

TOWN OF PROSPER, TEXAS

ORDINANCE NO. 14-38

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE NO. 05-20 AND ORDINANCE NO. 08-030; REZONING A TRACT OF LAND CONSISTING OF 46.56 ACRES, MORE OR LESS, SITUATED IN THE J. SALING SURVEY, ABSTRACT NO. 1675, IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS, HERETOFORE ZONED PLANNED DEVELOPMENT-40 (PD-40) IS HEREBY REZONED AND PLACED IN THE ZONING CLASSIFICATION OF PLANNED DEVELOPMENT-40 (PD-40); DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

**WHEREAS**, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that Zoning Ordinance No. 05-20 and Ordinance No. 08-030 should be amended; and

**WHEREAS**, the Town of Prosper, Texas ("Prosper") has received a request from Northeast 423/380, Ltd. ("Applicant") to rezone 46.56 acres of land, more or less, situated in the J. Saling Survey, Abstract No. 1628, in the Town of Prosper, Denton County, Texas; and

**WHEREAS**, the Town Council has investigated into and determined that the facts contained in the request are true and correct; and

**WHEREAS**, all legal notices required for rezoning have been given in the manner and form set forth by law, and public hearings have been held on the proposed rezoning and all other requirements of notice and completion of such zoning procedures have been fulfilled; and

**WHEREAS**, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:**

**SECTION 1**

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

**SECTION 2**

Amendments to Zoning Ordinance No. 05-20 and Ordinance No. 08-030. Zoning Ordinance No. 05-20 and Ordinance No. 08-030 is amended as follows: The zoning designation of the below-described property containing 46.56 acres of land, more or less, situated in the J. Saling Survey, Abstract No. 1628, in the Town of Prosper, Denton County, Texas, (the "Property") and all streets, roads and alleyways contiguous and/or adjacent thereto is hereby rezoned as Planned Development-40 (PD-40). The property as a whole and the boundaries for each zoning classification are more particularly described in Exhibit "A" attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Planned Development District shall conform to, and comply with 1) the statement of intent and purpose, attached hereto as Exhibit "B"; 2) the planned development standards, attached hereto as Exhibit "C"; 3) the concept plan, attached hereto as Exhibit "D"; 4) the development schedule, attached hereto as Exhibit "E"; and 5) the conceptual elevations, attached hereto as Exhibit "F", which are incorporated herein for all purposes as if set forth verbatim. Except as amended by this Ordinance, the development of the Property within this Planned Development District must comply with the requirements of all ordinances, rules, and regulations of Prosper, as they currently exist or may be amended.

Three original, official and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. Two (2) copies shall be filed with the Town Secretary and retained as original records and shall not be changed in any matter.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

Written notice of any amendment to this District shall be sent to all owners of properties within the District as well as all properties within two hundred feet (200') of the District to be amended.

### SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

### SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

### SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

**SECTION 6**

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

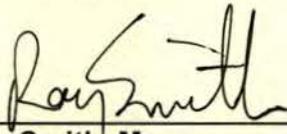
**SECTION 7**

Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

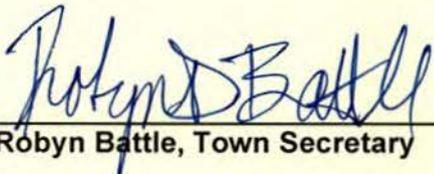
**SECTION 8**

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

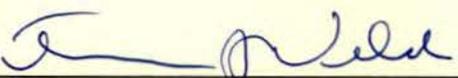
**DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 24<sup>TH</sup> DAY OF JUNE, 2014.**

  
\_\_\_\_\_  
Ray Smith, Mayor

ATTEST:

  
\_\_\_\_\_  
Robyn Battle, Town Secretary

APPROVED AS TO FORM AND LEGALITY:

  
\_\_\_\_\_  
Terrence S. Welch, Town Attorney



**EXHIBIT B – Statement of Intent and Purpose**

Windsong Ranch Marketplace  
46.48 Acre, Unplatted tract of land  
NEC US Highway 380 & Gee Road  
Prosper, Texas

The purpose of the requested Amendment to Planned Develop #40 is to facilitate development of the subject parcel in a manner consistent with current retail and commercial development trends.

## **EXHIBIT C**

Except as otherwise set forth in these development standards, the property, as described in Exhibit A, shall develop under Ordinance 08-030, as adopted by the Town Council on March 25, 2008.

### 3. Mixed-Use Tract

d. Mixed-Use Development Standards (Traditional Retail). Retail development within the Mixed Use Tract Is intended predominately for heavy retail, service, light intensity wholesale and commercial uses, but excluding warehousing uses. The nature of uses in this District has operating characteristics and traffic service requirements generally compatible with typical office, retail, and some residential environments. Uses in this District may require open, but screened, storage areas for materials. In the event all or a portion of the Mixed Use Tract Is developed solely for retail uses (i.e. not a mixed use development) then the development for retail uses shall conform to the following standards:

#### a. Size of Yards

1. Minimum Front Yard: thirty (30) feet

2. Minimum Side Yard:

- a. Fifteen (15) feet adjacent to a nonresidential district. The minimum side yard setback may be eliminated for attached retail buildings on separate lots as shown on an approved site plan.
- b. Thirty (30) feet for a one (1) story building adjacent to a residential district and sixty (60) feet for a two (2) story building adjacent to a residential district.
- c. Thirty (30) feet adjacent to a street.

3. Minimum Rear Yard:

- a. Fifteen (15) feet adjacent to a nonresidential district. The minimum side yard setback may be eliminated for attached retail buildings on separate lots as shown on an approved site plan.
- b. Thirty (30) feet for a one (1) story building adjacent to a residential district and sixty (60) feet for a two (2) story building adjacent to a residential district.

#### b. Size of Lots:

1. Minimum Size of Lot Area: Ten thousand (10,000) square feet.
2. Minimum Lot Width One hundred (100) feet.
3. Minimum Lot Depth One hundred (100) feet.

c. Maximum Height: Two (2) stories, no greater than forty (40) feet in height, excluding unoccupied architectural elements, such as towers, parapets, and cornices, that may be allowed up to forty-five (45) feet in height for the anchor only.

- d. Lot Coverage: Fifty (50) percent.
- e. Floor Area Ratio: Maximum 0.5:1.
- f. Permitted Uses: Uses followed by an **S** are permitted by Specific Use Permit. Uses followed by a **C** are permitted subject to conditional development standards. Conditional development standards are set forth in Chapter 3, Section 1 of the Town's Zoning Ordinance, unless specifically outlined in Section 3.g. of this document.

- Accessory Building
- Administrative, Medical, or Professional Office
- Alcoholic Beverage Sales **C**
- Antenna and/or Antenna Support Structure, Non-Commercial **C**
- Antique Shop and Used Furniture
- Artisan's Workshop
- Assisted Care of Living Facility **S**
- Auto Parts Sales, Inside
- Automobile Paid Parking Lot/Garage
- Automobile Parking Lot/Garage
- Automobile Repair, Minor
- Bank, Savings and Loan, or Credit Union
- Beauty Salon / Barber Shop
- Bottling Works
- Building Material and Hardware Sales, Major **S**
- Building Material and Hardware Sales, Minor
- Bus Terminal **C**
- Business Services
- Cabinet / Upholstery Shop
- Car Wash
- Caretaker's / Guard's Residence
- College, University, Trade, or Private Boarding School
- Commercial Amusement, Indoor
- Community Center
- Convenience Store with Gas Pumps **C**
- Daycare Center, Adult **S**
- Daycare Center, Child **C**
- Day Care Center, Incidental **S**
- Dry Cleaning, Minor
- Equipment and Machinery Sales and Rental, Minor
- Fairgrounds / Exhibition Area **S**
- Fraternal Organization, Lodge, Civic Club, Fraternity, or Sorority
- Furniture Restoration
- Furniture, Home Furnishings and Appliance Store
- Gas Pumps **C**
- Golf Course and/or Country Club
- Governmental Office
- Gunsmith
- Gymnastics / Dance Studio

- Health / Fitness Center
- Homebuilder Marketing Center
- Hospital
- Hotel **C**
- House of Worship
- Indoor Gun Range **S**
- Insurance Office
- Locksmith / Security System Company
- Machine Shop
- Massage Therapy, Licensed
- Mortuary / Funeral Parlor
- Municipal Uses Operated by the Town of Prosper
- Museum / Art Gallery
- Nursery, Minor
- Office / Showroom
- Outdoor Sales **C**
- Park or Playground
- Pet Day Care **C**
- Print Shop, Minor
- Private Recreation Center
- Private Utility, Other Than Listed
- Research and Development Center **C**
- Residence Hotel **C**
- Restaurant or Cafeteria **C**
- Restaurant, Drive In
- Retail Stores and Shops
- Retail / Services Incidental Use
- School District Bus Yard **C**
- School, Private or Parochial
- School, Public
- Stealth Antenna, Commercial **C**
- Taxidermist
- Telephone Exchange
- Temporary Building **C**
- Theater, Neighborhood
- Theater, Regional
- Veterinarian Clinic and / or Kennel, Indoor
- Veterinarian Clinic and / or Kennel, Outdoor **S**
- Winery

g. Conditional Development Standards

1. Convenience Store with Gas Pumps

A Convenience Store with Gas Pumps is subject to the following regulations:

- a. Convenience Store with Gas Pumps is permitted only within two-hundred and fifty (250) feet of the right-of-way line of a major thoroughfare;
- b. Convenience Store with Gas Pumps is permitted at a maximum of one (1) location on the property;
- c. Canopies shall have pitched roofs;
- d. Canopy support columns shall be entirely masonry encased; and
- e. The canopy band face shall be a color consistent with the main structure or an accent color and may not be backlit.
- f. Gas pumps shall be removed if permanently closed for more than six (6) months, including reclassification of fuel tanks per TCEQ Regulations.

## 2. Outdoor Sales

Outdoor Sales is subject to the following regulations:

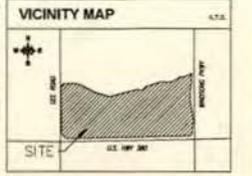
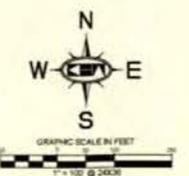
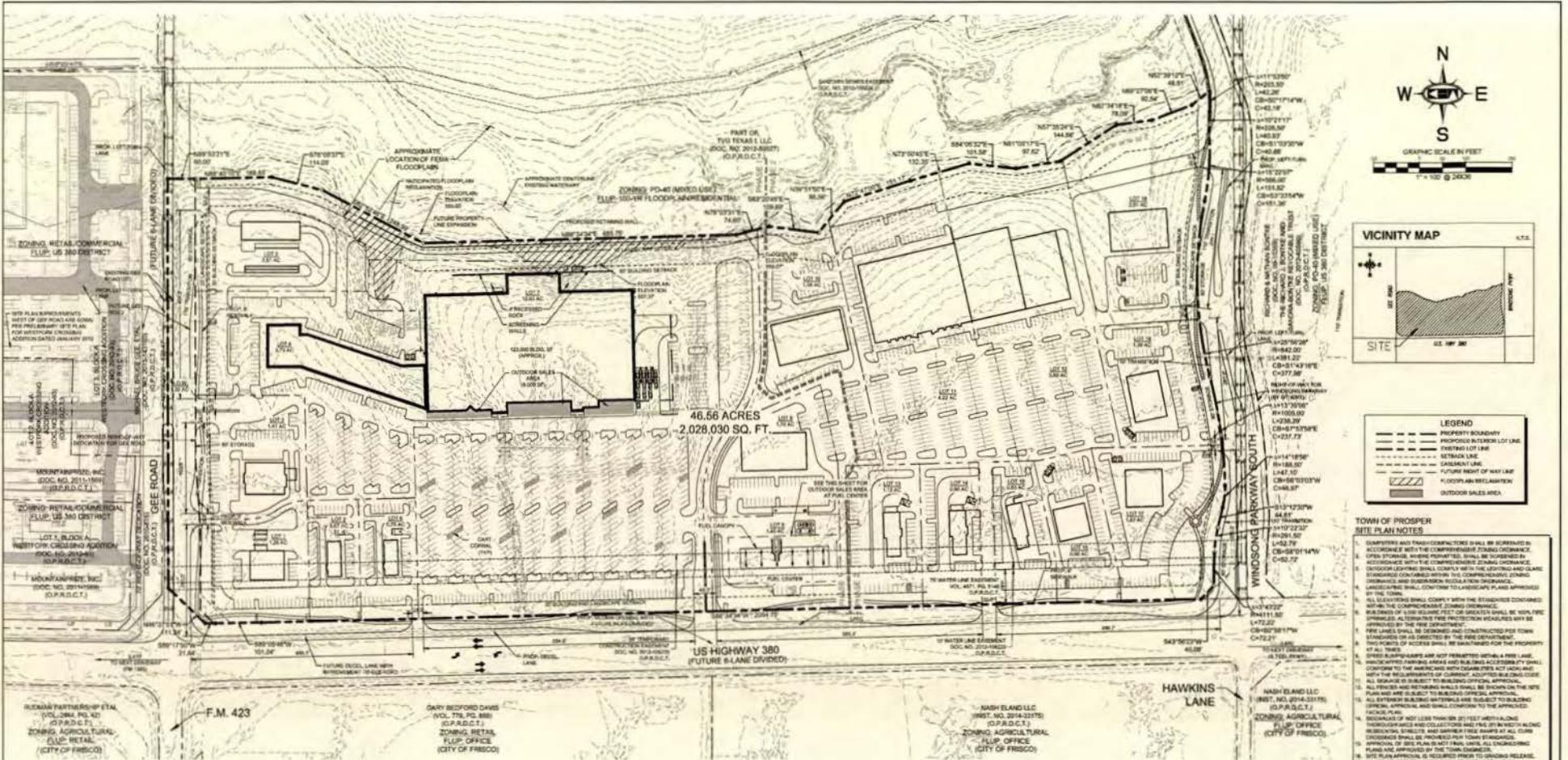
- a. Screening of Outdoor Sales areas is not required, if the outdoor sales area complies with the constraints in 3.g.2.b. below.
- b. Merchandise displayed for Outdoor Sales may be located in accordance with the areas identified in Zoning Exhibit 'D', with the following stipulations:
  - i. Merchandise cannot block sidewalks, doorways, accessible route(s), driveways, and/or firelanes;
  - ii. Merchandise may be displayed within twenty-five (25) feet of the exterior wall of the main building of the primary use with a maximum total area of eight-thousand (8,000) square feet.
  - iii. Merchandise may be displayed within ten (10) feet of the main building and within the limits of the canopy footprint of the Convenience Store with Gas Pumps up to a maximum total area of seventeen-hundred and fifty (1,750) square feet.
  - iv. Permitted merchandise shall be seasonal merchandise and may include, but is not limited to; Christmas trees, flowers, landscaping materials, and outdoor furniture.

### h. Exterior Appearance

- 1. Permitted primary exterior materials are clay fired brick, natural, precast, and manufactured stone, granite, marble, architectural

concrete block, split face concrete masonry unit, architecturally finished concrete tilt wall, "Quik Brik" (a four (4) inch manufactured concrete masonry unit) and cultured stone (manufactured) individually stacked, as provided in the conceptual building elevations Exhibit 'F'. The conceptual building elevations in Exhibit 'F' are representative of the architectural style, color, and material selections.

2. Secondary materials used on the façade of a building are those that comprise a total of ten (10) percent or less of an elevation area. Permitted secondary materials are all the primary materials, aluminum or other metal, cedar or similarly decorative wood, stucco, and high impact exterior insulation and finish systems (EIFS), as provided in the conceptual building elevations Exhibit 'F'.
  - i. Lot Frontage: Lots shall have frontage on a common access drive or a public street. The common access drive shall be a dedicated public access, utility, and firelane easement.
  - j. Lighting: On-site parking lot lighting shall include dimmers.
  - k. Screening: Developer shall maintain three (3) foot berms for purposes of screening along Gee Road and Windsong Ranch Parkway, and shall use best efforts to install berms along US Highway 380.



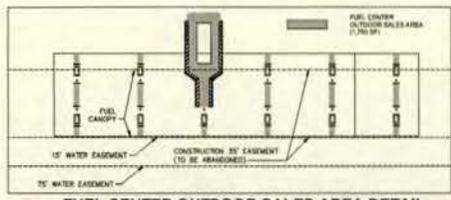
**LEGEND**

- PROPERTY BOUNDARY
- PROPOSED INTERIOR LOT LINE
- EXISTING LOT LINE
- SETBACK LINE
- EASEMENT LINE
- FUTURE RIGHT OF WAY LINE
- /// FLOODPLAIN RECLAMATION
- /// OUTDOOR SALES AREA

- TOWN OF PROSPER  
SITE PLAN NOTES**
1. SHAPETREE AND PROSPECTOR CITIES SHALL BE CONSIDERED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE, OPEN STORAGE, WHERE APPLICABLE, SHALL BE GOVERNED BY ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.
  2. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE REGULATIONS CONTAINED WITHIN THE COMPREHENSIVE ZONING ORDINANCE AND SUBMITTANCE SHALL CONFORM TO ILLUMINANCE PLANS AND APPROVED BY THE TOWN.
  3. ALL UTILITIES SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE COMPREHENSIVE ZONING ORDINANCE.
  4. WIDTHS OF SIDE DRIVEWAYS OR GRATEWAYS SHALL BE 10 FEET MINIMUM AS TO THE FREE DRIVEWAY SIDE.
  5. DRIVEWAYS SHALL BE SEPARATED AND CONSTRUCTED FROM TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
  6. TWO FEET OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
  7. STREET SIGNAGE SHALL NOT BE PERMITTED WITHIN A FIRE LANE, UNLESS APPROVED BY THE TOWN ENGINEER.
  8. UNAPPROVED PARKING AREAS AND RAMP ACCESSORIES SHALL CONFORM TO THE APPLICABLE CITY ORDINANCES AND SHALL COMPLY WITH THE REQUIREMENTS OF CURRENT ADOPTED BUILDING CODES. ALL SIGNAGE IS SUBJECT TO BUILDING DEPARTMENT APPROVAL.
  9. ALL FENCES AND RETAINING WALLS SHALL BE BUILT ON THE SITE PLAN AND BE SUBJECT TO BUILDING DEPARTMENT APPROVAL.
  10. ALL EXISTING BUILDING MATERIALS ARE SUBJECT TO BUILDING DEPARTMENT APPROVAL AND SHALL CONFORM TO THE APPLICABLE FACILITY PLAN.
  11. BOUNDARIES OF 200 FEET OR MORE SHALL BE SET WITH ALONG THE BOUNDARIES AND COLLECTIONS ARE FIVE (5) FEET MINIMUM ALONG BOUNDARIES, SHALL BE MAINTAINED BY THE OWNER AT ALL COSTS. DISCREPANCIES SHALL BE PROVIDED FOR TOWN STANDARDS APPROVAL OF SITE PLAN AND FINAL PLANS. ALL ENGINEERING PLANS AND APPROVED BY THE TOWN ENGINEER.
  12. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
  13. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED IN-GROUND.
  14. ALL ELECTRICAL EQUIPMENT SHALL BE COVERED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.

**CONCEPTUAL LOT TABULATIONS**

LOT	AREA (SQ. FT.)	PERM. PROX.
1	54,990	3.26
2	70,252	0.67
3	63,520	1.43
4	567,475	3.73
5	390,395	2.32
6	63,644	0.72
7	500,888	12.03
7 (FUTURE)	550,898	12.63
8	63,023	1.40
9	74,564	1.20
10	69,229	1.59
11	183,933	4.22
12	185,633	3.90
13	48,984	1.12
14	79,206	0.90
15	36,098	0.83
16	41,947	0.95
17	73,627	1.62
18	50,464	1.33
19	106,420	2.31
TOTAL	1,670,100	45.24 (300)
F.L.O.M.	12,430	1.32
TOTAL	2,028,030	46.56



**FUEL CENTER OUTDOOR SALES AREA DETAIL**  
(FUEL CENTER INCLUDES 11 MULTIPLE PUMP DISPENSERS OR 22 FUELING POSITIONS)

- NOTES**
1. FULLY DEVELOPED FLOODPLAIN BASED ON AUGUST 2014 FLOODPLAIN STUDY, DATED OCTOBER 2014.
  2. AREAS OF FLOODPLAIN BASED ON FLOODPLAIN STUDY BASED ON CONCEPTUAL ESTIMATES AND IS NOT BASED ON DETAILED HYDRAULIC ANALYSIS. BEYOND THESE AREAS, THE OWNER IS RESPONSIBLE FOR ESTABLISHING ACTUAL LIMITS OF FLOODPLAIN AND ELEVATION DISCREPANCIES, SEE OTHER LISTS, AND THE OWNER SHALL COMPLY WITH THE NATIONAL FLOOD INSURANCE PROGRAM.

**OWNER**  
TYG TEXAS I. LLC  
740 EAST CAMPBELL ROAD  
SUITE 515  
RICHARDSON, TX 75081  
TEL. NO. (972) 238-7410

**APPLICANT**  
NORTHWEST 423/380, LTD  
7001 PRESTON ROAD  
SUITE 410  
DALLAS, TX 75205  
TEL. NO. (214) 224-4600

**SURVEYOR/ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
12750 MERIT DRIVE  
SUITE 1000  
DALLAS, TX 75251  
TEL. NO. (972) 770-1300

**Z14-0010  
ZONING EXHIBIT D  
46.56 ACRES  
J. SALING SURVEY, ABSTRACT NO. 1675  
TOWN OF PROSPER, DENTON COUNTY, TEXAS**

**Kimley-Horn and Associates, Inc.**  
12750 Merit Drive, Suite 1000  
Dallas, Texas 75251  
Phone: (972) 770-1300  
Fax: (972) 250-3600  
Firm #: 01155-00  
Tel. No. (972) 770-1300  
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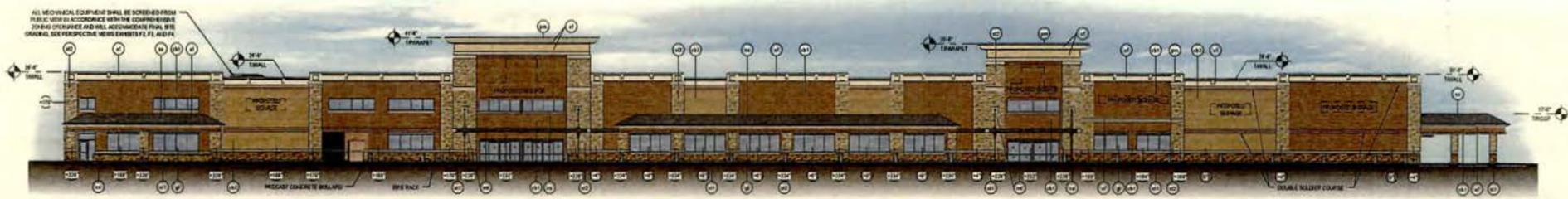
**EXHIBIT E – Development Schedule**

Windsong Ranch Marketplace  
46.48 Acre, Unplatted tract of land  
NEC US Highway 380 & Gee Road  
Prosper, Texas

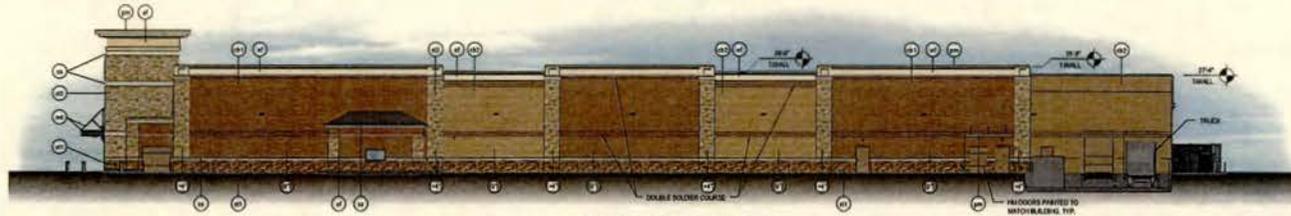
The anticipated schedule for the development is:

- Phase I pad sites – January 2015
- Anchor – March 2017
- Phase I Retail – March 2017
- First half of Phase II Retail – February 2018
- Second half of Phase II Retail – February 2019

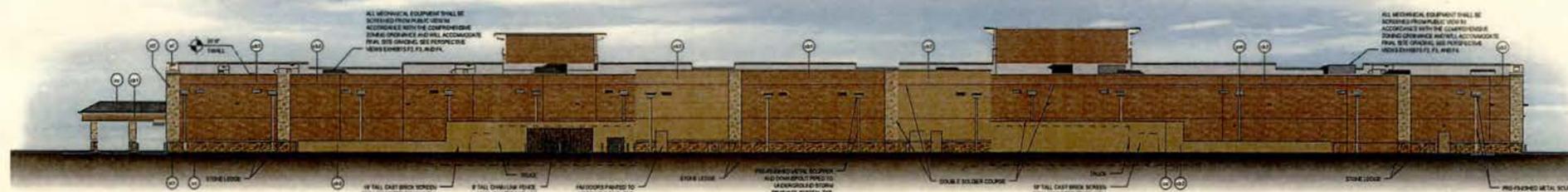
The schedule is subject to change due to various factors behind the control of the developer.



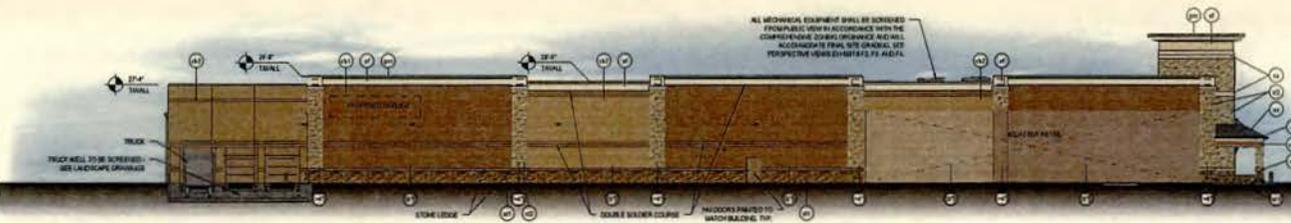
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

- FINISH SCHEDULE**
- CS Concrete Stone Veneer
  - CS Concrete Stone Veneer
  - AS Antiqued Concrete Block
  - AS Antiqued Concrete Block
  - AS Antiqued Concrete Block - Split Face
  - CS Cast Stone
  - ES Enriched S.F.S.
  - EM Exposed Metal
  - MC Metal Cladding
  - AM Antiqued Aluminum
  - MS Meshing Screen Metal Panel
  - SI Siding
  - SI Siding

- Facade Plan Checklist**
- "This Facade Plan is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division"
  - "All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance"
  - "When permitted, exposed utility boxes and conduits shall be painted to match the building"
  - "All signage areas and locations are subject to approval by the Building Inspection Department"
  - "Windows shall have a maximum exterior visible reflectivity of ten (10) percent."

	Material Percentages			
	East	South	West	North
CB1	37.0%	33.0%	43.8%	9.3%
CB2	22.7%	10.6%	31.3%	12.0%
CB3 - Split face	0.0%	0.0%	0.0%	66.6%
ST1	8.8%	8.6%	7.4%	6.7%
ST2	11.0%	13.3%	7.5%	5.0%
EIFS	7.9%	10.0%	9.5%	0.2%
Cast Stone	2.8%	3.8%	0.5%	0.2%
Glazing	0.2%	12.3%	0.0%	0.0%

EXHIBIT F1 - CONCEPT ELEVATIONS

June 25, 2014

Big Box Store

Prosper, TX  
514501.05





FRONT ELEVATION



FRONT ELEVATION

EXHIBIT F2

May 8, 2014

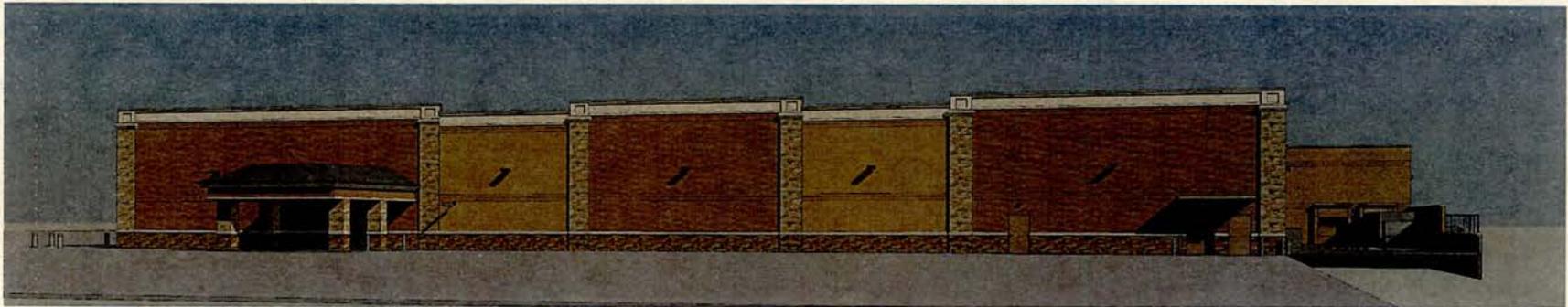
Big Box Store

Prosper, TX  
514501.05





FRONT ELEVATION - SOUTH



RIGHT SIDE ELEVATION - EAST

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE AND WILL ACCOMMODATE FINAL SITE GRADING.

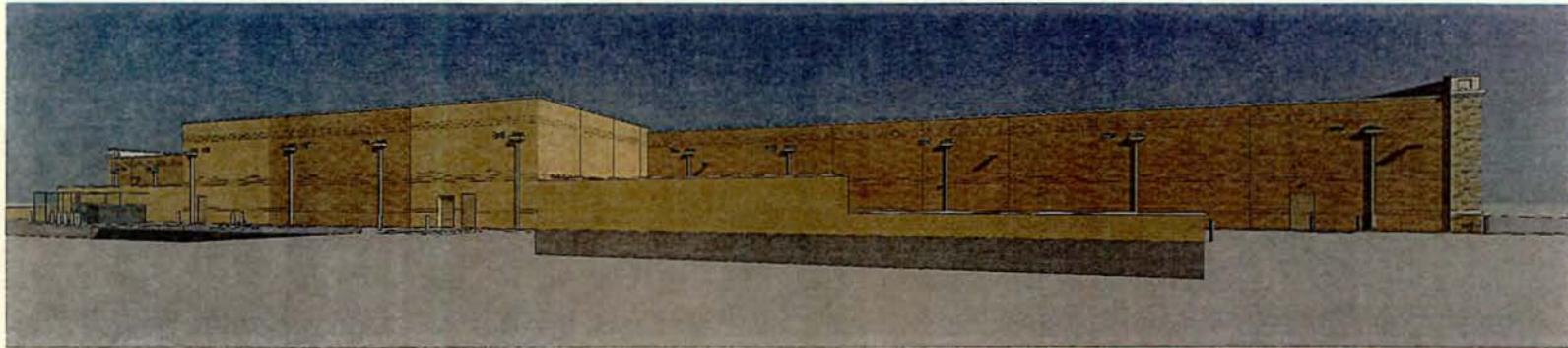
EXHIBIT F3 - Perspective Views From Property Line at 6'-0"

May 8, 2014

Big Box Store

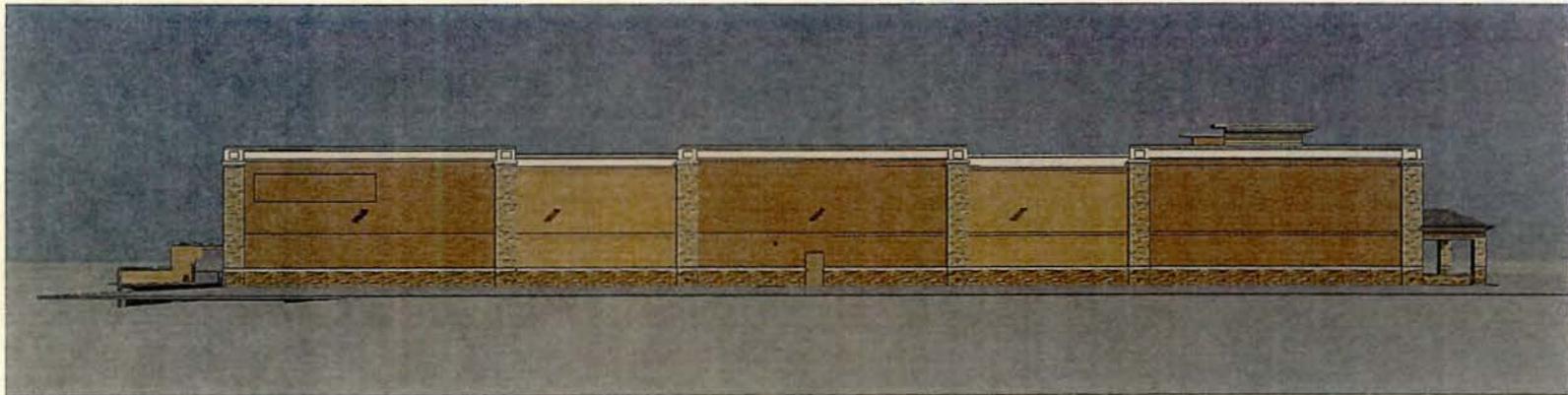
Prosper, TX  
514501.05





REAR ELEVATION - NORTH

THE REAR ELEVATION WILL NOT HAVE MORE THAN 80% OF A SINGLE MATERIAL AND WILL INCLUDE A MINIMUM OF 10% STONE PER THE TOWN'S ZONING ORDINANCE.



LET SIDE ELEVATION - WEST

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE AND WILL ACCOMMODATE FINAL SITE GRADING.

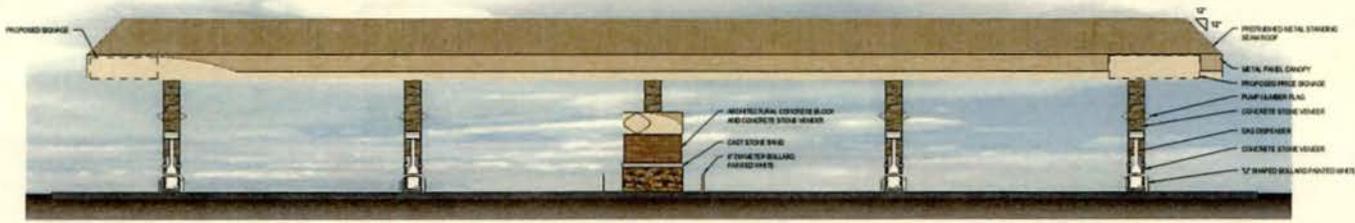
EXHIBIT F4 - Perspective Views From Property Line at 6'-0"

May 8, 2014

Big Box Store

Prosper, TX  
514501.05

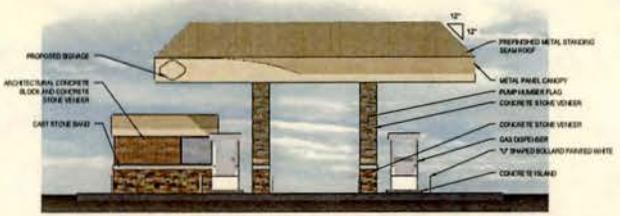




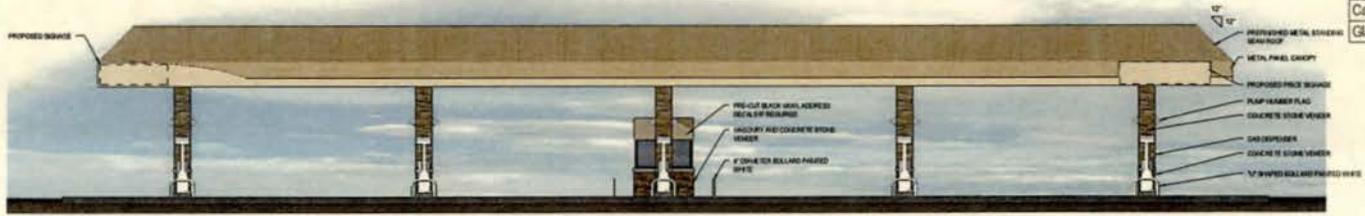
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE AND WILL ACCOMMODATE FINAL SITE GRADING.

- Facade Plan Checklist**
- \*This Facade Plan is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division
  - \*All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance
  - \*When permitted, exposed utility boxes and conduits shall be painted to match the building
  - \*All signage areas and locations are subject to approval by the Building Inspection Department
  - \*Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

	Material Percentages			
	East	West	South	North
Architectural Concrete Block	4.62%	6.58%	0.00%	2.06%
Metal Roof	34.42%	34.42%	48.88%	48.88%
Metal Canopy	34.93%	34.93%	37.28%	37.28%
Stone	18.95%	18.95%	10.90%	11.26%
Cast Stone	2.65%	2.65%	0.84%	0.84%
Glass	3.44%	3.44%	2.10%	0.00%

June 24, 2014

SW589  
Prosper, TX  
514501.05

