



Town of Prosper
"a place where everyone matters"

Town Council Meeting
March 24, 2015



Town of Prosper
"a place where everyone matters"

Agenda Item 1.

Call to Order/Roll Call.



Town of Prosper
"a place where everyone matters"

Agenda Item 2.

*Invocation, Pledge of Allegiance, and
Pledge to the Texas Flag.*



Town of Prosper
"a place where everyone matters"

Agenda Item 3.

Announcements of upcoming events.



Town of Prosper
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Agenda Item 4.

Presentations.

Presentation of a Hometown Heroes
Award to Erin Hubbard

Hometown Heroes Award

Erin Hubbard





Town of Prosper

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Agenda Item 5.

Consent Agenda

Items placed on the Consent Agenda are considered routine in nature and non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of Council Members or staff.



Town of Prosper

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Agenda Items 5a.

- 5a.** Consider and act upon minutes from the following Town Council meetings. **(RB)**
- Regular Meeting – February 24, 2015



Town of Prosper
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Agenda Items 5b-5c.

- 5b.** Receive the February 2015 Financial Report. (KG)

- 5c.** Consider and act upon an ordinance revising Article 13.07 of the Code of Ordinances related to the utility billing policies. (KG)



Town of Prosper

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Agenda Items 5d.

- 5d.** Consider and act upon authorizing the Town Manager to execute a Project Acceptance Agreement between D.R. Horton - Texas, Ltd., and the Town of Prosper, Texas, related to maintenance of public improvements to serve the Hawk Ridge development. (HW)

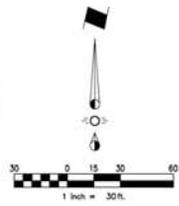


Town of Prosper

"a place where everyone matters"

Agenda Item 5e.

- 5e.** Consider and act upon whether to direct staff to submit a written notice of appeal on behalf of the Town Council to the Development Services Department, pursuant to Chapter 4, Section 1.5(C)(7) and 1.6(B)(7) of the Town's Zoning Ordinance, regarding action taken by the Planning & Zoning Commission on any site plan or preliminary site plan. **(AG)**



Site Data Summary Table	
General Site Data	
Zoning	C-Commercial
Proposed Use	Conv. Store w/ Gas Pumps
Lot 1 Area	106,427 Sq. Ft./2.443 Ac.
Conv. Store Area (Square Feet)	4,114
Conv. Store Height (Feet)	27'
Pump Canopy Building Area (Square Feet)	10,833
Pump Canopy Height (Feet)	22'
Pump Canopy Height (Bottom/Clearance)	18'
Lot Coverage (Percent)	18.1
Floor Area Ratio	0.181:1
Total Required Parking	
4,114 Sq. Ft. Conv. Store (1 Sp. Per 250 Sq. Ft.) =	25 Spaces
Total Provided Parking (Number Of Spaces)	27 Sp. (incl. HD)
Required Handicap Parking (Number Of Spaces)	2 (incl. 1 Van)
Provided Handicap Parking (Number Of Spaces)	2 (incl. 1 Van)
Interior Landscaping Required (Square Feet)	780
Interior Landscaping Provided (Square Feet)	1,330
Open Space Required (Square Feet)	75,935
Open Space Provided (Square Feet)	12,867

- Notes:**
1. No floodplain exists on this site.
 2. All fire hydrants to have 5", 30' downward turn store connection.
 3. No open storage on site.
 4. All dimensions are to the Face of Curb or Face of Building unless otherwise noted.

Water Meter & Sewer Schedule					
ID	Type	Size	No. Sewer	Remarks	
1	Domestic	1 1/2"	1	6"	Proposed
2	Irrigation	1"	1	N/A	Proposed

LEGEND

	Firelane, Access, & Utility Easement
	Undergroud Storage Tank
	Barrier Free Ramp
	Emergency Shut Off Switch
	Existing Overhead Electric
	Existing Utility Pole
	Existing Guy Wire

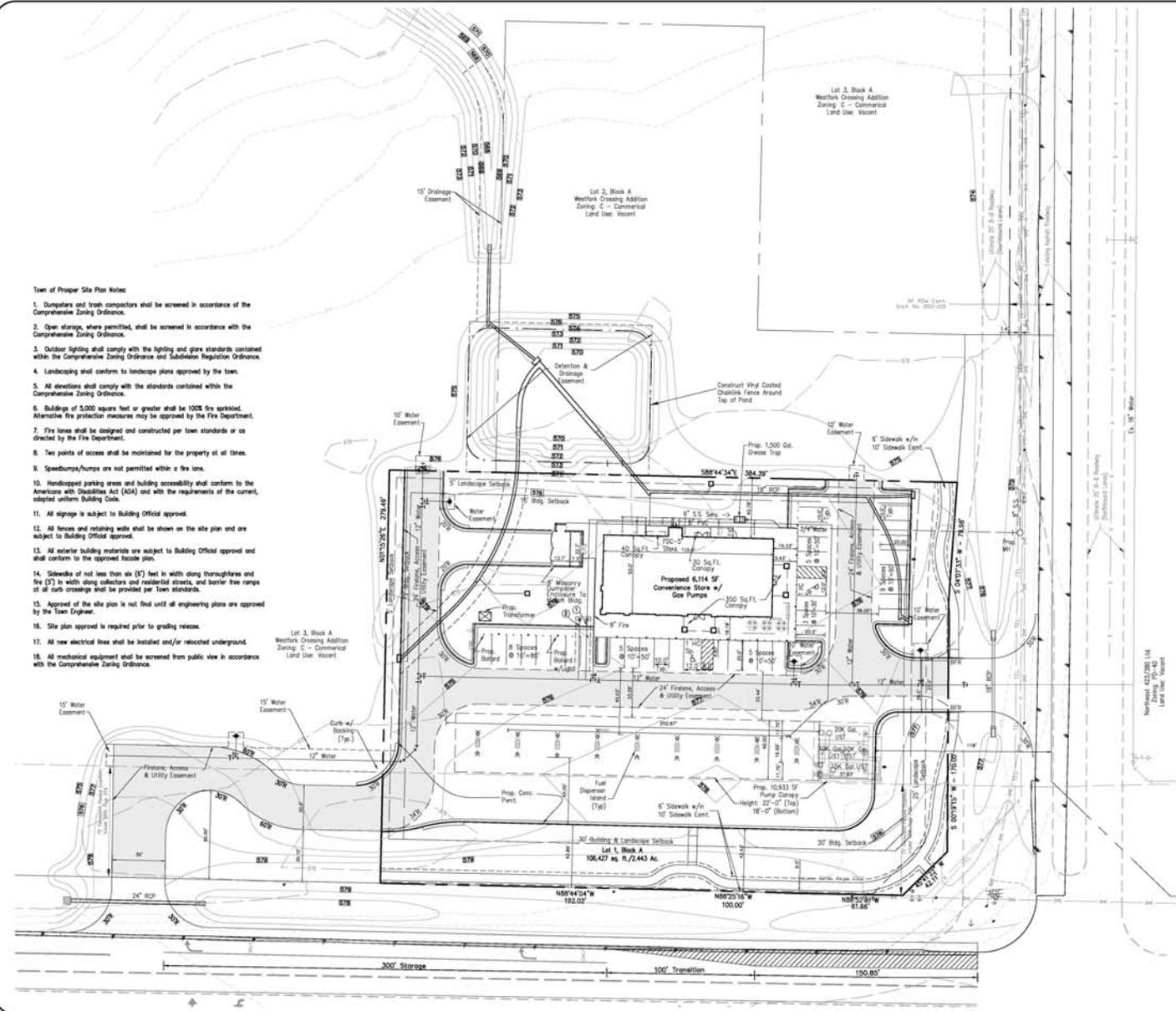
SHEET 1 OF 1
FINAL SITE PLAN
OF
WESTFORK CROSSING ADDITION
BLOCK A, LOT 1
2.443 ACRE TRACT
situated in the
M.E.P. RAILROAD SURVEY ~ ABSTRACT 1476
TOWN OF PROSPER, DENTON COUNTY, TEXAS

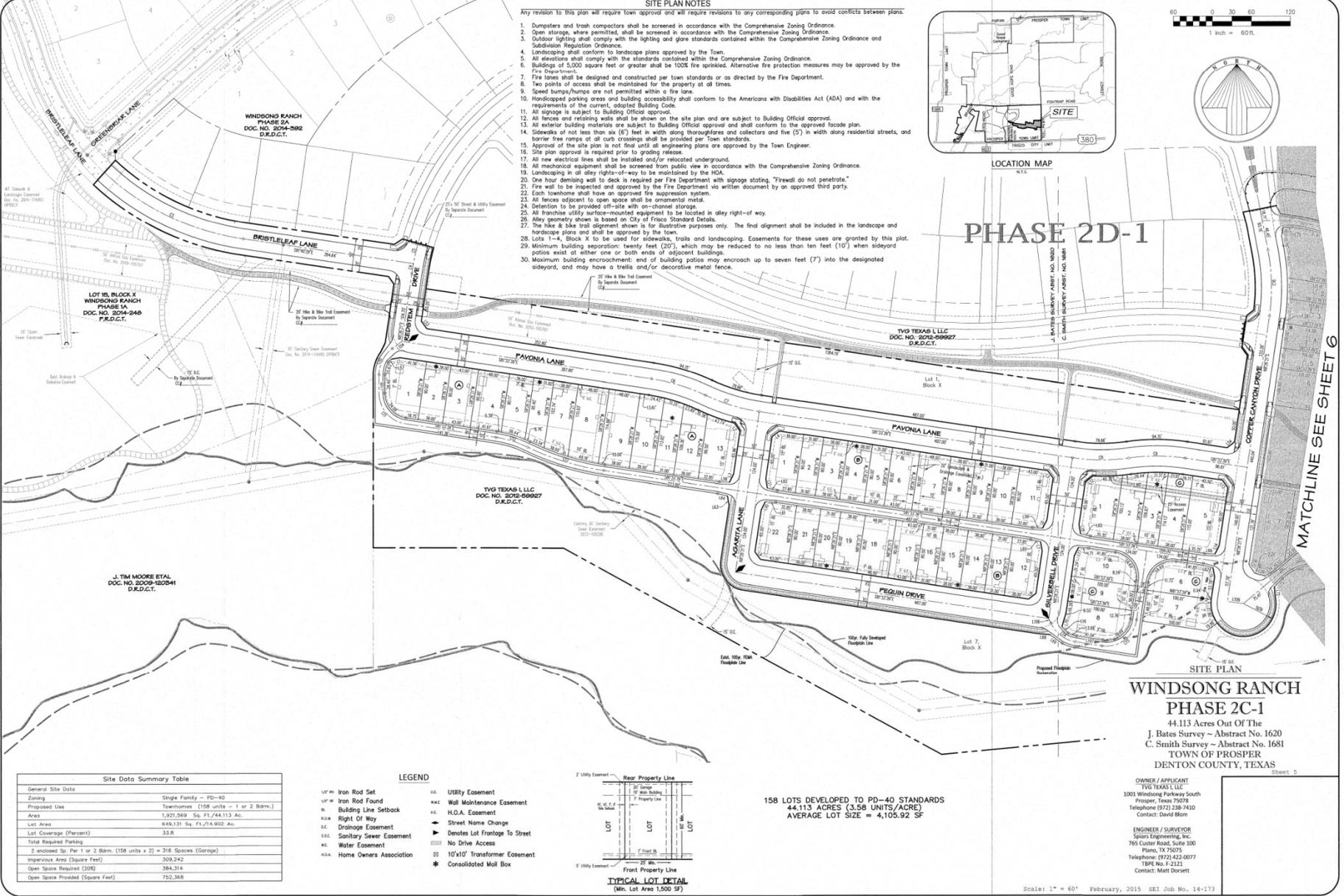
Owner/Applicant:
RiceTrac Petroleum, Inc.
3225 Cumberland Blvd.
Atlanta, GA 30339
Telephone (770) 431-7600
Contact: Steve Rittie

Engineer/Surveyor:
Spiders Engineering, Inc.
785 Custer Road, Suite 100
Pflug, Texas 75075
Telephone (972) 422-0077
TBP# No. F-2121
Contact: Kevin Wier

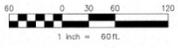
Scale 1"=30' October 2014 SEI No. 14-137

- Item of Proper Site Plan Notes:**
1. Dumpsters and trash compactors shall be screened in accordance of the Comprehensive Zoning Ordinance.
 2. Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
 3. Outdoor lighting shall comply with the lighting and glare standards contained within the Comprehensive Zoning Ordinance and Subdivision Regulation Ordinance.
 4. Landscaping shall conform to landscape plans approved by the town.
 5. All elevations shall comply with the standards contained within the Comprehensive Zoning Ordinance.
 6. Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
 7. Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
 8. Two points of access shall be maintained for the property at all times.
 9. Speedbumps/pumps are not permitted within a fire lane.
 10. Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
 11. All signage is subject to Building Official approval.
 12. All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
 13. All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
 14. Sidewalks of not less than six (6") feet in width along thoroughfares and the (5') in width along collectors and residential streets, and barrier free ramps of all curb crossings shall be provided per Town Standards.
 15. Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
 16. Site plan approval is required prior to grading release.
 17. All new electrical lines shall be installed and/or relocated underground.
 18. All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.





- SITE PLAN NOTES**
- Any revision to this plan will require town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
 - Dumpsters and trash compactors shall be screened in accordance with the Comprehensive Zoning Ordinance.
 - Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
 - Outdoor lighting shall comply with the lighting and glare standards contained within the Comprehensive Zoning Ordinance and Subdivision Regulation Ordinance.
 - Landscaping shall conform to landscape plans approved by the Town.
 - All elevations shall comply with the standards contained within the Comprehensive Zoning Ordinance.
 - Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
 - Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
 - Two points of access shall be maintained for the property at all times.
 - Speed bumps/humps are not permitted within a fire lane.
 - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
 - All signage is subject to Building Official approval.
 - All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
 - All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
 - Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) in width along residential streets, and barrier free ramps at all curb crossings shall be provided per town standards.
 - Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
 - Site plan approval is required prior to grading release.
 - All new electrical lines shall be installed and/or relocated underground.
 - All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.
 - Landscaping in all alley rights-of-way to be maintained by the HOA.
 - One hour demising wall to dock is required per Fire Department with signage stating, "Firewall do not penetrate."
 - Fire wall to be inspected and approved by the Fire Department via written document by an approved third party.
 - Each townhome shall have an approved fire suppression system.
 - All fences adjacent to open space shall be ornamental metal.
 - Detention to be provided off-site with on-channel storage.
 - All franchise utility surface-mounted equipment to be located in alley right-of-way.
 - Alley geometry shown is based on City of Frisco Standard Details.
 - The hike & bike trail alignment shown is for illustrative purposes only.
 - Hardscape plans and shall be approved by the town.
 - Lots 1-4, Block X to be used for sidewalks, trails and landscaping. Easements for these uses are granted by this plat.
 - Minimum building separation: twenty feet (20'), which may be reduced to no less than ten feet (10') when sideyard patios exist at either one or both ends of adjacent buildings.
 - Maximum building encroachment: end of building patios may encroach up to seven feet (7') into the designated sideyard, and may have a trellis and/or decorative metal fence.



PHASE 2D-1

WINDSONG RANCH PHASE 2C-1

44.113 Acres Out Of The
J. Bates Survey ~ Abstract No. 1620
C. Smith Survey ~ Abstract No. 1681
TOWN OF PROSPER
DENTON COUNTY, TEXAS

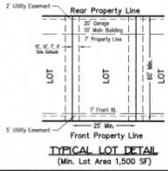
OWNER / APPLICANT
TVO TEXAS, LLC
1001 Windsong Parkway South
Prosper, Texas 75078
Telephone (972) 238-7410
Contact: David Blom

ENGINEER / SURVEYOR
Spartan Engineering, Inc.
795 Carter Road, Suite 300
Plano, TX 75075
Telephone (972) 422-0077
TBP# No. F-2121
Contact: Matt Dorsett

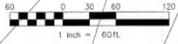
158 LOTS DEVELOPED TO PD-40 STANDARDS
44.113 ACRES (3.58 UNITS/ACRE)
AVERAGE LOT SIZE = 4,105.92 SF

Site Data Summary Table	
General Site Data	
Zoning	Single Family - PD-40
Proposed Use	Townhomes (158 units - 1 or 2 Bdrm.)
Area	1,921,569 Sq. Ft./44.113 Ac.
Lot Area	8,694,131 Sq. Ft./194,902 Ac.
Lot Coverage (Percent)	33.8
Total Required Parking	
2 enclosed Sp. Per 1 or 2 Bdrm. (158 units x 2) = 316 Spaces (Garage)	
Impervious Area (Square Feet)	309,242
Open Space Required (20%)	384,314
Open Space Provided (Square Feet)	752,368

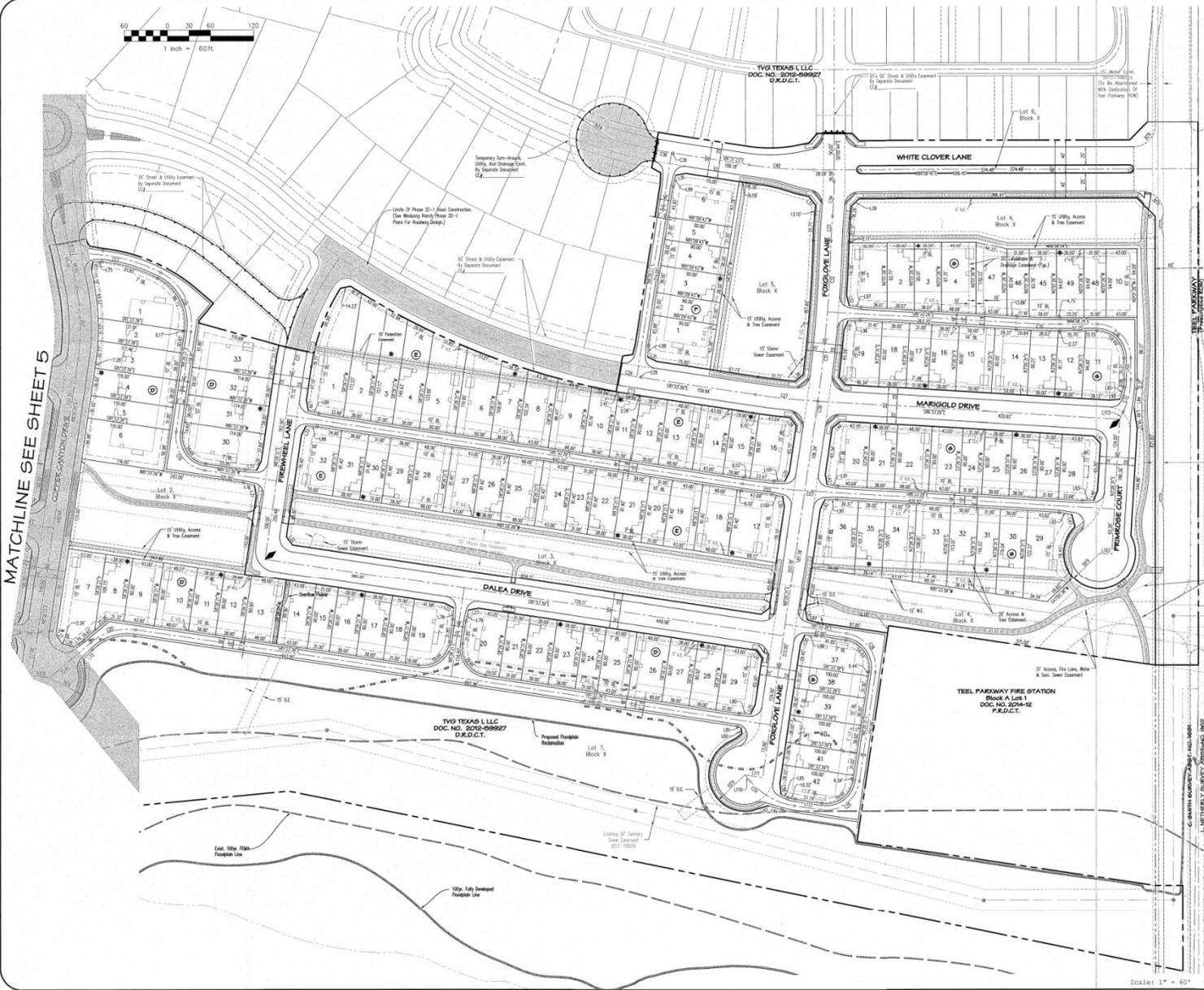
- LEGEND**
- UT = Iron Rod Set
 - W = Iron Rod Found
 - BL = Building Line Setback
 - RL = Right Of Way
 - DE = Drainage Easement
 - SS = Sanitary Sewer Easement
 - WE = Water Easement
 - HOA = Home Owners Association
 - UE = Utility Easement
 - WM = Wall Maintenance Easement
 - H.O.A. = Home Owners Association
 - SC = Street Name Change
 - DL = Denotes Lot Frontage To Street
 - NOA = No Drive Access
 - 10X10 = 10'x10' Transformer Easement
 - CM = Consolidated Mail Box



MATCHLINE SEE SHEET 6



MATCHLINE SEE SHEET 5



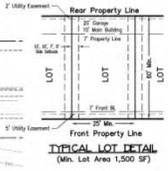
LOCATION MAP
N.T.S.



LEGEND

- 1/4" = Iron Rod Set
- 1/8" = Iron Rod Found
- ▭ = Building Line Setback
- ▭ = Right Of Way
- ▭ = Drainage Easement
- ▭ = Sanitary Sewer Easement
- ▭ = Water Easement
- ▭ = Home Owners Association
- ▭ = Utility Easement
- ▭ = Hill Maintenance Easement
- ▭ = H.O.A. Easement
- ▭ = Street Name Change
- ▭ = Denotes Lot Frontage To Street
- ▭ = No Drive Access
- ▭ = 10'x10' Transformer Easement
- ▭ = Consolidated Mail Box

TWO-J PARTNERS L.L.P. &
JULIA J. GRAY TRUST
DOC. NO. 2008-06025
D.K.D.C.T.



TYPICAL LOT DETAIL
(Min. Lot Area 1,500 SF)

SITE PLAN
WINDSONG RANCH
PHASE 2C-1
44.113 Acres Out Of The
J. Bates Survey - Abstract No. 1620
C. Smith Survey - Abstract No. 1681
TOWN OF PROSPER
DENTON COUNTY, TEXAS

OWNER / APPLICANT
TWO TEXAS L.L.C.
1001 Windsong Parkway South
Prosper, Texas 75078
Telephone (972) 238-7410
Contact: David Blom

ENGINEER / SURVEYOR
Solars Engineering, Inc.
795 Center Road, Suite 100
Plano, TX 75075
Telephone: (972) 622-8077
TFPE No. F-2121
Contact: Matt Dorsett



Town of Prosper

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Agenda Item 6.

Citizen's Comments

The public is invited to address the Council on any topic. However, the Council is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Meeting Appearance Card" and present it to the Town Secretary prior to the meeting.



Town of Prosper

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Agenda Item 7.

Conduct a Public Hearing, and consider and act upon a request to rezone 9.4± acres, located 500± feet north of Prosper Trail, 3,000± feet west of Dallas Parkway, from Agricultural (A) to Planned Development-Single Family-12.5 (PD-SF-12.5). (Z14-0016).
(JW)



Town of Prosper

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Agenda Item 8.

Conduct a Public Hearing, and consider and act upon a request to amend the Future Land Use Plan, on the east side of Main Street, from Third Street to First Street, from Old Town - Office to Old Town - Main Street Retail. (CA15-0001). [Companion to Case Z15-0001]. (JW)

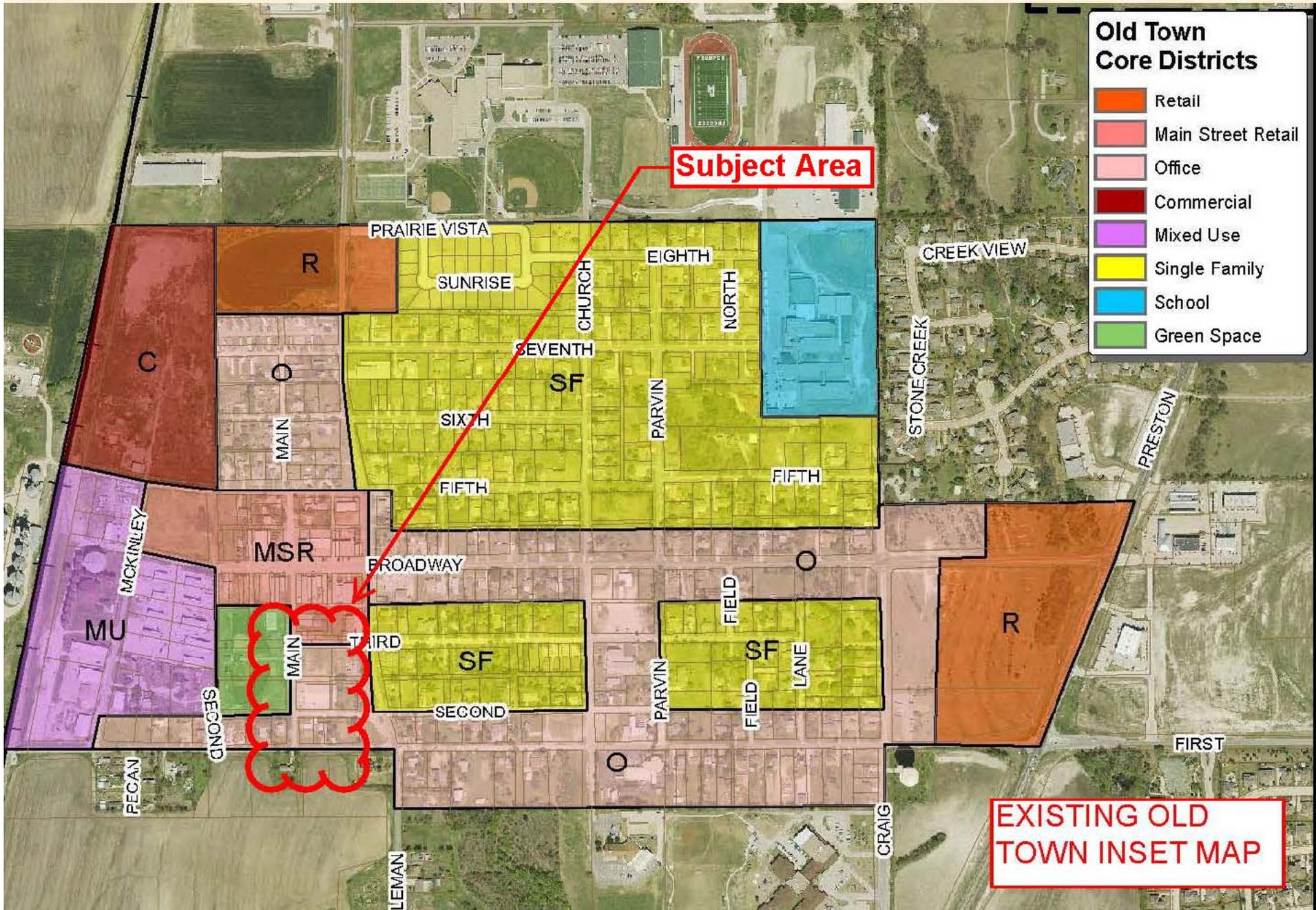


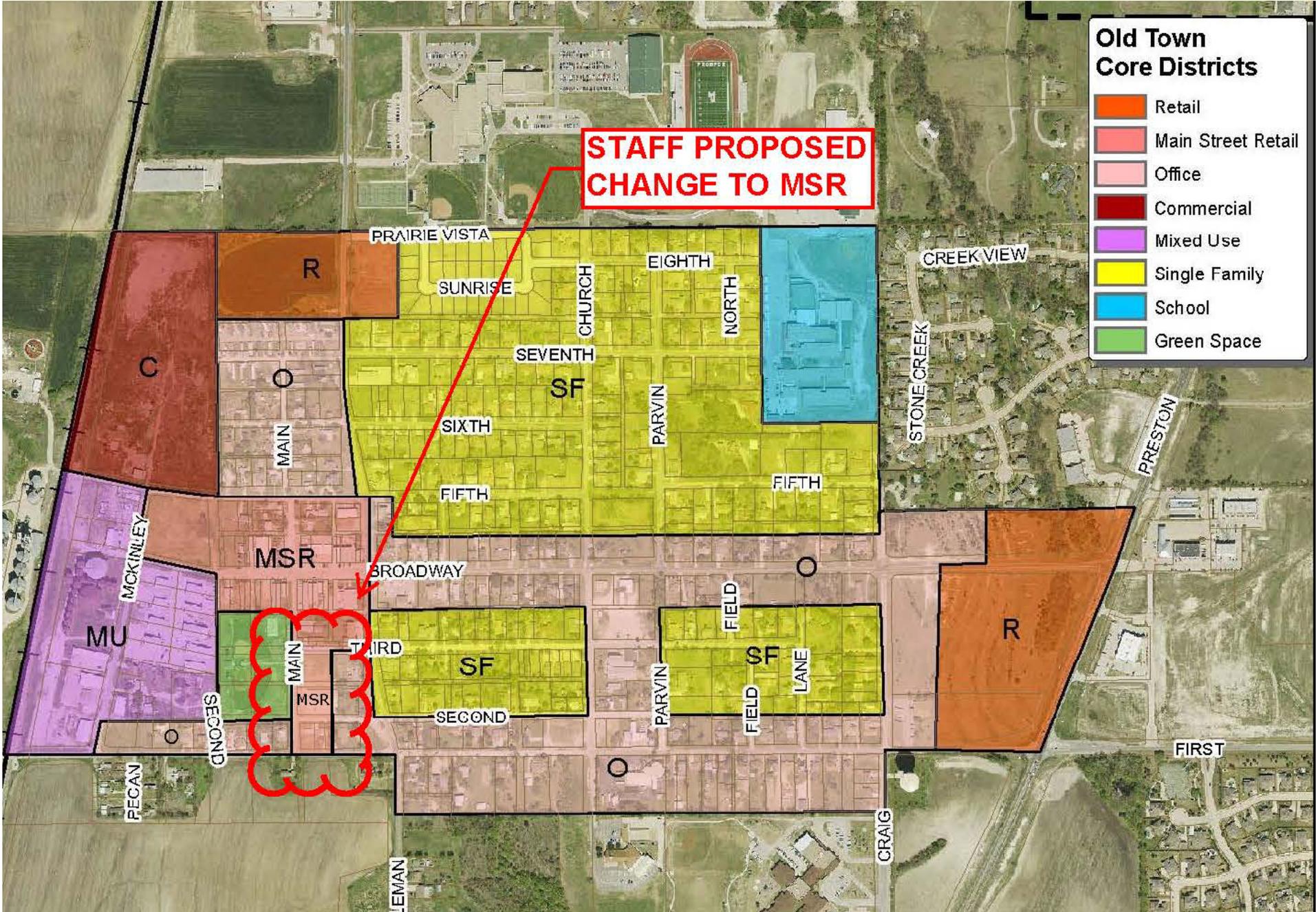
Town of Prosper

"a place where everyone matters"

Agenda Item 9.

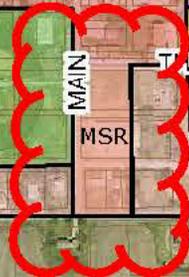
Conduct a Public Hearing, and consider and act upon a request to rezone 0.8± acre, located on the southeast corner of Main Street and Third Street from Commercial (C) to Downtown Retail (DTR). (Z15-0001). [Companion to case CA15-0001]. (JW)





STAFF PROPOSED CHANGE TO MSR

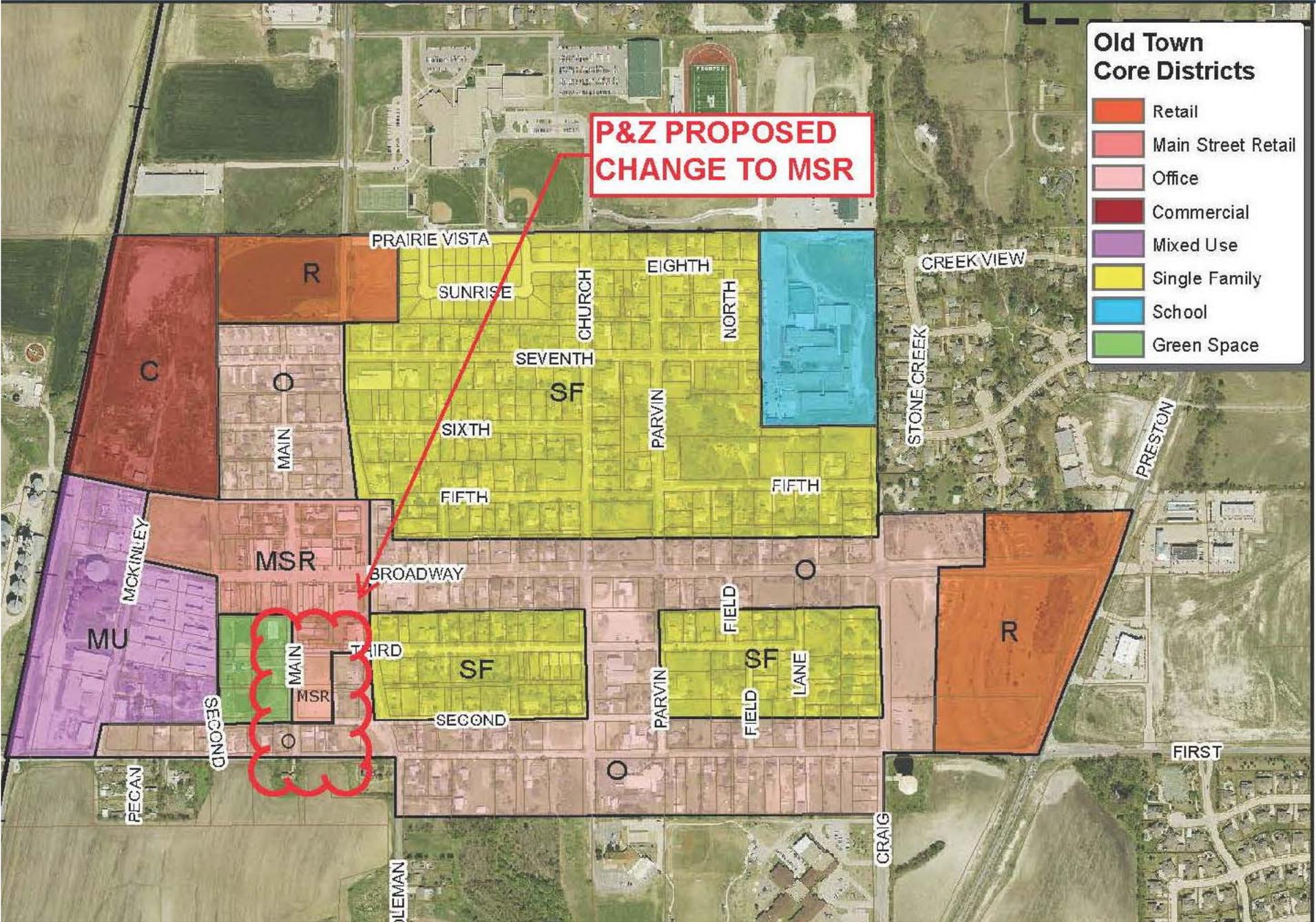
- Old Town Core Districts**
- Retail
 - Main Street Retail
 - Office
 - Commercial
 - Mixed Use
 - Single Family
 - School
 - Green Space

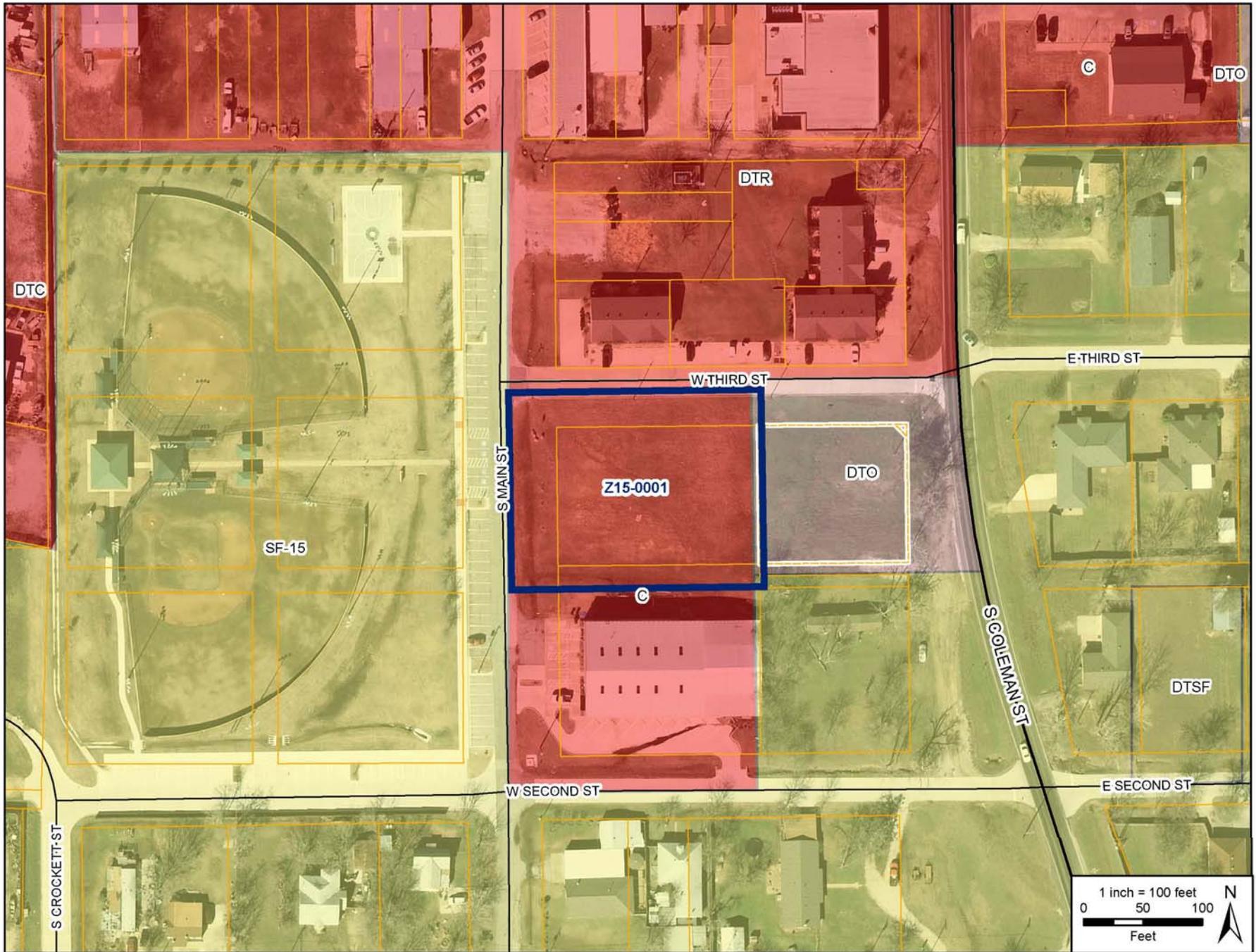


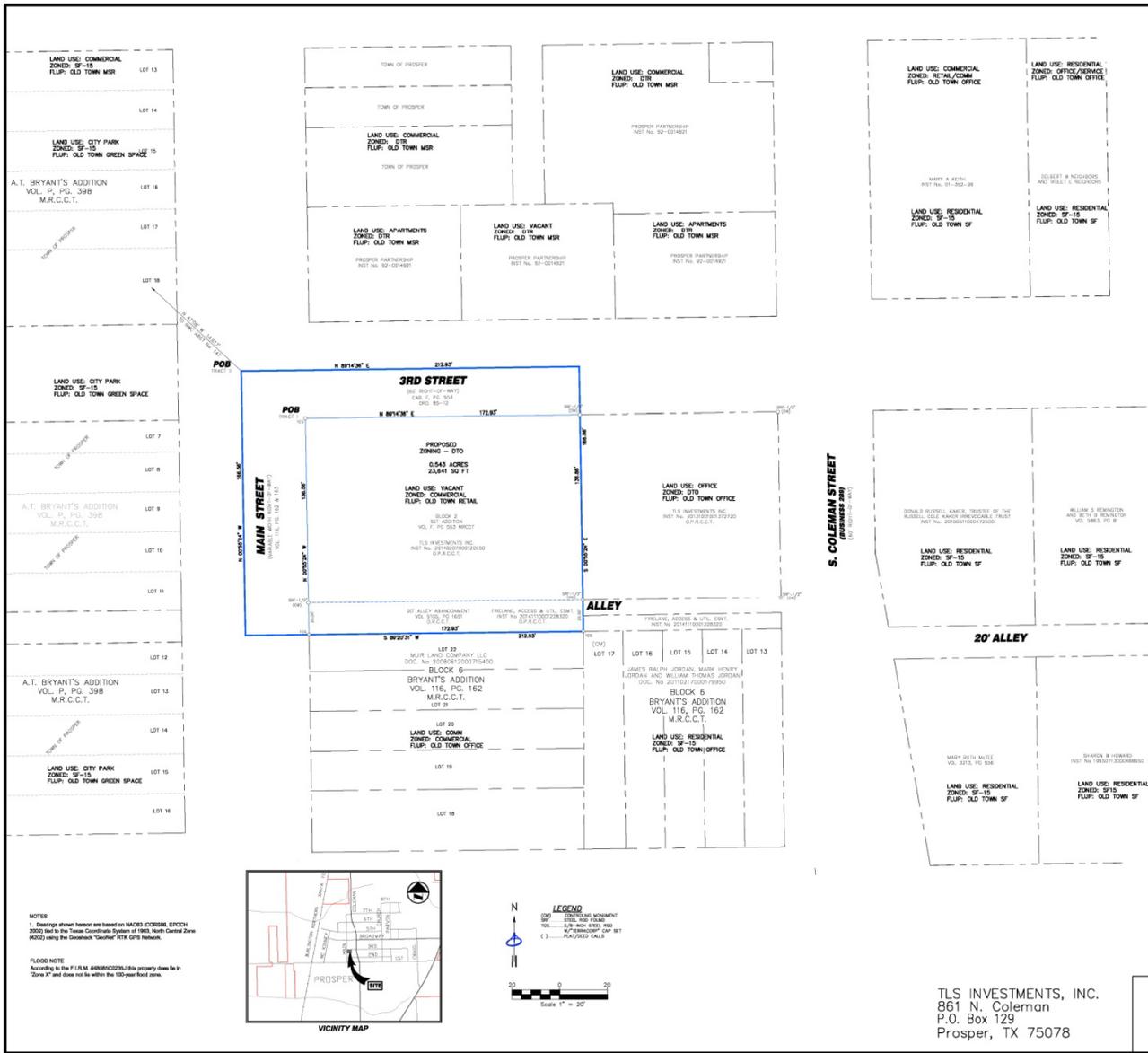
Old Town Core Districts

-  Retail
-  Main Street Retail
-  Office
-  Commercial
-  Mixed Use
-  Single Family
-  School
-  Green Space

**P&Z PROPOSED
CHANGE TO MSR**







LEGAL DESCRIPTION
TRACT I
 BEING all that certain tract of land situated in the Collin County School Land, Survey, Abstract No. 147, in the City of Prosper, Collin County, Texas, being the same tract conveyed in Warranty Deed dated February 7, 2014 by Siam Air, Inc. to TLS Investments, Inc. recorded in Instrument No. 2014020700120650 of the Official Public Records of Collin County, Texas and being portion of Block 2 of SJT Addition, an addition to the City of Prosper, Collin County, Texas according to the plat thereof recorded in Volume F, Page 553 of the Map Records of Collin County, Texas, and a 20 foot Alley abandonment and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch steel rod with "TerraCorp" cap set for the northwest corner of said Block 2, said point being in the south right-of-way line of 3rd Street (a 60 foot wide right-of-way) and in the east right-of-way line of Main Street (an 80 foot wide right-of-way);

THENCE North 89 degrees 14 minutes 36 seconds East, along the south right-of-way line of said 3rd Street, a distance of 172.93 feet to a 1/2 inch steel rod found for corner;

THENCE South 00 degrees 55 minutes 24 seconds East, over and across said Block 2, passing at 116.86 feet a 1/2 inch steel rod found in the south line of said Block 2 and in the north line of said 20 foot Alley Abandonment, a total distance of 136.86 feet to a 5/8 inch steel rod with "TerraCorp" cap set for corner in the south line of said 20 foot Alley Abandonment;

THENCE South 89 degrees 20 minutes 31 seconds West, along the south line of said 20 foot Alley Abandonment, a distance of 172.93 feet a 5/8 inch steel rod with "TerraCorp" cap set in the east right-of-way line of said Main Street;

THENCE North 00 degrees 55 minutes 24 seconds West, along the east right-of-way line of said Main Street, passing at 20.00 feet a 1/2 inch steel rod found for the southwest corner of said Block 2, a total distance of 136.56 feet to the POINT OF BEGINNING and containing 23,641 square feet and 0.543 acres of land, more or less.

TRACT II
 BEING all that certain tract of land situated in the Collin County School Land, Survey, Abstract No. 147, in the City of Prosper, Collin County, Texas, being the same tract conveyed in Warranty Deed dated February 7, 2014 by Siam Air, Inc. to TLS Investments, Inc. recorded in Instrument No. 2014020700120650 of the Official Public Records of Collin County, Texas and being portion of Block 2 of SJT Addition, an addition to the City of Prosper, Collin County, Texas according to the plat thereof recorded in Volume F, Page 553 of the Map Records of Collin County, Texas, and a 20 foot Alley abandonment and a portion of Main Street and 3rd Street, said tract being more particularly described by metes and bounds as follows:

BEGINNING at the intersection of the centerline of 3rd Street (a 60 foot wide right-of-way) and the centerline of Main Street (an 80 foot wide right-of-way);

THENCE North 89 degrees 14 minutes 36 seconds East, along the centerline of said 3rd Street, a distance of 212.93 feet to a 1/2 inch steel rod found for corner;

THENCE South 00 degrees 55 minutes 24 seconds East, over and across said Block 2, passing at 116.86 feet a 1/2 inch steel rod found in the south line of said Block 2 and in the north line of said 20 foot Alley Abandonment, passing at a distance of 136.86 feet to a 5/8 inch steel rod with "TerraCorp" cap set for corner in the south line of said 20 foot Alley Abandonment and continuing for a total distance of 166.86 feet to the Southeast corner of said alley abandonment;

THENCE South 89 degrees 20 minutes 31 seconds West, along the south line of said 20 foot Alley Abandonment, a distance of 172.93 feet a 5/8 inch steel rod with "TerraCorp" cap set in the east right-of-way line of said Main Street then continuing for a total distance of 212.93 feet to a point in the said centerline of Main Street;

THENCE North 00 degrees 55 minutes 24 seconds West, along the said centerline Main Street, for a distance of 166.56 feet to the POINT OF BEGINNING and containing 35,490 square feet and 0.815 acres of land, more or less.

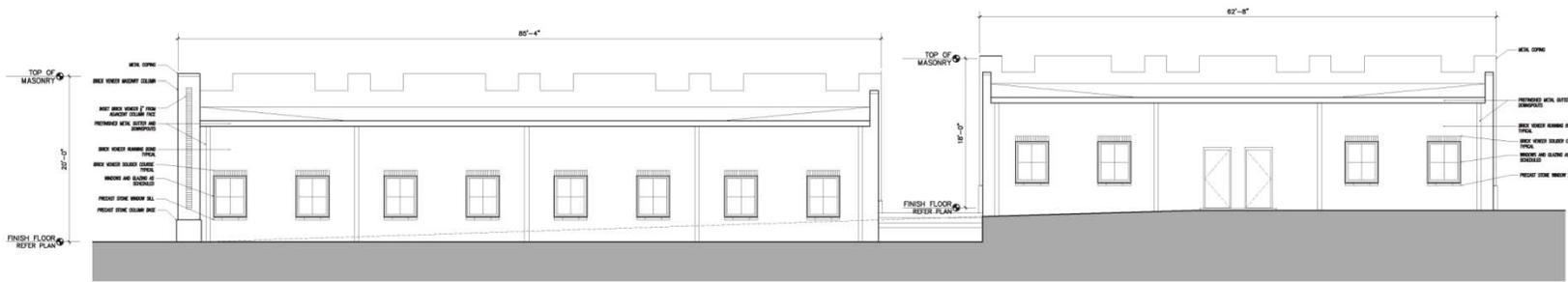
Z15-0001
 EXHIBIT A
 A PORTION OF
**BLOCK 2, SJT ADDITION
 & BRYANT'S 1ST ADDITION
 LOT 22A, BLOCK 6**
 AND BEING SITUATED IN THE
 COLLIN COUNTY SCHOOL LAND SURVEY,
 ABSTRACT No. 147
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

TerraCorp Associates LLC
 3960 Broadway Blvd. Ste 236
 Garland, TX 75043
 ph. 972-805-4529, fax 972-805-4527
 www.terracorpsurvey.com

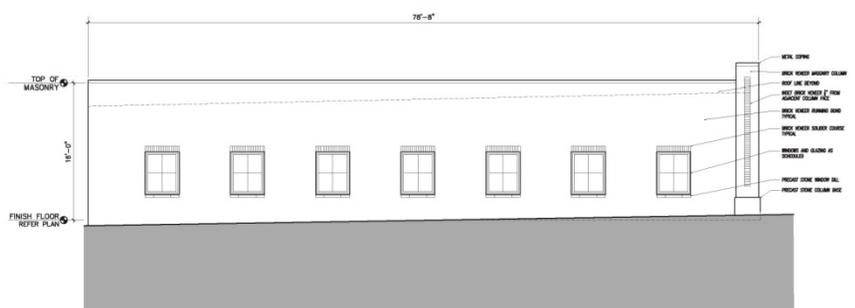
TLS INVESTMENTS, INC.
 861 N. Coleman
 P.O. Box 129
 Prosper, TX 75078



1 BUILDING ELEVATIONS
3/16 - 1/0' 3RD STREET ELEVATION LOOKING SOUTH



2 BUILDING ELEVATIONS
3/16 - 1/0' SOUTH ELEVATION LOOKING NORTH



3 BUILDING ELEVATIONS
3/16 - 1/0' EAST ELEVATION LOOKING WEST



4 BUILDING ELEVATIONS
3/16 - 1/0' MAIN STREET ELEVATION LOOKING EAST

MARK	DESCRIPTION	DATE	APPRO

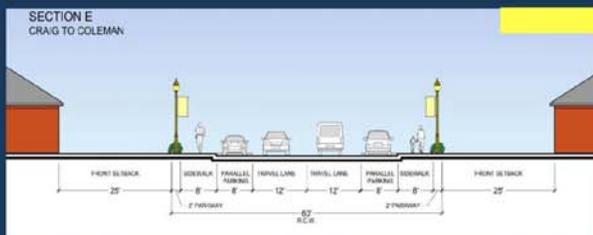
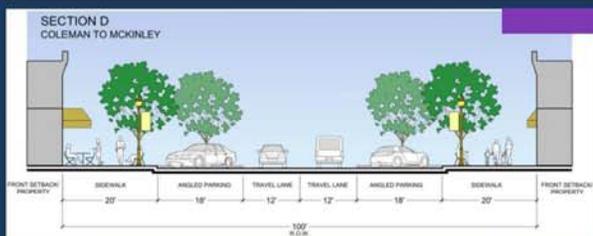
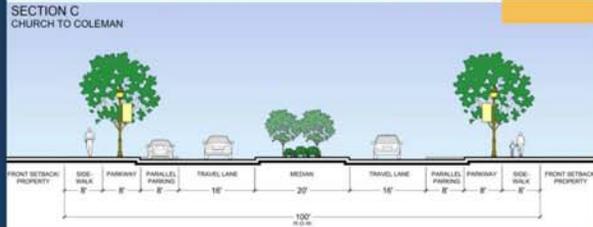
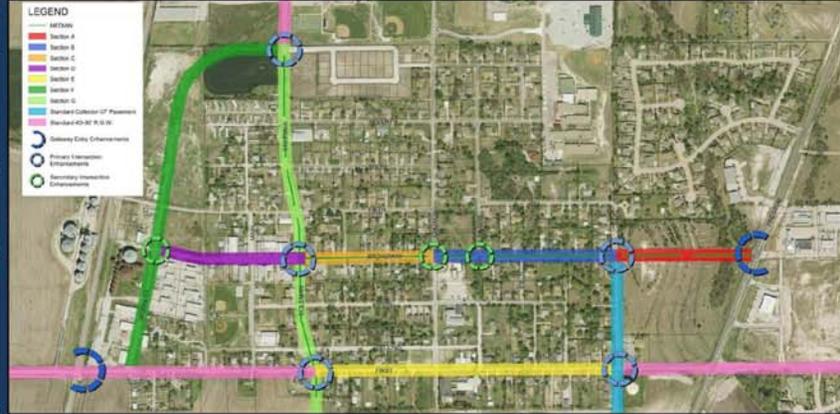
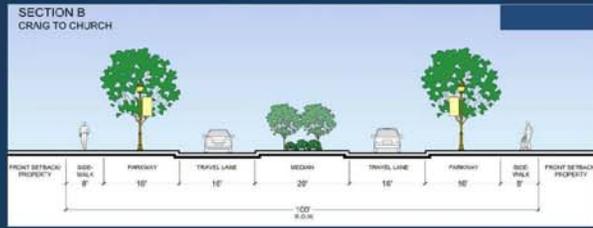
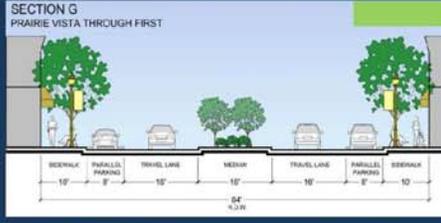
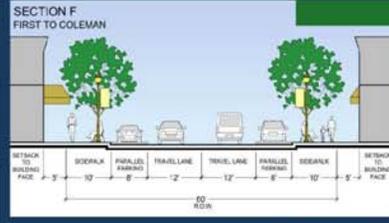
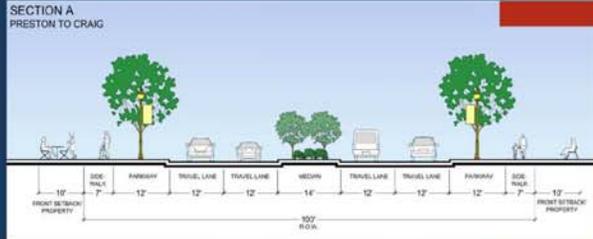
NOT FOR CONSTRUCTION

Main Street Office Development

THE REDMOND GROUP
REDMONT ARCHITECTURE
RedmondGroup.com
Proprietors, Texas

DRAWN BY	ADN
CHECKED BY	JWH
DATE	3/18/2015
SCALE	AS NOTED
PROJECT NUMBER	1501
SHEET	A401

Old Town Transportation Plan



Section A: Four lane divided roadway with a landscaped median and a landscaped parkway separating pedestrians from traffic. This section serves as a major entrance into Old Town from the east. No on-street parking.

Section B: Two lane divided boulevard with a large center median containing landscaping. Wide travel lanes allow for bicycle accommodation and a landscaped parkway separates pedestrians from traffic. No on-street parking.

Section C: Two lane divided boulevard with a large center median containing landscaping. On-street parallel parking is permitted and a landscaped parkway separates pedestrians from traffic.

Section D: Two lane undivided urban roadway. Wide 20' sidewalks accommodate patio seating, pedestrian traffic and street trees. On-street angled parking is permitted and bulb-outs are located at intersections to enhance pedestrian visibility at crosswalks.

Section E: Two lane undivided roadway with on-street parallel parking and an immediately adjacent 8' sidewalk. A large private setback of 25' is included.

Section F: Two lane undivided roadway with on-street parallel parking and a 15' sidewalk. 10' of the sidewalk will be located within the right-of-way and the additional 5 feet will be a 5' setback to building face.

Section G: Two lane divided roadway with a center median containing landscaping. On-street parallel parking and a 10' sidewalk are included.

Land Use

The predominant land use within Old Town will be **single-family residential**. All infill development within such areas should conform to the architectural guidelines established for the Old Town district. Such guidelines are created to protect the continuity of look and feel within Old Town.

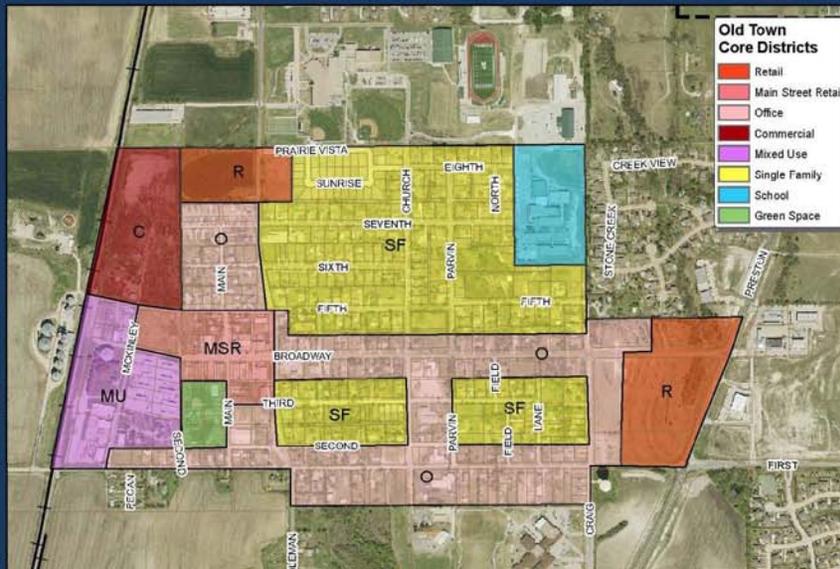
Along Broadway and First Street, single-family uses will gradually transition to boutique, cottage-style office and/or specialty retail uses. Broadway west of Coleman, will be the retail core of the downtown.

Shops, restaurants, and small office uses may be located within the **main street retail area**. This area is intended to be the heart and main activity center of the Old Town Area. As redevelopment occurs, building frontages should be brought to the property line to be consistent with ultimate streetscape improvements.

Adjacent to the retail core, a **mixed-use district** incorporating mixed use lofts/apartments will serve as a buffer between the Business Park and the core of Old Town. This area will also provide rooftops that service adjacent retail establishments.

The **Green space** area will serve as a community park and its location adjacent to the retail core of Old Town and the mixed-use district will make it an opportunistic and useable open space area.

Niche retail is recommended along Preston Road and at the northern end of Coleman. Retail development within these areas should fit within the architectural framework of the Old Town area. Setbacks should be reduced, when possible, along Coleman and Broadway to frame the roadways.



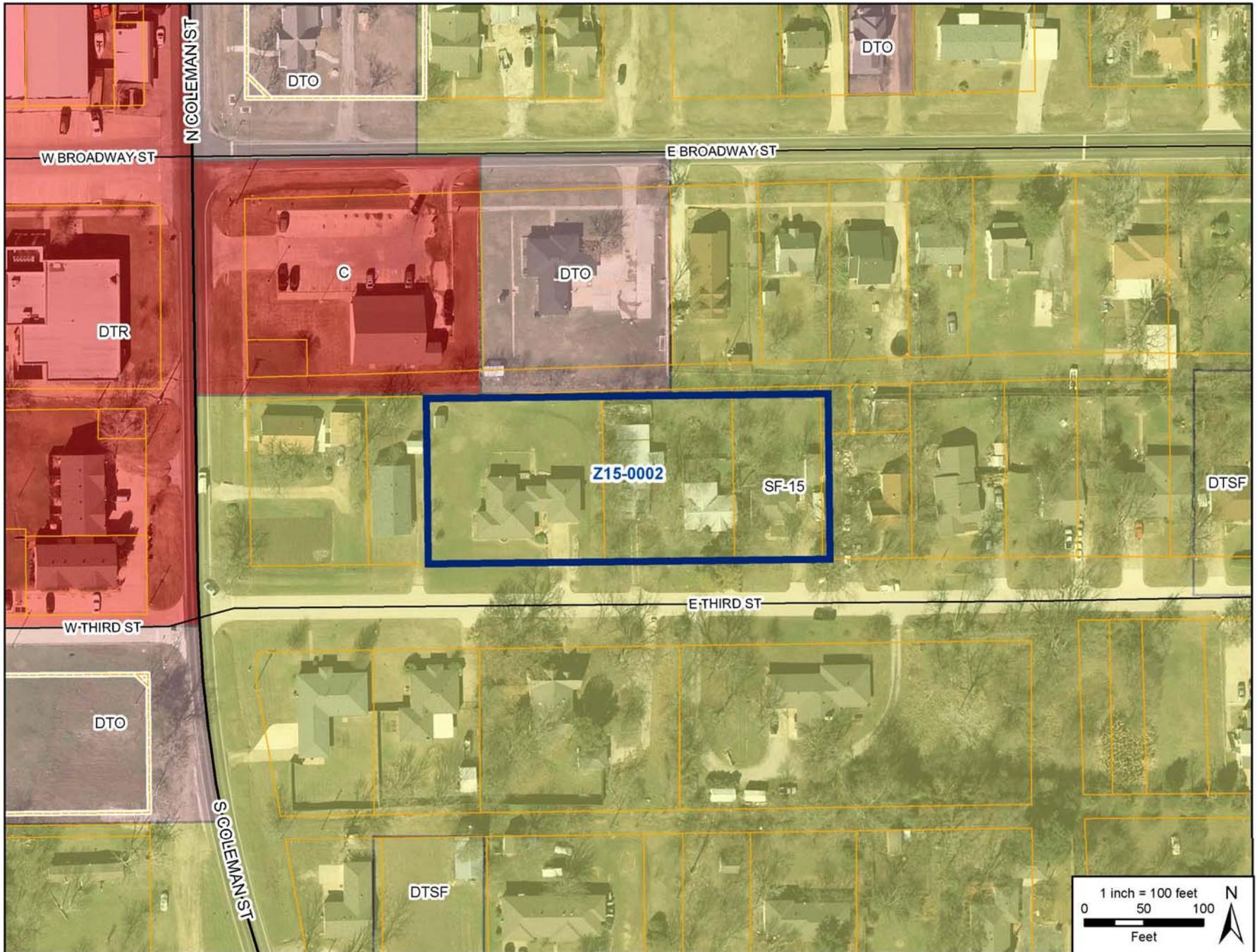


Town of Prosper

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Agenda Item 10.

Conduct a Public Hearing, and consider and act upon an ordinance rezoning 1.1± acres, located on the north side of Third Street, 200± feet east of Coleman Street from Single Family-15 (SF-15) to Downtown Single Family (DTSF). (Z15-0002). (JW)







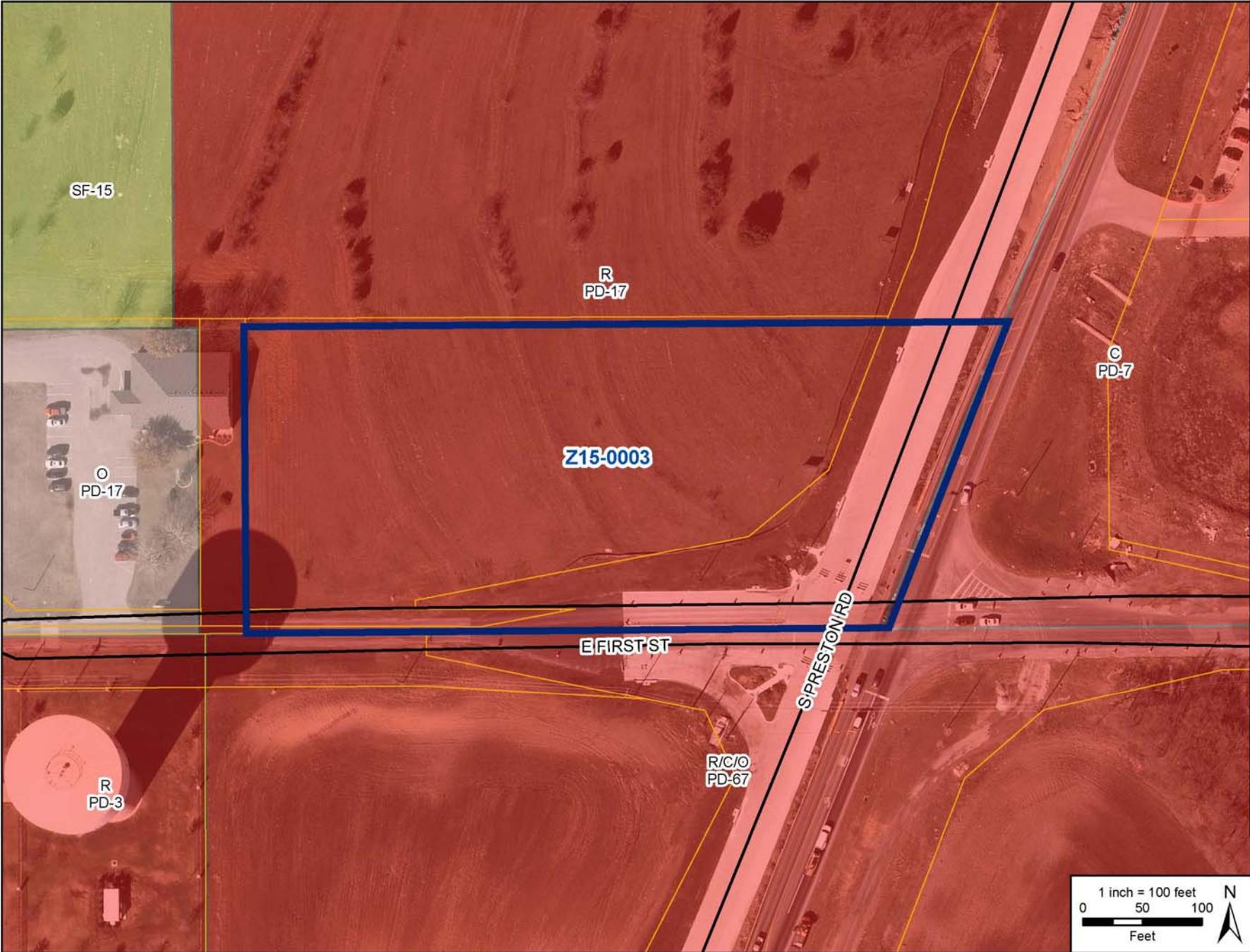
Town of Prosper

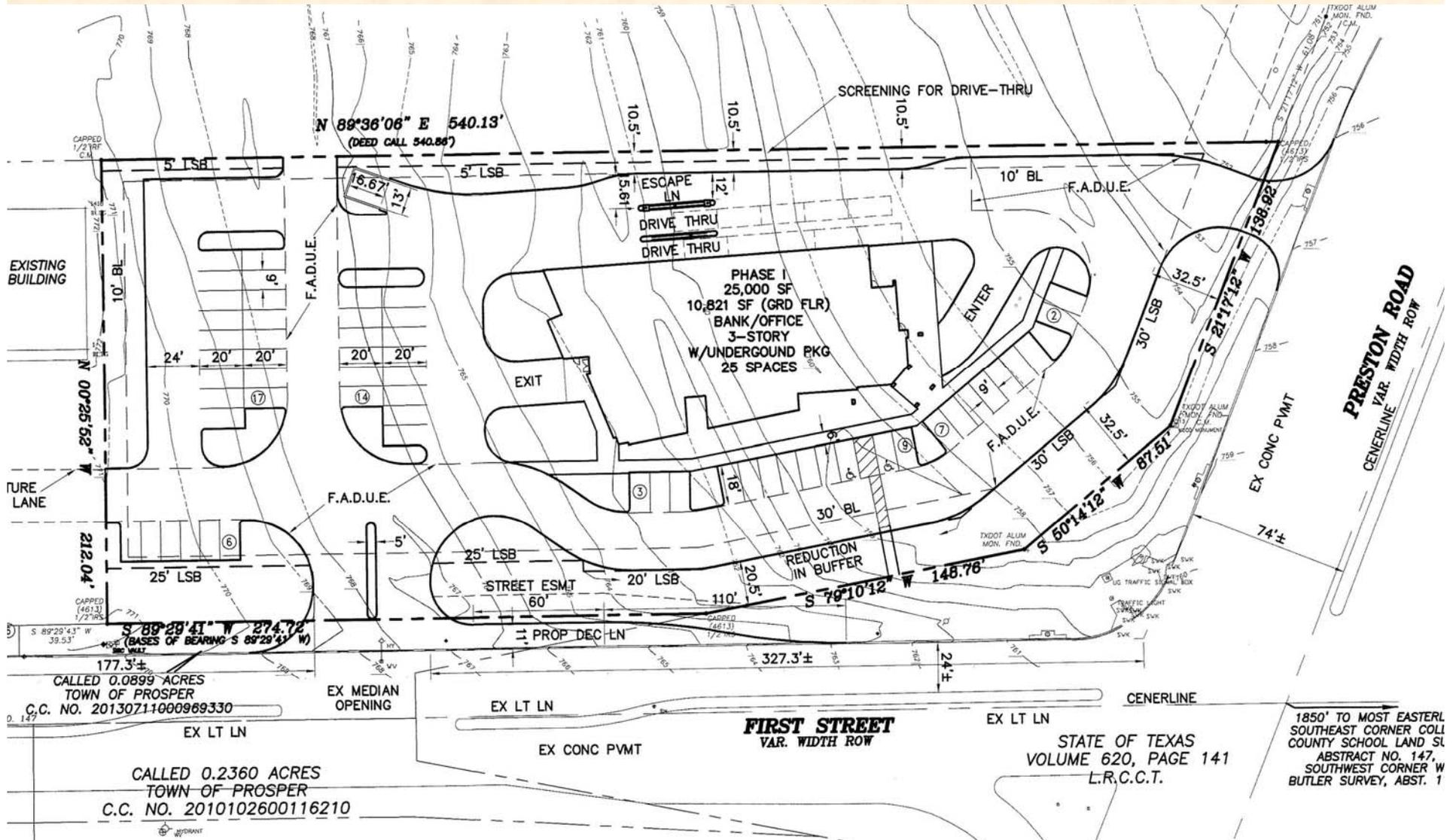
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Agenda Item 11.

Conduct a Public Hearing, and consider and act upon an ordinance amending 3.5± acres of Planned Development-17 (PD-17), located on the northwest corner of First Street and Preston Road. (Z15-0003). (JW)







EXISTING BUILDING

PURE LANE

CALLLED 0.0899 ACRES
TOWN OF PROSPER
C.C. NO. 20130711000969330

CALLLED 0.2360 ACRES
TOWN OF PROSPER
C.C. NO. 2010102600116210

N 89°36'06" E 540.13'
(DEED CALL 540.86)

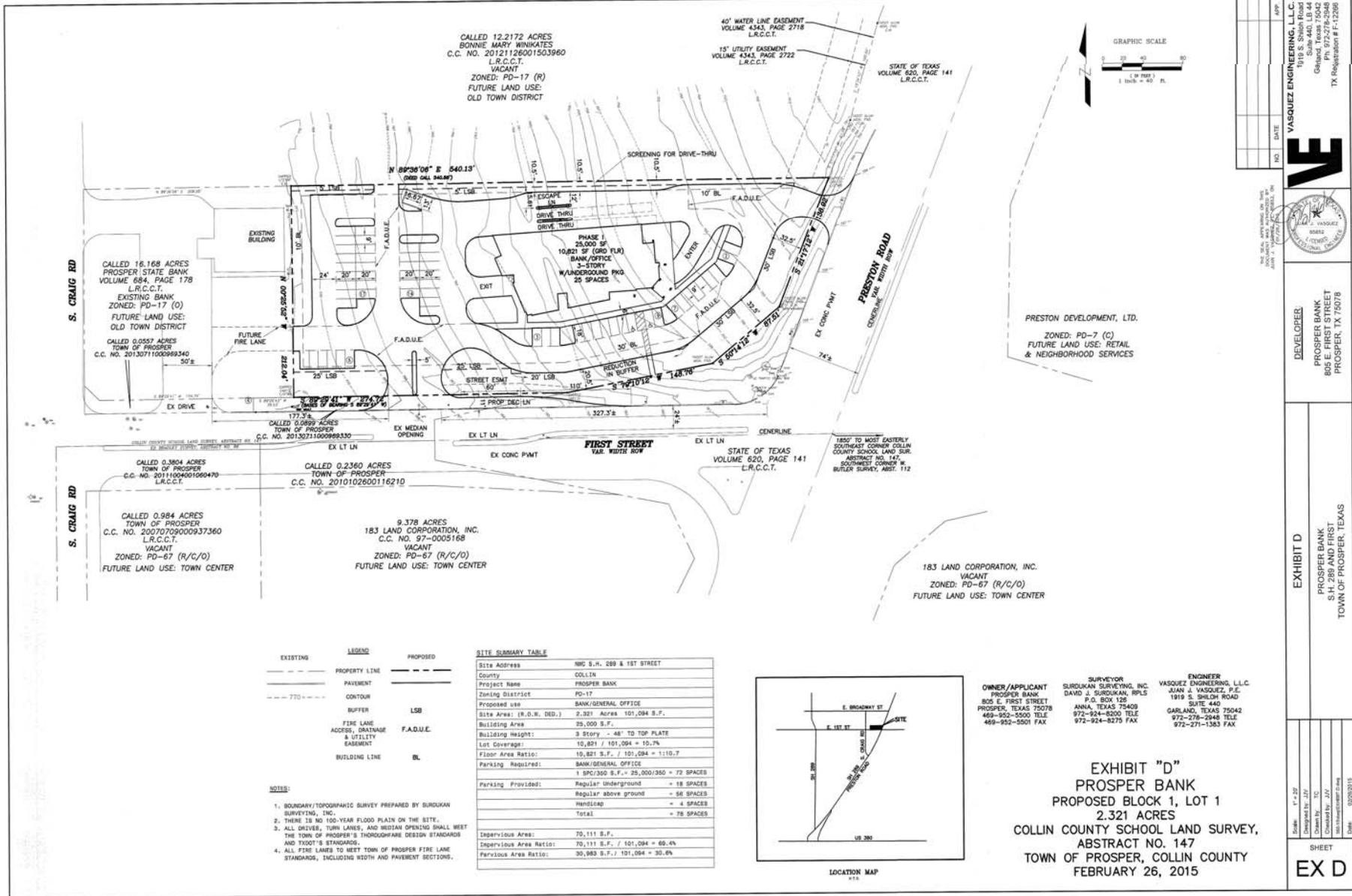
PHASE I
25,000 SF
10,821 SF (GRD FLR)
BANK/OFFICE
3-STORY
W/UNDERGROUND PKG
25 SPACES

FIRST STREET
VAR. WIDTH ROW

STATE OF TEXAS
VOLUME 620, PAGE 141
L.R.C.C.T.

1850' TO MOST EASTERL
SOUTHEAST CORNER COLL
COUNTY SCHOOL LAND SL
ABSTRACT NO. 147,
SOUTHWEST CORNER W
BUTLER SURVEY, ABST. 1

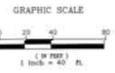
PRESTON ROAD
CENTERLINE
VAR. WIDTH ROW



CALLED 12.2172 ACRES
 BONNIE MARY WINKATES
 C.C. NO. 2012112600150390
 L.R.C.C.T.
 VACANT
 ZONED: PD-17 (R)
 FUTURE LAND USE:
 OLD TOWN DISTRICT

40' WATER LINE EASEMENT
 VOLUME 4343, PAGE 2718
 L.R.C.C.T.
 15' UTILITY EASEMENT
 VOLUME 4343, PAGE 2722
 L.R.C.C.T.

STATE OF TEXAS
 VOLUME 820, PAGE 141
 L.R.C.C.T.



CALLLED 16.168 ACRES
 PROSPER STATE BANK
 VOLUME 684, PAGE 178
 L.R.C.C.T.
 EXISTING BANK
 ZONED: PD-17 (O)
 FUTURE LAND USE:
 OLD TOWN DISTRICT

CALLLED 0.0557 ACRES
 TOWN OF PROSPER
 C.C. NO. 20130711000989340
 30'±

CALLLED 0.3604 ACRES
 TOWN OF PROSPER
 C.C. NO. 2011004001060470
 L.R.C.C.T.

CALLLED 0.984 ACRES
 TOWN OF PROSPER
 C.C. NO. 20070709000937360
 L.R.C.C.T.
 VACANT
 ZONED: PD-67 (R/C/O)
 FUTURE LAND USE: TOWN CENTER

CALLLED 0.0593 ACRES
 TOWN OF PROSPER
 C.C. NO. 20130711000989330

CALLLED 0.2360 ACRES
 TOWN OF PROSPER
 C.C. NO. 2010102600116210

8.378 ACRES
 183 LAND CORPORATION, INC.
 C.C. NO. 97-0005168
 VACANT
 ZONED: PD-67 (R/C/O)
 FUTURE LAND USE: TOWN CENTER

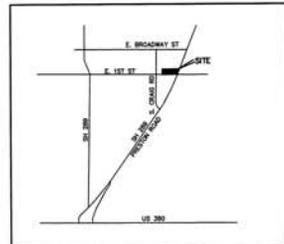
183 LAND CORPORATION, INC.
 VACANT
 ZONED: PD-67 (R/C/O)
 FUTURE LAND USE: TOWN CENTER

PRESTON DEVELOPMENT, LTD.
 ZONED: PD-7 (C)
 FUTURE LAND USE: RETAIL
 & NEIGHBORHOOD SERVICES

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CONTOUR	---
---	BUFFER	LSB
---	FIRE LANE ACCESS, DRAINAGE & UTILITY EASEMENT	F.A.D.U.E.
---	BUILDING LINE	BL

- NOTES:
- BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY SURUKAN SURVEYING, INC.
 - THERE IS NO 100-YEAR FLOOD PLAIN ON THE SITE.
 - ALL DRIVEWAYS, TURN LANES, AND MEDIAN OPENING SHALL MEET THE TOWN OF PROSPER'S THOROUGHFARE DESIGN STANDARDS AND TxDOT'S STANDARDS.
 - ALL FIRE LANES TO MEET TOWN OF PROSPER FIRE LANE STANDARDS, INCLUDING WIDTH AND PAVEMENT SECTIONS.

SITE SUMMARY TABLE	
Site Address	183 S.H. 288 & 1ST STREET
County	COLLIN
Project Name	PROSPER BANK
Zoning District	PD-17
Proposed use	BANK/GENERAL OFFICE
Site Area: (N.D.W. DED.)	2.321 Acres 101,094 S.F.
Building Area	25,000 S.F.
Building Height:	3 Story - 48' TO TOP PLATE
Lot Coverage	10,821 / 101,094 = 10.7%
Floor Area Ratio:	10,821 S.F. / 101,094 = 110.7
Parking Required:	BANK/GENERAL OFFICE
	1 SP/360 S.F. = 25,000/360 = 72 SPACES
Parking Provided:	Regular underground = 18 SPACES
	Regular above ground = 54 SPACES
	Handicap = 4 SPACES
	Total = 76 SPACES
Impervious Area:	70,111 S.F.
Impervious Area Ratio:	70,111 S.F. / 101,094 = 69.4%
PerVIOUS Area Ratio:	30,983 S.F. / 101,094 = 30.6%



OWNER/APPLICANT
 PROSPER BANK
 805 E. FIRST STREET
 PROSPER, TEXAS 75078
 469-952-5500 TELE
 469-952-5501 FAX

SURVEYOR
 SURUKAN SURVEYING, INC.
 DAVID J. SURUKAN, RPLS
 P.O. BOX 128
 ANNA, TEXAS 75409
 972-924-8200 TELE
 972-924-8270 FAX

ENGINEER
 VASQUEZ ENGINEERING, L.L.C.
 JUAN J. VASQUEZ, P.E.
 1818 S. SHILOH ROAD
 SUITE 440
 GARLAND, TEXAS 75042
 972-278-2948 TELE
 972-271-1383 FAX

EXHIBIT "D"
 PROSPER BANK
 PROPOSED BLOCK 1, LOT 1
 2.321 ACRES
 COLLIN COUNTY SCHOOL LAND SURVEY,
 ABSTRACT NO. 147
 TOWN OF PROSPER, COLLIN COUNTY
 FEBRUARY 26, 2015

NO.	DATE	APP.
VASQUEZ ENGINEERING, L.L.C. 1818 S. SHILOH ROAD SUITE 440 GARLAND, TEXAS 75042 Ph. 972-278-2948 TX Registration # F-12208		
DEVELOPER PROSPER BANK 805 E. FIRST STREET PROSPER, TX 75078		
EXHIBIT D PROSPER BANK S.H. 288 AND FIRST TOWN OF PROSPER, TEXAS		
Scale:	1" = 20'	SHEET EX D
Designed by:	JJV	
Checked by:	NC	
Drawn by:	JJV	
Date: 02/26/2015		

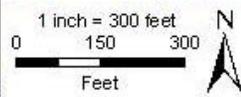
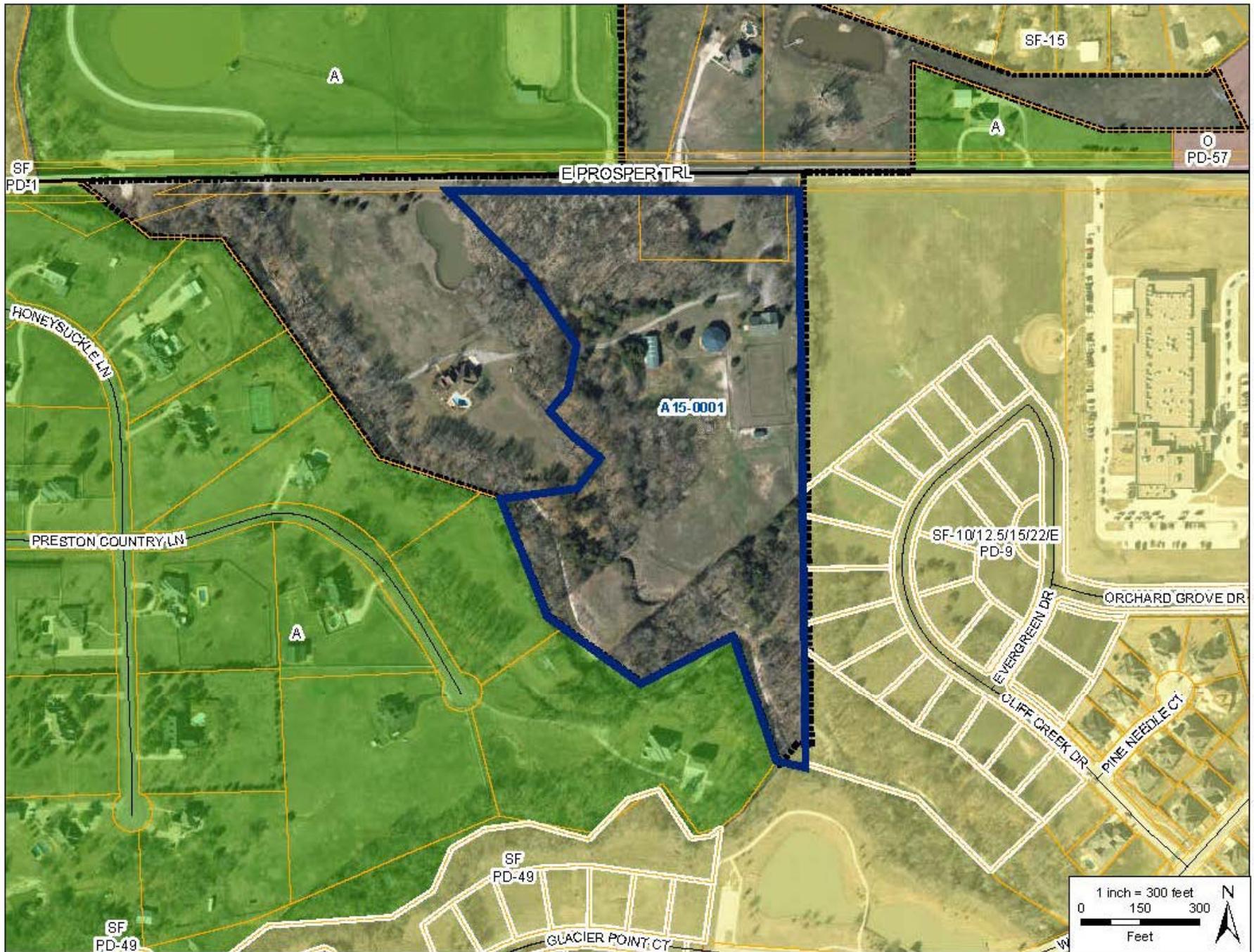


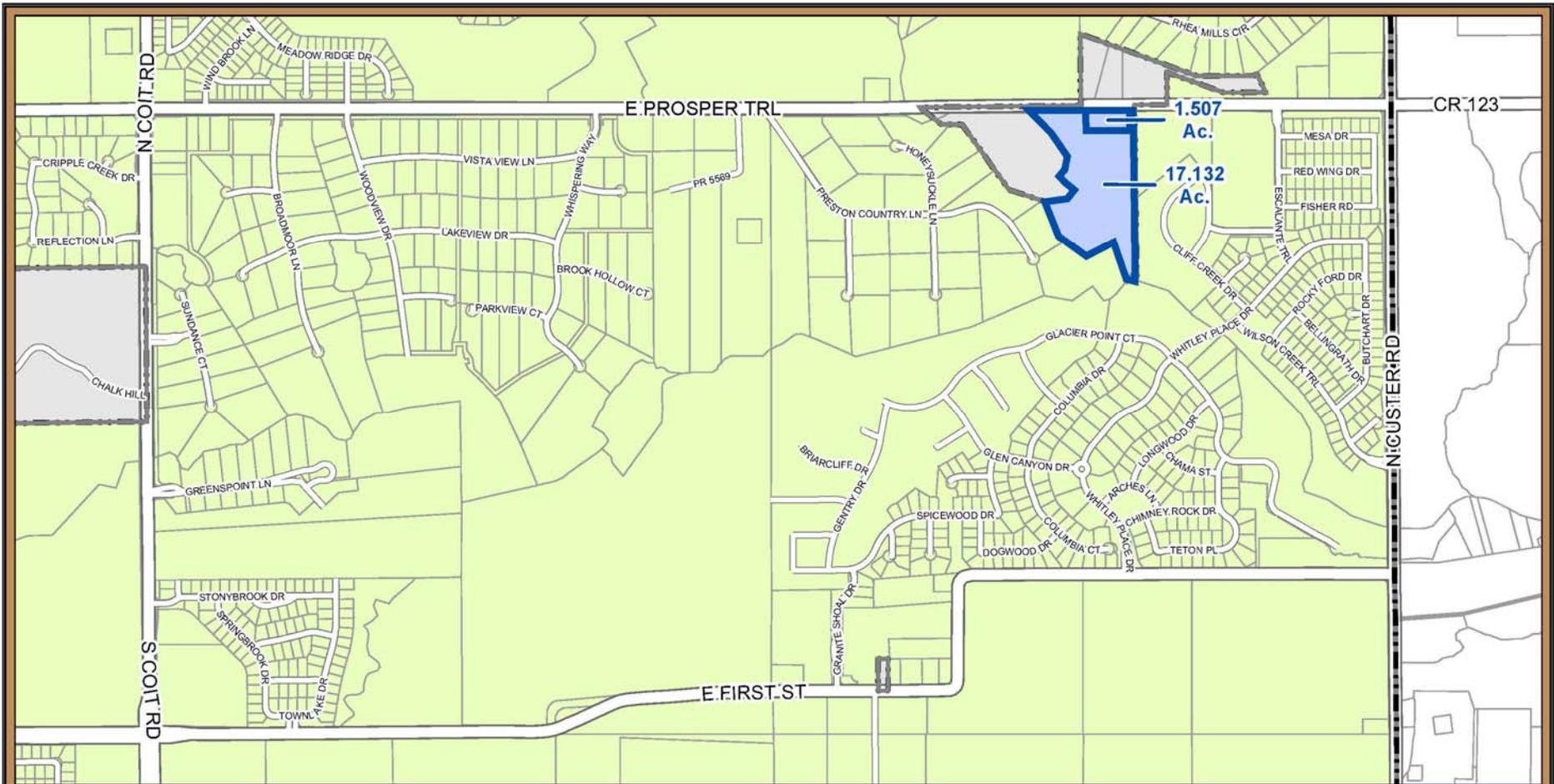
Town of Prosper

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Agenda Item 12.

Presentation of service plan and first public hearing to consider the annexation of a 18.6± acre tract of land, located on the south side of Prosper Trail, 2,500± feet west of Custer Road. (A15-0001). (AG)



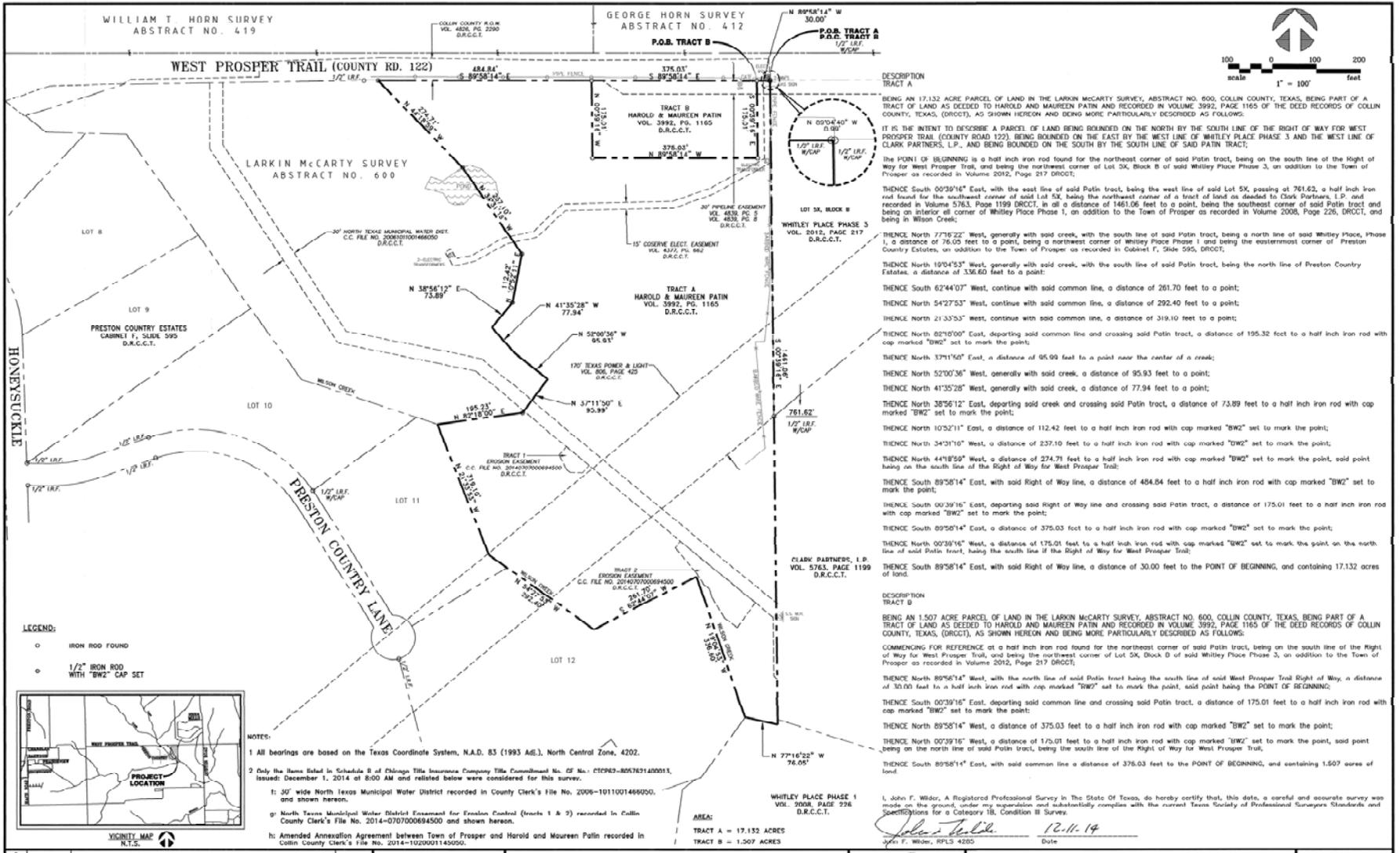


Legend	
	Town Limits
	Railroad
	Major Roads
	Minor Roads
	Parcels
	Town
	ETJ
	Proposed Annexations 2015 (18.6 Acres Total)

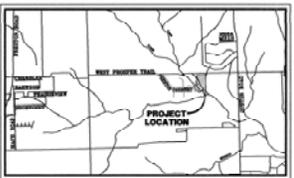
DISCLAIMER: The Town of Prosper has prepared this map or information for internal use only. It is made available under the Public Information Act. Any reliance on this map or information is AT YOUR OWN RISK. Prosper assumes no liability for any errors, omissions, or inaccuracies in the map or information regardless of the cause of such or for any decision made, action taken, or action not taken in reliance upon any maps or information provided herein. Prosper makes no warranty, representation, or guarantee of any kind regarding any maps or information provided herein or the sources of such maps or information and DISCLAIMS ALL REPRESENTATIONS AND WARRANTIES, EXPRESSED AND IMPLIED, including the implied warranties of merchantability and fitness for a particular purpose.

Proposed Annexations 2015
 Source: Town of Prosper, Planning
 Date: March 10, 2015





- LEGEND:**
- IRON ROD FOUND
 - 1/2" IRON ROD WITH "BW2" CAP SET



- NOTES:**
- 1 All bearings are based on the Texas Coordinate System, N.A.D. 83 (1993 ABL), North Central Zone, 4202.
 - 2 Only the items listed in Schedule B of Chicago Title Insurance Company Title Commitment No. 05 No.: 21092-808763140001, issued: December 1, 2014 at 8:00 AM and related below were considered for this survey.
 - 3 30' wide North Texas Municipal Water District recorded in County Clerk's File No. 2006-1011001466050, and shown hereon.
 - 4 North Texas Municipal Water District Easement for Preston Center (lots 1 & 9) recorded in Collin County Clerk's File No. 2014-0707000694500 and shown hereon.
 - 5 Amended Annexation Agreement between Town of Prosper and Harold and Maureen Patin recorded in Collin County Clerk's File No. 2014-102001143050.

ABAS:
 TRACT A = 17.132 ACRES
 TRACT B = 1.507 ACRES

I, John F. Wilder, a Registered Professional Surveyor in the State of Texas, do hereby certify that, this date, a careful and accurate survey was made on the ground, under my supervision and substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category III Survey.

John F. Wilder 12.11.14
 Date

6			
5			
4			
3			
2			
1			
NO.	DATE	REVISION	REVIEWED

DRAWN:	BW2
DESIGN:	BW2
REVIEWED:	BW2
SCALE:	1" = 100'
DATE:	DECEMBER 2014
DWG. NAME:	1656-SPLIT.DWG



BW2 ENGINEERS, INC.
 1919 S. Shiloh Road
 Suite 500, L.B. 27
 Garland, Texas 75042
 (972) 864 8200 (T) (972) 864 8220 (F)
 Firm Registration No. F-5290



TOWN OF PROSPER
TWO TRACTS - PATIN PROPERTY
LARKIN McCARTY SURVEY, ABST. NO. 600
COLLIN COUNTY, TEXAS

SHEET NO. 1
 OF 1 SHEETS
 JOB NO. 14-1656



Town of Prosper

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Agenda Item 13.

Consider and act upon a resolution accepting the Independent Audit Report and Comprehensive Annual Financial Report (CAFR) for the Fiscal Year Ended September 30, 2014, as presented by Cara Hilbrich of Davis Kinard & Co., PC, Certified Public Accountants. (KG)



Town of Prosper

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Agenda Item 14

Executive Session

Recess into Closed Session in compliance with Section 551.001 et. seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

- 14a. Section 551.087 - To discuss and consider economic development incentives.*

- 14b. Section 551.072 - To discuss and consider purchase, exchange, lease, or value of real property for municipal purposes and all matters incident and related thereto.*



Town of Prosper
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Agenda Item 11.

Executive Session

Recess into Closed Session in compliance with Section 551.001 et. seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

- 14c. Section 551.071 – Consultation with the Town Attorney to receive legal advice related to zoning districts, permitted uses, specific uses and state law requirements related to same, pursuant to Chapter 211 of the Texas Local Government Code, and all matters incident and related thereto.***



Town of Prosper
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Agenda Item 11.

Executive Session

Recess into Closed Session in compliance with Section 551.001 et. seq. Texas Government Code, as authorized by the Texas Open Meetings Act, to deliberate regarding:

14d. Section 551.071 – Consultation with Town Attorney regarding legal issues associated with proposed extraterritorial jurisdiction release, and all matters incident and related thereto.



Town of Prosper
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Agenda Item 15.

Reconvene in Regular Session and take any action necessary as a result of the Closed Session.



Town of Prosper
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Agenda Item 16.

Possibly direct Town staff to schedule topic(s) for discussion at a future meeting.



Town of Prosper
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Agenda Item 17.

Adjourn