

## TOWN OF PROSPER, TEXAS

## ORDINANCE NO. 16-35

**AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE; GRANTING A SPECIFIC USE PERMIT (SUP) FOR A PRIVATE STREET DEVELOPMENT, LOCATED ON A TRACT OF LAND CONSISTING OF 100.00 ACRES, MORE OR LESS, SITUATED IN THE LOUISA NETHERLY SURVEY, ABSTRACT NO. 962, AND THE J.M. DURRETT SURVEY, ABSTRACT NO. 350, IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.**

**WHEREAS**, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that Zoning Ordinance should be amended; and

**WHEREAS**, the Town of Prosper, Texas ("Prosper") has received a request from G&R STX Investments, LLC ("Applicant") for a Specific Use Permit (SUP) for a Private Street Development on a tract of land zoned Single Family-12.5 (SF-12.5), consisting of 100.00 acres of land, more or less, situated in the Louisa Netherly Survey, Abstract No. 962, and the J.M. Durrett Survey, Abstract No. 350, in the Town of Prosper, Denton County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes; and

**WHEREAS**, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

**WHEREAS**, all legal notices required to grant a Specific Use Permit (SUP) have been given in the manner and form set forth by law, Public Hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

**WHEREAS**, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:**

**SECTION 1**

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

**SECTION 2**

Specific Use Permit Granted. The Town's Zoning Ordinance is amended as follows: Applicant is granted a Specific Use Permit (SUP) for a Private Street Development, on a tract of land zoned Single Family-12.5 (SF-12.5), consisting of 100.00 acres of land, more or less, situated in the Louisa Netherly Survey, Abstract No. 962, and the J.M. Durrett Survey, Abstract

No. 350, in the Town of Prosper, Denton County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes as if set forth verbatim.

The property shall continue to be used in a manner consistent with the conditions expressly stated in the conceptual layout attached hereto as Exhibit "B," and the entry detail plan attached hereto as Exhibit "C," which is incorporated herein for all purposes as if set forth verbatim.

All development plans, standards, and uses for the Property shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two (2) original, official, and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One (1) copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy, and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

### **SECTION 3**

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

### **SECTION 4**

Unlawful Use of Premises. It shall be unlawful for any person, firm, or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

### **SECTION 5**

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state, and federal law.

**SECTION 6**

Severability. Should any section, subsection, sentence, clause, or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause, or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, and phrases be declared unconstitutional or invalid.

**SECTION 7**

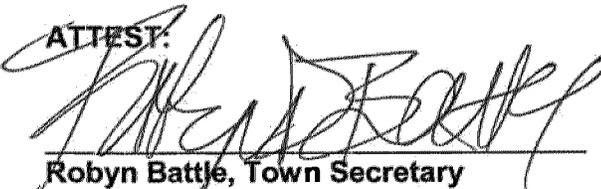
Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

**SECTION 8**

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

**DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 24<sup>TH</sup> DAY OF MAY, 2016.**

  
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Ray Smith, Mayor

**ATTEST:**  
  
\_\_\_\_\_  
Robyn Battle, Town Secretary

**APPROVED AS TO FORM AND LEGALITY:**

  
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Terrence S. Welch, Town Attorney





APPLICANT



**Kikman**  
ENGINEERING

4801 MERLOT AVE  
SUITE 240  
DALLAS, TX 75241  
972-496-1000

DEVELOPER/OWNER

GREYSTONE INVESTMENTS, LLC  
1500 W. WOODLAND BLVD.  
LAREDO, TX 78040  
957-747-9020

SURVEYOR

PERNER SURVEYING CO.  
1000 W. WOODLAND BLVD.  
LAREDO, TX 78040  
972-724-8774

JOB NUMBER: NCT15002, PROSEPER 100

DATE: 03/30/14

PROJECT: PARK PLACE

SCALE: AS SHOWN

PROJECT: PARK PLACE

TRACT: TRM No. 35814

TOWN OF PROSPER  
DEWITT COUNTY, TEXAS

900 ACRES BEING TRACT 118 IN  
THE LOUISIANA MERELY SURVEY,  
AS SHOWN ON THE PLAT  
TO THE TOWN OF PROSPER  
SURVEY, ABSTRACT NO. 350

EXHIBIT C  
GATE  
S16-0005

SHEET 1 OF 1

