 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	16.8
Floor Area Ratio	0.168:1
Total Required Parking	
4,127 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 23 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	360
Interior Landscape Provided (Square Feet)	547
Impervious Area (Square Feet)	18,468
Open Space Required (Square Feet)	1,701
Open Space Provided (Square Feet)	1,957

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 3, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 3 Area (Gross)	26,087 Sq. Ft./0.599 Ac.
Building Area	4,700 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	18.0
Floor Area Ratio	0.180:1
Total Required Parking	
4,700 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	19
Total Provided Parking (Number Of Spaces)	* 20 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	409
Interior Landscape Provided (Square Feet)	693
Impervious Area (Square Feet)	16,725
Open Space Required (Square Feet)	1,826
Open Space Provided (Square Feet)	3,136

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 4, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 4 Area (Gross)	17,410 Sq. Ft./0.400 Ac.
Building Area	4,200 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	24.1
Floor Area Ratio	0.241:1
Total Required Parking	
4,200 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 12 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	180
Interior Landscape Provided (Square Feet)	452
Impervious Area (Square Feet)	11,782
Open Space Required (Square Feet)	1,219
Open Space Provided (Square Feet)	1,997

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 5, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 5 Area (Gross)	17,486 Sq. Ft./0.401 Ac.
Building Area	4,200 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	24.0
Floor Area Ratio	0.240:1
Total Required Parking	
4,200 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 14 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	210
Interior Landscape Provided (Square Feet)	419
Impervious Area (Square Feet)	8,751
Open Space Required (Square Feet)	1,224
Open Space Provided (Square Feet)	2,498

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 6, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 6 Area (Gross)	23,060 Sq. Ft./0.530 Ac.
Building Area	4,700 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	20.4
Floor Area Ratio	0.204:1
Total Required Parking	
4,700 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	19
Total Provided Parking (Number Of Spaces)	* 17 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	255
Interior Landscape Provided (Square Feet)	700
Impervious Area (Square Feet)	13,465
Open Space Required (Square Feet)	1,818
Open Space Provided (Square Feet)	1,873

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 7, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 7 Area (Gross)	48,252 Sq. Ft./1.132 Ac.
Building Area	9,029 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	19.3
Floor Area Ratio	0.193:1
Total Required Parking	
9,029 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	36
3,498 Sq. Ft. General Office (1 Sp. Per 300 Sq. Ft.) =	12
Total Provided Parking (Number Of Spaces)	* 49 Sp. (incl. HC)
Interior Landscape Required (Square Feet)	600
Interior Landscape Provided (Square Feet)	620
Impervious Area (Square Feet)	28,265
Open Space Required (Square Feet)	3,400
Open Space Provided (Square Feet)	3,378

\* A shared parking agreement shall be provided prior to issuance of C.O.

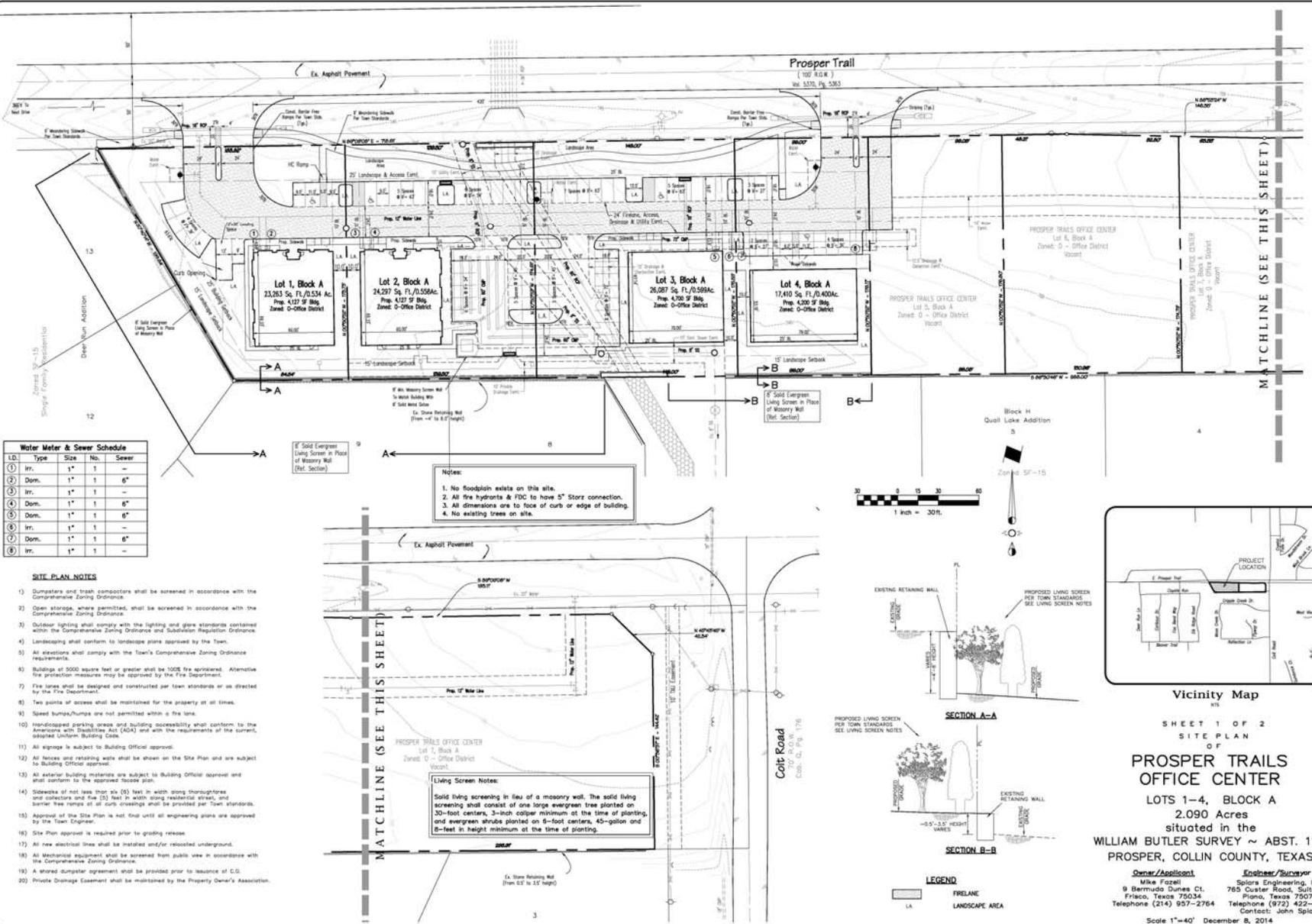
Site Parking Summary Table (Lots 1-7, Block A)	
Total Required Parking	
32,685 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	140
3,498 Sq. Ft. General Office (1 Sp. Per 300 Sq. Ft.) =	12
Total Provided Parking (Number Of Spaces)	* 143 Sp. (incl. HC)

\* A shared parking agreement shall be provided prior to issuance of C.O.

SHEET 2 OF 2  
PRELIMINARY SITE PLAN  
OF  
**PROSPER TRAILS  
OFFICE CENTER**  
LOTS 1-7, BLOCK A  
4,153 Acres  
situated in the  
WILLIAM BUTLER SURVEY ~ ABST. 112  
PROSPER, COLLIN COUNTY, TEXAS

<b>Owner/Analyst</b>	<b>Engineer/Designer</b>
Mike Fozell	Sploria Engineering, Inc.
9 Bermuda Dunes Ct.	785 Custer Road, Suite 100
Frisco, Texas 75034	Plano, Texas 75075
Telephone (214) 957-2764	Telephone (972) 422-0077
	Contact: John Sploria

Scale 1"=40' December 2014



**Water Meter & Sewer Schedule**

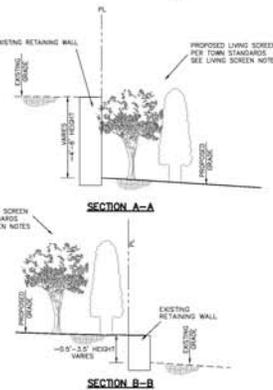
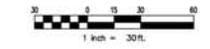
ID	Type	Size	No.	Sewer
1	Irr.	1"	1	-
2	Dom.	1"	1	6"
3	Irr.	1"	1	-
4	Dom.	1"	1	6"
5	Dom.	1"	1	6"
6	Irr.	1"	1	-
7	Dom.	1"	1	6"
8	Irr.	1"	1	-

- SITE PLAN NOTES**
- Dumpsters and trash compactors shall be screened in accordance with the Comprehensive Zoning Ordinance.
  - Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
  - Outdoor lighting shall comply with the lighting and glare standards contained within the Comprehensive Zoning Ordinance and Substation Regulation Ordinance.
  - Landscaping shall conform to landscape plans approved by the Town.
  - All elevations shall comply with the Town's Comprehensive Zoning Ordinance requirements.
  - Buildings of 5000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
  - Fire lanes shall be designed and constructed per town standards as directed by the Fire Department.
  - Two points of access shall be maintained for the property at all times.
  - Speed bumps/bumps are not permitted within a fire lane.
  - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, updated Uniform Building Code.
  - All signage is subject to Building Official approval.
  - All fences and retaining walls shall be shown on the Site Plan and are subject to Building Official approval.
  - All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
  - Stowage of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets, and barrier free ramps at all curb crossings shall be provided per town standards.
  - Approval of the Site Plan is not final until all engineering plans are approved by the Town Engineer.
  - Site Plan approval is required prior to grading release.
  - All new electrical lines shall be installed and/or reworked underground.
  - All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.
  - A shared dumpster agreement shall be provided prior to issuance of C.O.
  - Private Drainage Easement shall be maintained by the Property Owner's Association.

- Notes:**
- No floodplain exists on this site.
  - All fire hydrants & FDC to have 5" Storm connection.
  - All dimensions are to face of curb or edge of building.
  - No existing trees on site.

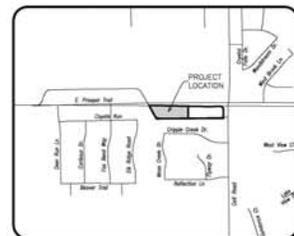
**Living Screen Notes:**

Solid living screening in lieu of a masonry wall. The solid living screening shall consist of one large evergreen tree planted on 30-foot centers, 3-inch caliper minimum at the time of planting, and evergreen shrubs planted on 6-foot centers, 42-gallon and 8-foot in height minimum at the time of planting.



**LEGEND**

LA FRELANE  
LA LANDSCAPE AREA



**Vicinity Map**

SHEET 1 OF 2  
SITE PLAN  
OF  
**PROSPER TRAILS  
OFFICE CENTER**  
LOTS 1-4, BLOCK A  
2.090 Acres  
situated in the  
WILLIAM BUTLER SURVEY ~ ABST. 112  
PROSPER, COLLIN COUNTY, TEXAS

**Owner/Architect:**  
Mike Fozell

**Engineer/Supplier:**  
Solars Engineering, Inc.  
785 Custer Road, Suite 100  
Plano, Texas 75075  
Telephone (214) 957-2764  
Contact: John Spira

Scale 1"=40' December 8, 2014

Site Data Summary Table (Lot 1, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 1 Area (Gross)	22,263 Sq. Ft./0.534 Ac.
Building Area	4,727 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	17.3
Floor Area Ratio	0.176:1
Total Required Parking	
4,727 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 8 Sp. (incl. HC)
Interior Landscaping Provided (Square Feet)	120
Interior Landscaping Provided (Square Feet)	534
Impervious Area (Square Feet)	12,306
Open Space Required (Square Feet)	1,629
Open Space Provided (Square Feet)	3,301

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 3, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 3 Area (Gross)	26,087 Sq. Ft./0.599 Ac.
Building Area	4,700 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	18.0
Floor Area Ratio	0.180:1
Total Required Parking	
4,700 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	19
Total Provided Parking (Number Of Spaces)	* 27 Sp. (incl. HC)
Interior Landscaping Provided (Square Feet)	400
Interior Landscaping Provided (Square Feet)	663
Impervious Area (Square Feet)	16,725
Open Space Required (Square Feet)	1,426
Open Space Provided (Square Feet)	2,136

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 2, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 2 Area (Gross)	24,297 Sq. Ft./0.558 Ac.
Building Area	4,127 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	16.8
Floor Area Ratio	0.168:1
Total Required Parking	
4,127 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 24 Sp. (incl. HC)
Interior Landscaping Provided (Square Feet)	380
Interior Landscaping Provided (Square Feet)	647
Impervious Area (Square Feet)	13,668
Open Space Required (Square Feet)	1,701
Open Space Provided (Square Feet)	1,957

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Data Summary Table (Lot 4, Block A)	
<b>General Site Data</b>	
Zoning	O - Office District
Proposed Use	MEDICAL OFFICE
Lot 4 Area (Gross)	17,410 Sq. Ft./0.400 Ac.
Building Area	4,200 Sq. Ft.
Building Height	28 Ft./One Story
Lot Coverage (Percent)	24.1
Floor Area Ratio	0.241:1
Total Required Parking	
4,200 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	17
Total Provided Parking (Number Of Spaces)	* 12 Sp. (incl. HC)
Interior Landscaping Provided (Square Feet)	180
Interior Landscaping Provided (Square Feet)	452
Impervious Area (Square Feet)	11,762
Open Space Required (Square Feet)	1,219
Open Space Provided (Square Feet)	1,597

\* A shared parking agreement shall be provided prior to issuance of C.O.

Site Parking Summary Table (Lots 1-4, Block A)	
<b>General Site Data</b>	
Total Required Parking	
17,534 Sq. Ft. Medical Office (1 Sp. Per 250 Sq. Ft.) =	69
Total Provided Parking (Number Of Spaces)	* 71 Sp. (incl. HC)

\* A shared parking agreement shall be provided prior to issuance of C.O.

SHEET 2 OF 2  
SITE PLAN  
OF  
**PROSPER TRAILS  
OFFICE CENTER**  
LOTS 1-4, BLOCK A  
2.090 Acres  
situated in the  
WILLIAM BUTLER SURVEY ~ ABST. 112  
PROSPER, COLLIN COUNTY, TEXAS

<b>Owner/Applicant</b>	<b>Engineer/Designer</b>
Mike Fazell	Sploria Engineering, Inc.
9 Bermuda Dunes Ct.	785 Custer Road, Suite 100
Frisco, Texas 75034	Plano, Texas 75075
Telephone (214) 957-2764	Telephone (972) 422-0077
	Contact: John Sploria

Scale 1"=40' December 8, 2014



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 5.*

### *Citizen's Comments*

The public is invited to address the Council on any topic. However, the Council is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Meeting Appearance Card" and present it to the Town Secretary prior to the meeting.

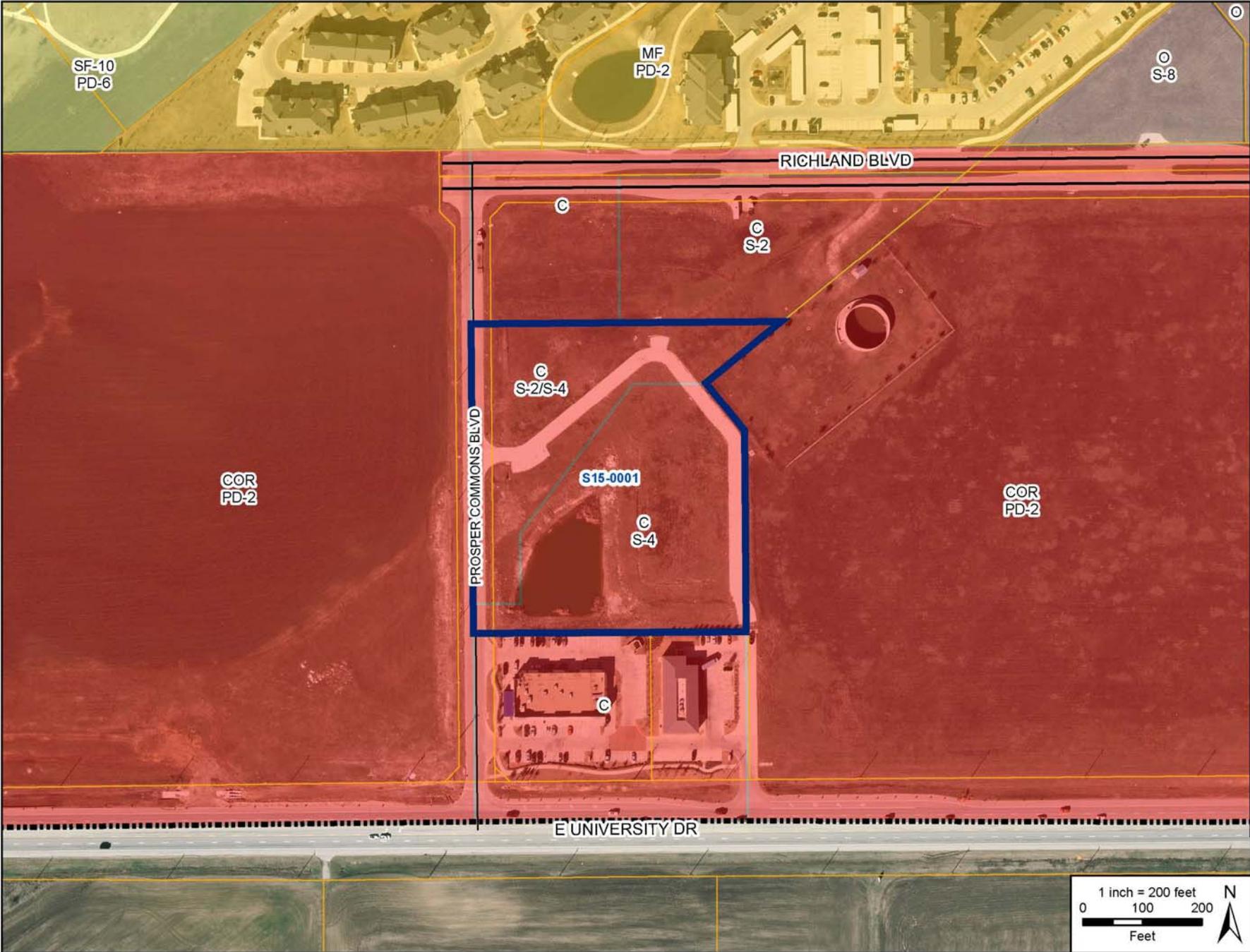


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 6.*

Conduct a Public Hearing, and consider and act upon an ordinance amending Specific Use Permit-4 (SUP-4), to allow for Office/Showroom uses, on 5.4± acres, located on the east side of Prosper Commons Boulevard, 300± feet south of Richland Boulevard. (S15-0001). (JW)







## Exhibit D: Architectural Style of the Two Story Buildings

Intent of this Exhibit is to illustrate the brick, stone and cast stone details to be woven into the second floor of the building and parapet. Building to follow Articulation guidelines specified for Commercial Zoning. Second floor to include false windows as shown. First floor to remain as ground-level unit access doors with panels set up to facilitate a future potential conversion to Office use. Awnings will not be installed during useage phase of mini-storage. This building style also facilitates the potential use of Office / Showroom on the first floor as well.



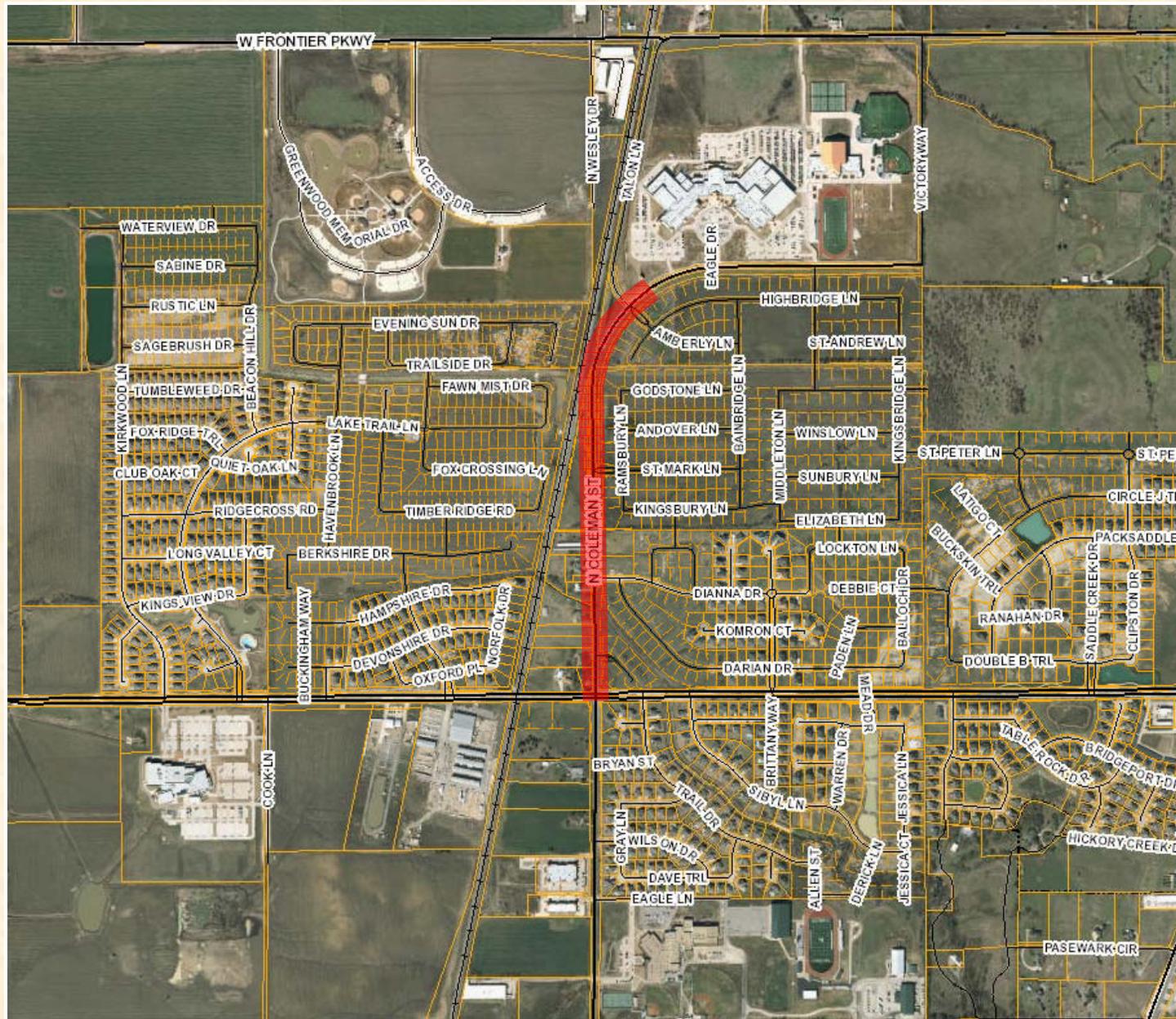


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 7.*

Consider and act upon awarding Bid No. 2015-22-B to Tiseo Paving Co. related to construction services for the Coleman Street Improvements (Prosper Trail to Talon Lane) project; and authorizing the Town Manager to execute a construction agreement for same. **(MR)**



## Coleman Street: Construction Schedule

April 6	Begin Construction 130 Calendar Days
June 6	Begin Closure of Coleman Street
August 14	End Closure of Coleman Street Substantially Complete Construction
August 24	First Day of School (Tentative)

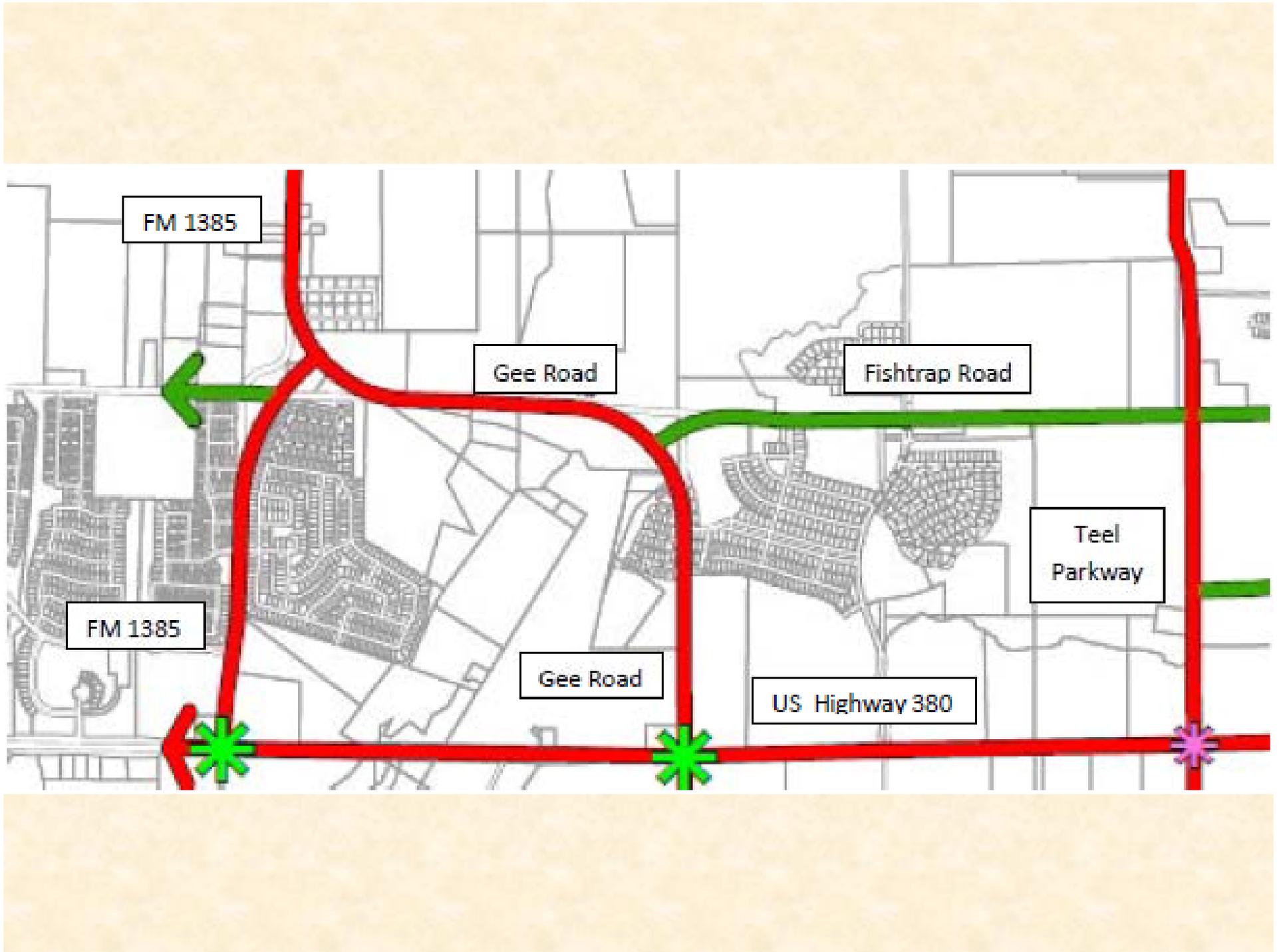


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 8.*

Consider and act upon authorizing the Town Manager to execute a Road Improvements and Construction Agreement ("West Prosper Roads") between TVG Texas I, LLC, M/I Homes of DFW, LLC, Prosper Economic Development Corporation, and the Town of Prosper, Texas, related to the design and construction of the West Prosper Roads project. **(HW)**



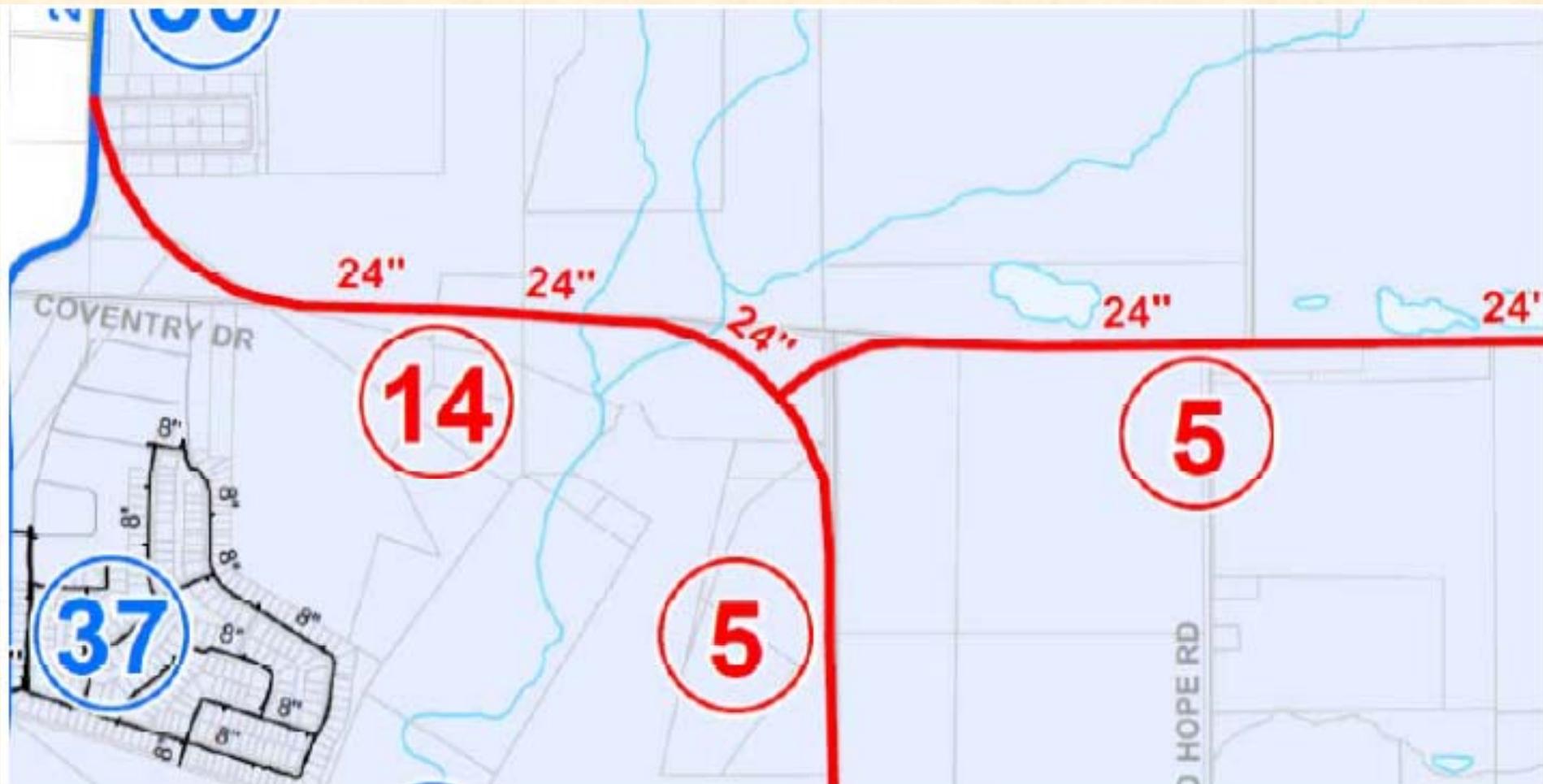


# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 9.*

Consider and act upon authorizing the Town Manager to execute a Development Agreement between M/I Homes of DFW, LLC, and the Town of Prosper, Texas, related to the extension of water lines to serve the Preserve at Doe Creek development. (HW)





*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Item 10.*

Discuss Residential Design and  
Development Standards. (JW)

# 1. Alternating Single Family Plan Elevations (Anti-Monotony)

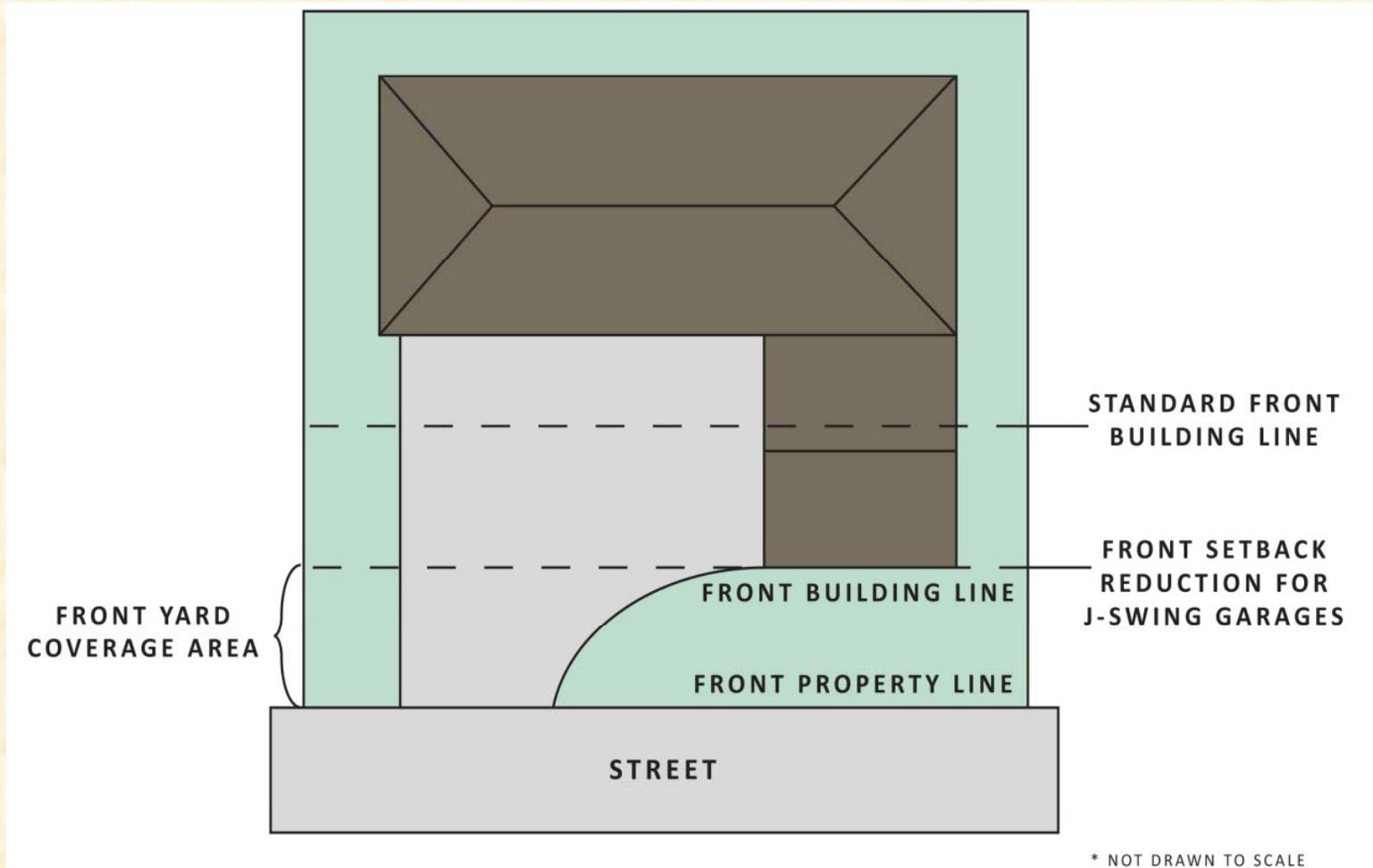
- A minimum of four (4) distinctly different home elevations shall be built on the same side of the street.
- Similar elevations shall not face each other.
- The same elevation shall not be within three homes of each other on the same side of the street.
  - Different roof forms/profiles
  - Different façades consisting of different window and door style and placement
  - Different entry treatment such as porches and columns
  - Different number of stories

## 2. Masonry Construction for Single Family Facades Facing a Street

- Excluding windows, any portion of an upper story facing a street shall be constructed of 100% masonry.



### 3. Impervious Coverage of Front Yards



### **3. Impervious Coverage of Front Yards**

- The cumulative area of any driveway plus any impermeable surface area located between the front property line and any front building wall shall not exceed fifty (50) percent of the area between the front property line and any front building wall.
- The front wall of a j-swing wall can be used to meet the requirement.

## 4. Single Family Corner Lot Landscaping



## 4. Single Family Corner Lot Landscaping

- A minimum of two (2), four (4) caliper inch trees shall be planted in the side yard of a corner lot.
- Where more than two (2) trees are required per lot, the side yard corner lot trees may be used to meet the requirement.
- Street trees planted adjacent to the side yard of a corner may also be used to meet the requirement.

## 5. Residential Garage Standards



## 5. Residential Garage Standards

- In no instance shall a garage door directly facing a street be less than 25 feet from the property line.
- Garage doors directly facing a street shall not occupy more than fifty percent (50%) of the width of the front façade of the house.
- Garage doors directly facing a street shall be located a minimum of five (5) feet behind the main front façade of the house.
- Where a home has three (3) or more garage/enclosed parking spaces, no more than two (2) garage doors shall face the street, unless the garage doors are located behind the main structure.

## 6. Residential Driveway Standards



## 6. Residential Driveway Standards

- Stamp and stain/ patterned concrete, shall be dust-on color application to wet concrete.
- Acid-etched colored concrete for the field with scored colored borders, shall use dust-on color application to wet concrete.
- Colored concrete with scored smooth border, shall use dust-on color application to wet concrete.
- Brick or interlocking pavers or pave stone.

## 7. Chimneys

- The exterior of chimneys shall be 100% clay fired brick, natural or manufactured stone or stucco.



## 8. Carports

- The support structures of a carport shall be of the same material as the main structure. The roof shall have a minimum roof pitch of 6:12 and be of similar material as the main structure.



## 9. General Fencing Standards

- Wooden fences shall be board-on-board with a top rail.



## 10. Fencing Adjacent to Open Spaces and Hike & Bike Trails

- Fences adjacent to open space and hike and bike trails shall be ornamental metal, tubular steel or split rail.



# 11. Corner Lot Fencing



## 11. Corner Lot Fencing

- Fences on corner lots shall be ornamental metal. Existing non-ornamental metal fences may be replaced with a similar material in accordance with the standards for those fences as they exist or may be amended.

## 12. Required Wet Detention

- All required detention areas shall be designed for constant water level wet detention with a fountain



## **12. Standards not Recommended for Amendments**

- Increasing Side Yards
- Enhanced Exterior Lighting

## **12. Standards not Recommended for Amendments**

- Increasing Side Yards
- Enhanced Exterior Lighting



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 11*

### *Executive Session*

*Recess into Closed Session in compliance with Section 551.001 et. seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:*

- 11a. Section 551.087 - To discuss and consider economic development incentives.*
- 11b. Section 551.072 - To discuss and consider purchase, exchange, lease, or value of real property for municipal purposes and all matters incident and related thereto.*



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 11.*

### *Executive Session*

*Recess into Closed Session in compliance with Section 551.001 et. seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:*

- 11c. Section 551.071 – Consultation with Town Attorney regarding legal issues associated with proposed extraterritorial jurisdiction release, and all matters incident and related thereto.*
- 11d. Section 551.071 – Consultation with Town Attorney regarding legal issues associated with easements, land use designations, and rezoning matters, and all matters incident and related thereto.*



*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Item 12.*

Reconvene in Regular Session and take any action necessary as a result of the Closed Session.



# *Town of Prosper*

*"a place where everyone matters"*

## *Agenda Item 13.*

Possibly direct Town staff to schedule topic(s) for discussion at a future meeting.

- Update on Website Improvements. **(RB)**
- Update on Town Council Subcommittees. **(RB)**
- Update on Strategic Planning Session **(HJ)**



# *Town of Prosper*

*"a place where everyone matters"*

## *Website Improvements*

- Development Services is now posting the entire Planning & Zoning Commission packets on the website; not just the agenda.
- The Town Secretary's Office has codified Supplement No. 6 of the Code of Ordinances. Future Supplements will be codified on a regular basis to keep the Code current on the Town website.
- There is now a link to the Code of Ordinances on the Homepage, under the "I Want To" section.
- Town Council PowerPoint presentations are now available on the website, along with the Packet, Agenda, and Minutes.
- Town staff is working with our current website contractor to make audio of the Town Council meetings available on the website.



# *Town of Prosper*

*"a place where everyone matters"*

## Council Technology Subcommittee

- Shall periodically review the Town's existing technological capabilities, and make recommendations for improvements
- Shall periodically review and make recommendations on the Town's Vehicle and Equipment Replacement Fund (VERF) as it relates to the acquisition, implementation, maintenance and upgrading of the Town's technology, software, and computer equipment
- Shall make recommendations for the continuous improvement of the Town's website and use of social media
- Shall make recommendations to promote the use of technology to increase efficiency of operations within the Town

The current subcommittee consists of three Councilmembers (Meigs Miller, Kenneth Dugger, and Mike Davis), as well as staff support.



# *Town of Prosper*

*"a place where everyone matters"*

## **Council Finance Subcommittee**

- Shall review the Town's annual Audit/CAFR prior to presentation to the Town Council
- Shall periodically review and make recommendations to the Town's employee compensation and classification plan
- Shall periodically review and make recommendations to the Town's Vehicle and Equipment Replacement Fund (VERF) as it relates to the acquisition, replacement and upgrading of the Town's vehicles and equipment
- Shall review and make recommendations to the investment policy annually
- Shall make recommendations on various Town-related financial matters

The current subcommittee consists of three Councilmembers (Mayor Ray Smith, Curry Vogelsang, and Mike Davis), as well as staff support.



# *Town of Prosper*

*"a place where everyone matters"*

## Council Benefits Subcommittee

- Shall review significant changes to employee benefits that may impact the Town's ability to attract and retain employees
- Shall periodically review and provide input on benefit plans offered to employees
- Shall periodically review and provide input on the employee wellness program
- Shall provide advice and direction to ensure Town benefits are cost-effective

The current subcommittee consists of three Councilmembers (Curry Vogelsang, Jason Dixon, and Mike Davis), as well as staff support.



*Town of Prosper*  
*"a place where everyone matters"*

*Agenda Item 14.*

Adjourn

