

TOWN OF PROSPER, TEXAS

ORDINANCE NO. 18-108

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE NO. 05-20; REZONING A TRACT OF LAND CONSISTING OF 64.501 ACRES, MORE OR LESS, SITUATED IN THE B. HODGES SURVEY, ABSTRACT NO. 593, THE J. GONZALEZ SURVEY, ABSTRACT 447, THE P. BARNES SURVEY, ABSTRACT NO. 79, THE R. TAYLOR SURVEY, ABSTRACT NO. 1671, THE J. HAYNES SURVEY, ABSTRACT NO. 573, AND THE A. JAMISON SURVEY, ABSTRACT NO. 672, IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS, HERETOFORE ZONED AGRICULTURAL (A) AND SINGLE FAMILY-15 (SF-15) IS HEREBY REZONED AND PLACED IN THE ZONING CLASSIFICATION OF PLANNED DEVELOPMENT-94-MIXED USE (PD-94-MU); DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council"), has investigated and determined that the Town's Zoning Ordinance should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper"), received a request from MCF Investments ("Applicant"), to rezone 64.501 acres of land, more or less, situated in the B. Hodges Survey, Abstract No. 593, the J. Gonzalez Survey, Abstract 447, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the A. Jamison Survey, Abstract No. 672, in the Town of Prosper, Denton County, Texas; and

WHEREAS, the Town Council has investigated into and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required for rezoning have been given in the manner and form set forth by law, and public hearings have been held on the proposed rezoning and all other requirements of notice and completion of such zoning procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, THAT:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Amendments to the Town's Zoning Ordinance. The Town's Zoning Ordinance, adopted by Ordinance No. 05-20 is amended as follows: The zoning designation of the below-described

property containing 64.501 acres of land, more or less, situated in the B. Hodges Survey, Abstract No. 593, the J. Gonzalez Survey, Abstract 447, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the A. Jamison Survey, Abstract No. 672, in the Town of Prosper, Denton County, Texas, (the "Property") and all streets, roads and alleyways contiguous and/or adjacent thereto is hereby rezoned as Planned Development-94-Mixed Use (PD-94-MU). The property as a whole and the boundaries for each zoning classification are more particularly described in Exhibit "A" attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Planned Development District shall conform to, and comply with 1) the Statement of Intent and Purpose, attached hereto as Exhibit "B"; 2) the Planned Development Standards, attached hereto as Exhibit "C"; 3) the Site Plan, attached hereto as Exhibit "D"; 4) the Development Schedule and Phasing Plan, attached hereto as Exhibit "E"; 5) the Elevations, attached hereto as Exhibit "F"; and 6) the Landscape Plan, attached hereto as Exhibit "G"; which are incorporated herein for all purposes as if set forth verbatim.

All development plans, standards, and uses for the Property shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two (2) original, official, and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One (1) copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy, and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this

Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

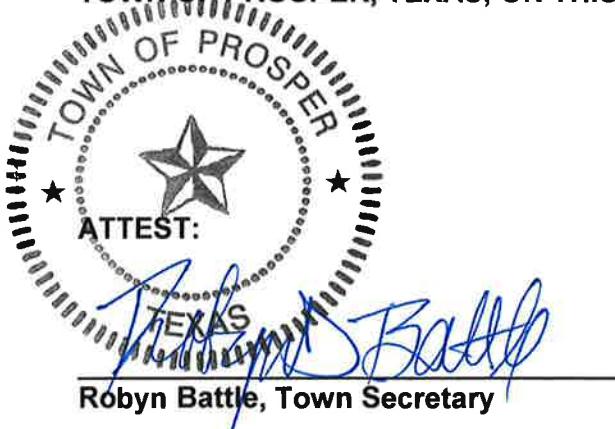
SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

**DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE
TOWN OF PROSPER, TEXAS, ON THIS 11TH DAY OF DECEMBER, 2018.**




Ray Smith, Mayor

APPROVED AS TO FORM AND LEGALITY:


Terrence S. Welch, Town Attorney

Z18-0012
EXHIBIT B
STATEMENT OF INTENT AND PURPOSE
WESTSIDE

1. Statement of Intent

A. Overall Intent

The purpose of this project is to create a walkable urban neighborhood using a horizontal mix of uses. Access to shopping, housing, community retail and park land promotes a quality of life that nurtures the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document.

B. Description of Property

The subject property comprises approximately 64 acres of vacant land at the northeast corner of U.S. Highway 380 and F.M. 1385 in Prosper, Texas. It is additionally bounded by the Glenbrooke single family neighborhood to the north and Doe Branch Creek to the east. An existing trail exists along the property's north boundary and currently serves the adjacent single family neighborhood. This trail may extend into the Doe Branch drainage system and be part of the larger Town of Prosper Trails Plan.

C. Description of Proposed Property

The subject property as depicted in Exhibit "D" has been divided into two distinct sub-districts. The purpose of sub-district requirements is to define the character of new development within each sub-district. They have been carefully designed to allow enough flexibility for creative building solutions, while being prescriptive in areas necessary to preserve consistency throughout the development.

Given that the subject property resides at the hard corner of two major thoroughfares and will serve as a gateway to the Town of Prosper, a portion of land with a size yet to be determined, will be set aside as a signage easement for a Town gateway sign near the intersection of U.S. 380 and F.M. 1385.

2. Current Zoning and Land Uses

A. Current Zoning

The subject property comprises land that fall under two distinct zoning classifications. At the intersection of U.S. 380 and F.M. 1385 is a small portion of acreage that zoned for Single Family. The remainder of the property is zoned for Agriculture.

B. Future Land Use Plan

The Future Land Use Plan designates the entire subject property as US 380 District, which is defined as having a variety of uses, such as big box development, hotels, banks, gas/convenience and residential that serves as a buffer between the commercial and nearby single family.

Z18-0012
EXHIBIT C
DEVELOPMENT STANDARDS
WESTSIDE

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance, as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.

Tract A – Retail District

- A1. Except as noted below, the Tract shall develop in accordance with the Retail District as it exists or may be amended.
- A2. Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following:

Permitted Uses

1. Restaurant (with Drive-Through)
 - a. A restaurant with drive-through shall be permitted by right in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance. A maximum of two (2) noncontiguous drive-through restaurants shall be permitted along US 380, and a maximum of two (2) drive-through restaurants shall be permitted along FM 1385, as shown on Exhibit D.
2. Hotel, Limited Service
 - a. A maximum of two (2) limited service hotels shall be permitted by right on the subject property, as shown on Exhibit D, and shall otherwise be permitted in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance.

Prohibited Uses:

1. Athletic Stadium or Field, Public
2. Automobile Parking Lot/Garage
3. Automobile Paid Parking Lot/Garage
4. Recycling Collection Point
5. School District Bus Yard

- A3. Regulations. Regulations shall be permitted in accordance with the Retail District with the exception of the following:
 1. Maximum Height
 - a. Commercial Amusement, Indoor: Two (2) stories, no greater than fifty (50) feet at the parapet height, with an additional twenty (20) feet above the parapet for a marquee.
 - b. Hotel, Limited Service: Five (5) stories, no greater than seventy-five (75) feet.
 - i. Minimum height of four (4) stories.
- A4. Design Guidelines
 1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.

- b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission. Façade Plans for the Limited Service Hotels and the Indoor Commercial Amusement uses shall also be subject to Town Council approval.
2. Architectural Standards
- a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick or stone)
 - i. Commercial Amusement, Indoor may utilize architectural finished concrete as a primary masonry material, and may be used for up to one hundred percent (80%) of a building elevation, as shown on Exhibit F. In addition, a maximum of ten percent (10%) secondary material, and minimum of ten percent (10%) stone, per elevation, shall be required for Commercial Amusement, Indoor.
 - ii. Limited Service Hotels may utilize sintered stone as a primary masonry material, as shown on Exhibit F.
 - b. For retail/restaurant uses, no more than thirty percent (30%) of each façade elevation shall use wood-based high pressure laminate (i.e. Prodema, Trespa, CompactWood), as shown on Exhibit F.
 - c. No more than fifteen percent (15%) of each façade elevation may use a combination of accent materials such as cedar or similar quality decorative wood, architectural metal panel, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features. Commercial Amusement, Indoor shall be limited to a maximum ten percent (10%).
 - d. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, marquees and roof forms whose area in plan is no greater than fifteen percent (15%) of the ground floor footprint may exceed the height limits by up to ten feet (10').
 - e. No single material shall exceed eighty percent (80%) percent of an elevation area. Except for Commercial Amusement, Indoor, a minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone. Commercial Amusement, Indoor shall require a minimum ten percent (10%) stone, per elevation.
 - i. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
 - ii. Canopies, awnings, or porticos;
 - iii. Recesses/projections;
 - iv. Arcades;
 - v. Arches;
 - vi. Display windows, including a minimum sill height of thirty (30) inches;
 - vii. Architectural details (such as tile work and moldings) integrated into the building facade;
 - viii. Articulated ground floor levels or base;
 - ix. Articulated cornice line;
 - x. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xi. Offsets, reveals or projecting rib used to express architectural or structural bays; or
 - xii. Varied roof heights;

- f. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features.
- g. Except for the Commercial Amusement, Indoor, all primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.
- h. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee. The applicant may appeal the decision to the Planning & Zoning Commission and Town Council using the appeal procedure in Chapter 4, Section 1 of the Town's Zoning Ordinance.
- i. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.
- j. All retail/commercial buildings with facades greater than two hundred feet (200') in length shall incorporate wall plane projections or recesses that are at least six feet (6') deep. Projections/recesses must be at least twenty five percent (25%) of the length of the facade. Except for Commercial Amusement, Indoor, no uninterrupted length of facade may exceed one hundred feet (100') in length.

3. Windows and Doors

- a. All ground floor front facades of buildings along streets or public ways with on-street parking or that face directly onto Open Space and contain non-residential uses shall have transparent storefront windows covering no less than thirty percent (30%) of the façade area. Hotels shall have no less than ten percent (10%) of the façade.
 - i. Clear glass is required in all non-residential storefronts. Smoked, reflective, or black glass that blocks two-way visibility is only permitted above the first story. Windows shall have a maximum exterior visible reflectivity of thirty percent (30%).
- b. At the time of Site Plan in conjunction with the detailed Façade Plans for a Limited Service Hotel, window detailing shall be provided, including but not limited to articulations, recesses, and/or projections.

4. Awning, Canopies, Arcades, and Overhangs

- a. Awnings shall not be internally illuminated.
- b. Canopies shall not exceed one hundred linear feet (100') without a break of at least five feet (5').
- c. Awnings and canopies shall not extend beyond ten feet (10') from the main building façade.

A5. Additional Standards

1. Open Space

a. Urban Open Space

- i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.

- ii. The urban park open space shall be constructed at the time of construction of phase 1. The urban park open space shall be constructed at the developer's cost.
 - iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
- b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
- 2. Landscape Screening and Buffering
 - a. A thirty-foot (30') landscape easement shall be required along roadways when an adjacent building sides or backs the road. The landscape buffer shall consist of a minimum three-foot (3') foot berm.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Urban and Rural Open Space.
 - d. Berming shall be required behind the Entertainment/Indoor Commercial Amusement structure located in Phase 2A as reflected on the Phasing Diagram.
- 3. Lot Frontage
 - a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.

Tract B – Multifamily District

- B1. Except as noted below, the Tract shall develop in accordance with the Multifamily District as it exists or may be amended.
- B2. Multifamily Construction
 - 1. For Phase 1B, as shown on Exhibit E2, which consists of a maximum of 243 units, construction may not commence until construction of the first floor framing has begun on the restaurant/retail building as shown on Lot 8 on Exhibit D and the Limited Service Hotel on Lot 15 on Exhibit D.
 - 2. For Phase 2B, as shown on Exhibit E2, which consists of a maximum of 237 units, construction may not commence until vertical construction has begun on a minimum fifty thousand (50,000) square foot Indoor Commercial Amusement building or similar size retail building.
- B3. Regulations. Regulations shall be permitted in accordance with the Multifamily District with the exception of the following:
 - 1. Maximum Number of Units: Four hundred and eighty (480) units.

2. Maximum Height:
 - a. Two (2) stories, no greater than forty feet (40') for buildings within one hundred (100) feet of a single family zoning district.
 - b. Three (3) stories, no greater than fifty feet (50').
 - c. Four (4) stories, no greater than sixty-five feet (65').
3. Size of Yards
 - a. In accordance with Exhibit D.
4. Minimum Dwelling Area
 - a. One (1) bedroom: 650 square feet
 - b. Two (2) bedroom: 925 square feet
 - c. Three (3) bedroom: 1,150 square feet
5. Lot Coverage: Maximum fifty percent (50%)

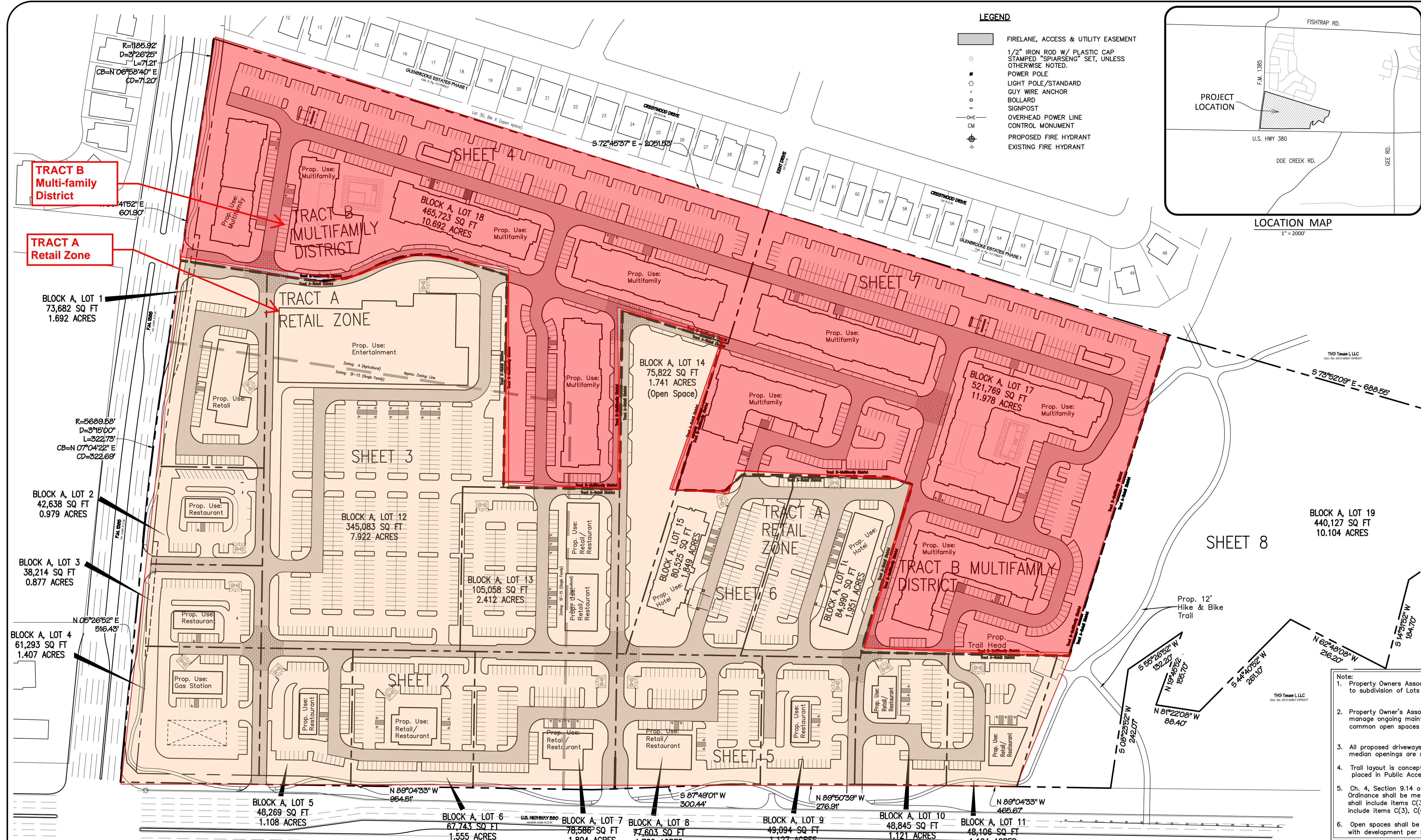
B4. Design Guidelines

1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.
 - b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission.
2. Architectural Standards
 - a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick and stone).
 - b. No more than fifteen percent (15%) of each façade elevation shall use a combination of accent materials such as cedar or similar quality decorative wood, fiber cement siding, resin-impregnated wood panel system, cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty, architectural metal panel, split-face concrete block, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features.
 - c. Any enclosed one or two-car garage shall be designed and constructed of the same material as the primary building.

B5. Additional Standards

1. Open Space
 - a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
 - ii. The urban park open space shall be constructed at the time of construction of Phase 1. The urban park open space shall be constructed at the developer's cost.

- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
2. Landscape Screening and Buffering
- a. As depicted on the Landscape Plan (Exhibit G), two (2) rows of minimum three inch (3") caliper trees every fifty feet (50') on center, offset, shall be planted along the northern property line.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement, except for the twenty-five foot (25') UTRWD utility easement that currently resides immediately south of the property's north property line.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Rural Open Space.
3. Lot Frontage
- a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
4. Parking
- a. Minimum "Off-Street" Parking. For the purpose of this ordinance, off-street parking shall mean any parking not located immediately adjacent to and along public drives (i.e. parallel parking) used for internal circulation throughout the development.
 - i. One (1) and two (2) bedroom units: 1.8 parking spaces per unit.
 - ii. Three (3) bedroom units: 2.0 parking spaces per unit.
 - b. Tandem parking shall count towards the parking provided for each designated tract or phase that the parking resides within.
 - c. Surface parallel parking that is provided along interior drives shall count towards the parking provided for each designated tract or phase that the parking resides within.
5. The provisions of Chapter 4, Section 9.14 (Non-Residential and Multifamily Development Adjacent to a Major Creek) shall apply to the proposed development.
6. The provisions of Chapter 4, Section 9.16 (Residential Open Space) shall apply to the proposed development.
7. The provision of Chapter 4, Section 9.17 (Multifamily Site Design) shall not apply to the proposed development.



Town of Prosper Site Plan Notes:

1. Dumpsters and trash compactors shall be screened in accordance of the Comprehensive Zoning Ordinance.
2. Open storage, where permitted, shall be screened in accordance with the Comprehensive Zoning Ordinance.
3. Outdoor lighting shall comply with the lighting and glare standards contained within the Comprehensive Zoning Ordinance and Subdivision Regulation Ordinance.
4. Landscaping shall conform to landscape plans approved by the town.
5. All elevations shall comply with the standards contained within the Comprehensive Zoning Ordinance.
6. Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
7. Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
8. Two points of access shall be maintained for the property at all times.
9. Speedbumps/humps are not permitted within a fire lane.
10. Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
11. All signage is subject to Building Official approval.
12. All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
13. All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
14. Sidewalks of not less than six (6') feet in width along thoroughfares and five (5') in width along collectors and residential streets, and barrier free ramps of all curb crossings shall be provided per town standards.
15. Approval of the site plan is not final until all engineering plans are approved by the Town Engineer.
16. Site plan approval is required prior to grading release.
17. All new electrical lines shall be installed and/or relocated underground.
18. All mechanical equipment shall be screened from public view in accordance with the Comprehensive Zoning Ordinance.
19. Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use from the CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
20. Open spaces shall be constructed in conjunction with development per Exhibit 'B'.

SHT. 1 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-19
BEING 64.501 ACRES OF LAND (GROSS)

63.858 ACRES OF LAND (NET)

IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &

IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &

IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &

IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &

IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &

IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER Taylor Harrel

APPLICANT MCF Investments

Spars Engineering, Inc.

765 Custer Road, Suite 100

Frisco, Texas 75034

Telephone: (214) 619-4930

Telephone: (972) 422-0077

TBPE No. F-2121 / TBPLS No. F-10043100

Contact: Kevin Wier

Scale: 1"=100'

September, 2018 SEI Job No. 17-219

LOT	ZONING	PROPOSED USE	LOT AREA		FIRST FLOOR BUILDING AREA (SF)	TOTAL BUILDING AREA (SF)	UNIT COUNT	BUILDING HEIGHT (ft)	MAX. BUILDING HEIGHT (story)	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (SF)	OPEN SPACE PROVIDED (SF)
			SF	AC																	
1	PD	RETAIL	73,682	1.69	10,950	10,950	N/A	40'	1	14.9%	0.1486:1	1:250	44	62	2	930	34,878	33,874	5,158	Provided in Lots 14/19	
2	PD	RESTAURANT W/D.	42,638	0.98	3,172	3,172	N/A	40'	1	7.4%	0.0744:1	1:100	32	33	1	495	13,906	25,754	2,985	Provided in Lots 14/19	
3	PD	RESTAURANT W/D.T.	38,214	0.88	2,872	2,872	N/A	40'	1	7.5%	0.0752:1	1:100	29	32	1	480	12,064	24,600	2,675	Provided in Lots 14/19	
4	PD	GAS STATION	61,293	1.41	4,500	4,500	N/A	40'	1	7.3%	0.0734:1	1:250	18	28	1	420	21,561	35,374	4,291	Provided in Lots 14/19	
5	PD	RESTAURANT W/D.T.	48,269	1.11	2,880	2,880	N/A	40'	1	6.0%	0.0597:1	1:100	29	41	1	615	15,949	30,349	3,379	Provided in Lots 14/19	
6	PD	RETAIL/RESTAURANT	67,743	1.56	6,447	6,447	N/A	40'	1	9.5%	0.0952:1	1:75	86	98	4	1,470	24,584	38,417	4,742	Provided in Lots 14/19	
7	PD	RETAIL/RESTAURANT	78,586	1.80	6,321	6,321	N/A	40'	1	8.0%	0.0804:1	1:75	85	102	4	1,530	26,625	46,460	5,501	Provided in Lots 14/19	
8	PD	RETAIL/RESTAURANT	77,603	1.78	7,700	7,700	N/A	40'	1	9.9%	0.0992:1	1:75	103	99	4	1,485	24,516	47,655	5,432	Provided in Lots 14/19	
9	PD	RESTAURANT W/D.T.	49,094	1.13	2,931	2,931	N/A	40'	1	6.0%	0.0597:1	1:100	30	44	2	660	16,273	29,209	3,437	Provided in Lots 14/19	
10	PD	RETAIL/RESTAURANT	48,845	1.12	3,756	3,756	N/A	40'	1	7.7%	0.0769:1	1:75	51	53	3	795	18,171	27,255	3,419	Provided in Lots 14/19	
11	PD	RETAIL/RESTAURANT	48,106	1.10	4,805	4,805	N/A	40'	1	10.0%	0.0999:1	1:75	65	65	3	975	20,260	24,479	3,367	Provided in Lots 14/19	
12	PD	ENTERTAINMENT	345,083	7.92	56,000	56,000	N/A	50'	2	16.2%	0.1623:1	1:150	374	494	12	7,410	105,889	221,992	24,156	Provided in Lots 14/19	
13	PD	RETAIL/RESTAURANT	105,058	2.41	14,619	29,638	N/A	40'	1	14.1%	0.2821:1	1:250	119	152	6	2,280	35,118	62,586	7,354	Provided in Lots 14/19	
14	PD	OPEN SPACE	75,822	1.74	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20	N/A	N/A	N/A	N/A	17,207	N/A	66,532	
15	PD	HOTEL	80,525	1.85	17,820	72,600	110	75'	5	22.1%	0.9016:1	91 Rooms @ 1 per room	91	98	5	1,470	28,563	42,261	5,637	Provided in Lots 14/19	
16	PD	HOTEL	84,990	1.95	14,520	72,600	120	75'	5	17.1%	0.8542:1	120 Rooms @ 1 per room	120	122	5	1,830	30,154	54,243	5,949	Provided in Lots 14/19	
17	PD	MULTIFAMILY	521,769	11.98	111,516	319,215	243 (116-18, 103-28, 24-38)	65'	4	21.4%	0.6118:1	1.8 per 1B&2B unit 2.0 per 3B unit	443	529	10	7,935	141,562	214,547	156,531	Provided in Lots 14/19	
18	PD	MULTIFAMILY	465,723	10.69	99,752	282,821	237 (119-1B, 93-2B, 25-3B)	65'	4	21.4%	0.6073:1	1.8 per 1B&2B unit 2.0 per 3B unit	432	443	10	10	6,645	160,528	210,529	139,717	Provided in Lots 14/19
19	PD	OPEN SPACE	440,127	10.10	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	16,996	N/A	440,127	

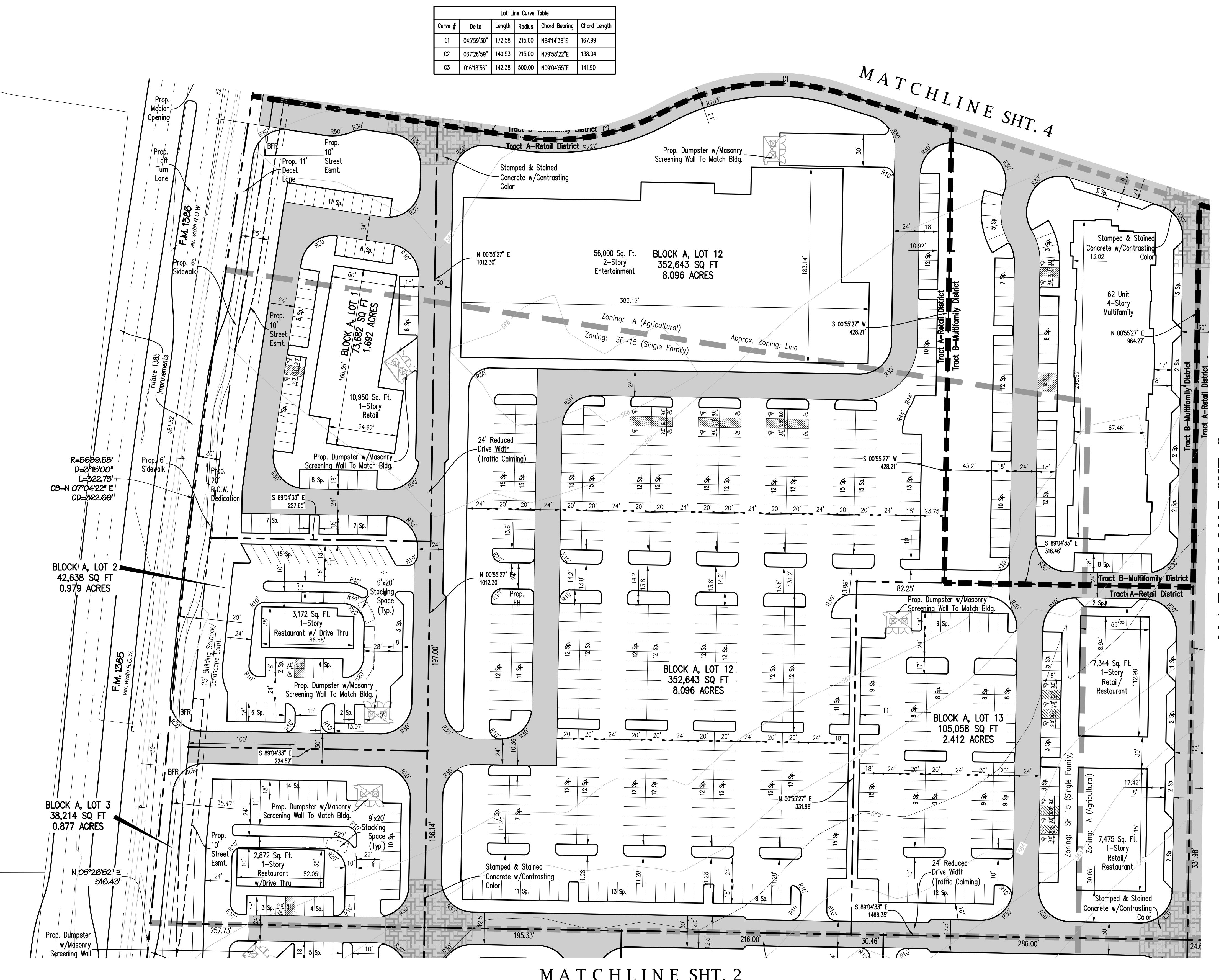
Total= 2753170 63.20

370,761

889,208

2,151 Guidance No. 18-108, Page 12

383,729 506,659



SHT. 3 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-19

BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)

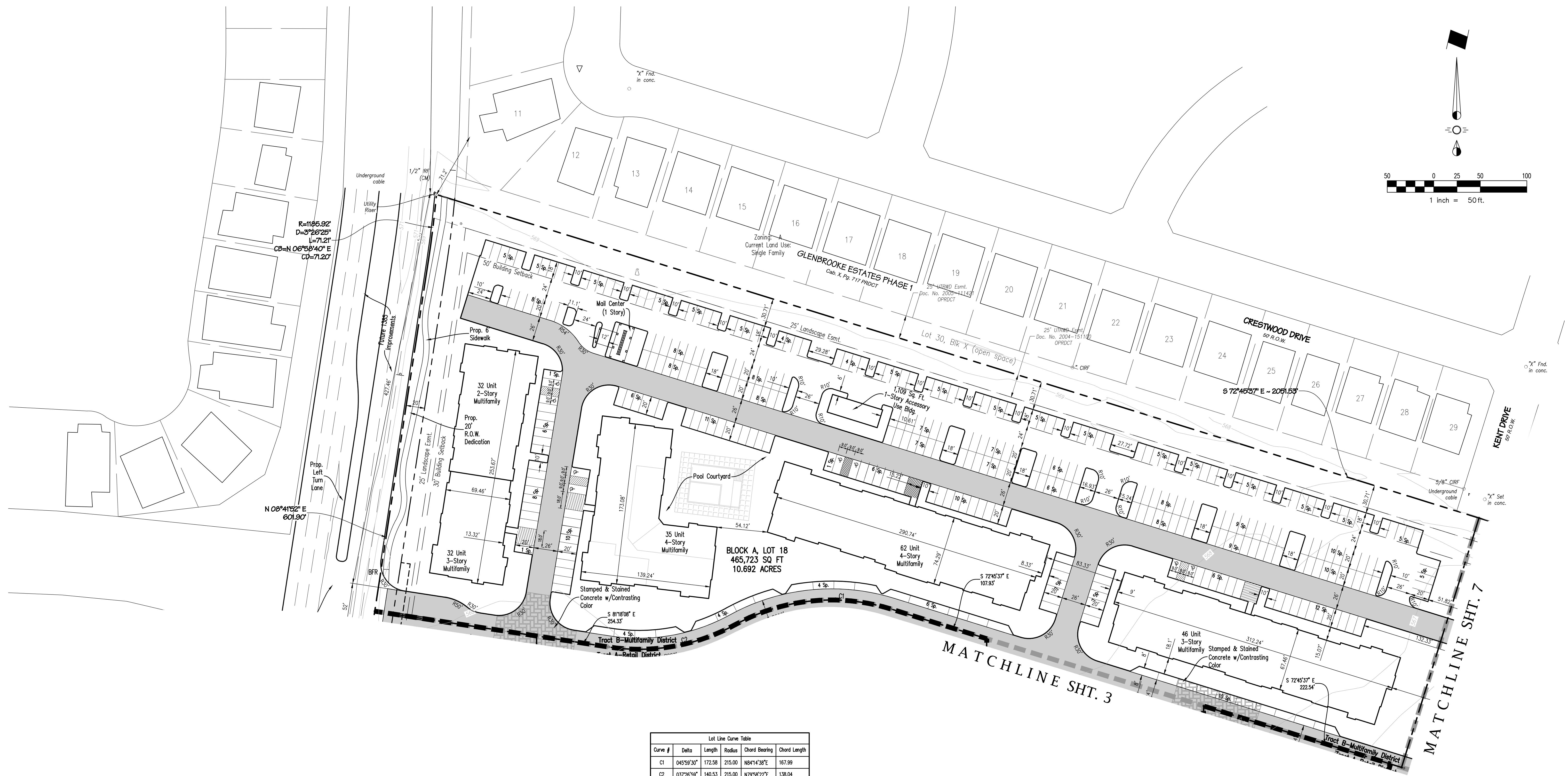
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone: (972) 422-0077
Contact: Mike Fannin

ENGINEER / SURVEYOR
Spiers Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier



SHT. 4 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-19

G 64.501 ACRES OF LAND (GROS)

ACRES OF LAND (NET)

ES SURVEY, ABSTRACT N

LEZ SURVEY, ABSTRACT NO. 4

ES SURVEY, ABSTRACT NO. 79 &

OR SURVEY, ABSTRACT NO. 1671 &

ES SURVEY, ABSTRACT NO. 573 &
FIGURE 141. USGS GARDNER

INGUS JAMISON SURVEY
DEP. DENTON COUNTY, TEXAS

PER, DENTON COUNTY, TEXAS

APPLICANT ENGINEER / SURVEYOR
MCE Investments Spiars Engineering, Inc.

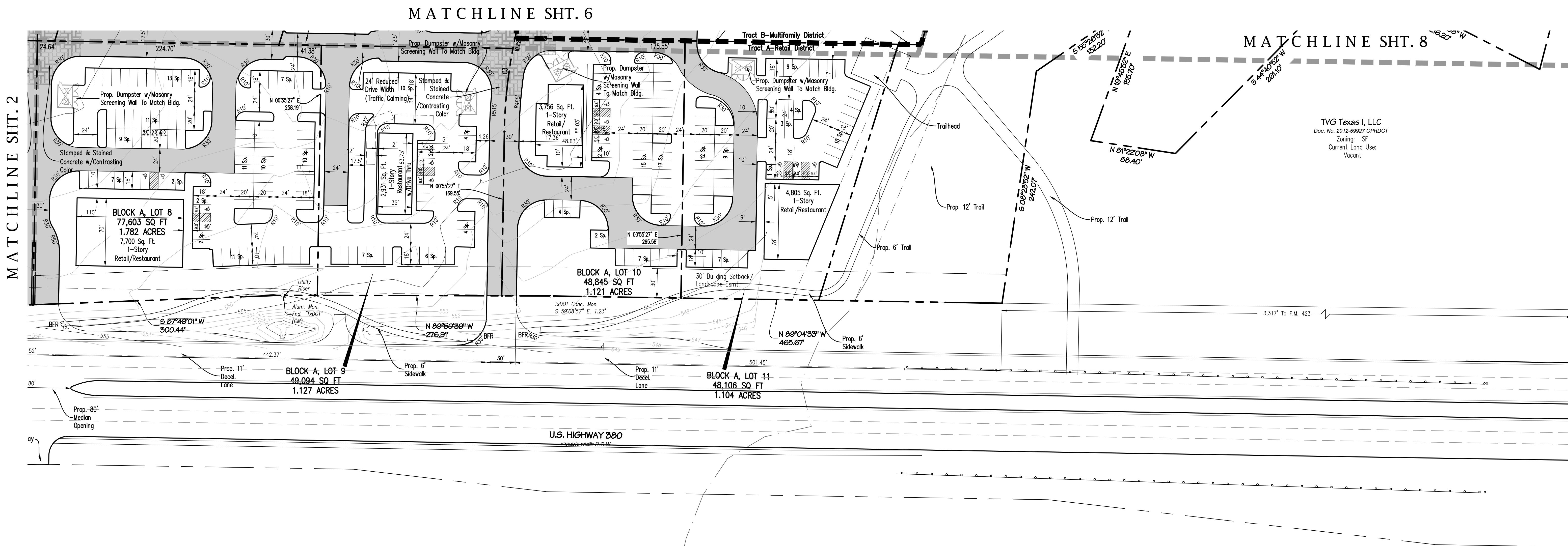
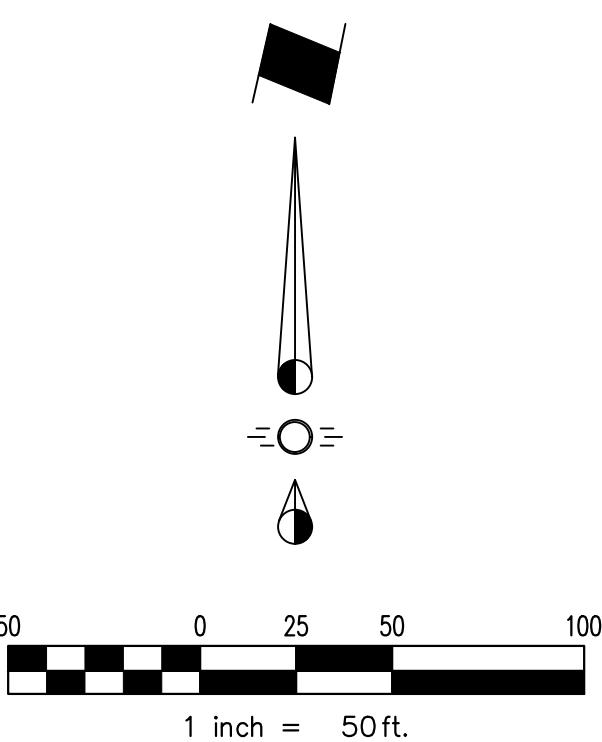
Spairs Engineering, Inc.
765 Custer Road, Suite 100

Telephone: (712) 468-3377
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Contact: Kevin Wler

September, 2018 SEI Job No. 17-219

Lot Line Curve Table					
Curve #	Delta	Length	Radius	Chord Bearing	Chord Length
C1	045°59'30"	172.58	215.00	N84°14'38"E	167.99
C2	037°26'59"	140.53	215.00	N79°58'22"E	138.04
C3	016°18'56"	142.38	500.00	N00°24'55"E	141.90



SHT. 5 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-11

BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)

IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

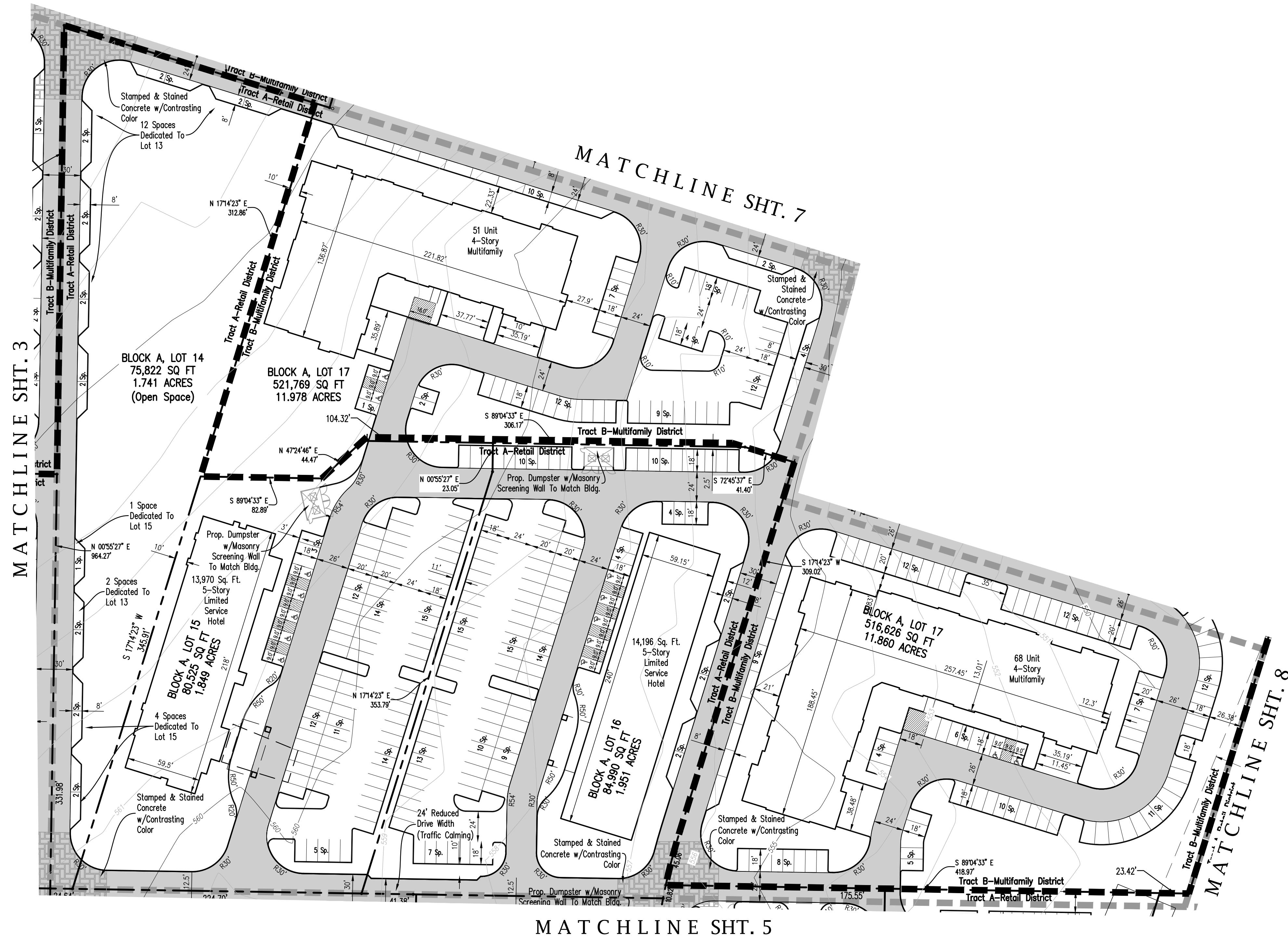
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone: (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
Spiers Engineering, Inc.
765 Custer Road, Suite 100
Frisco, Texas 75035
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Lot Line Curve Table					
Curve #	Delta	Length	Radius	Chord Bearing	Chord Length
C1	04559'30"	172.58	215.00	N84°14'30"E	167.99
C2	03726'59"	140.53	215.00	N79°58'22"E	138.04
C3	01618'56"	142.38	500.00	N09°04'55"E	141.90



SHT. 6 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

LOCK A, LOTS 1-19

NG 64.501 ACRES OF LAND (GROSS)

ACRES OF LAND (NET)

ES SURVEY, ABSTRACT NO. 59

THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &

THE P. BARNES SURVEY, ABSTRACT NO. 79 &

THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
THE L. H. MURKIN SURVEY, ABSTRACT NO. 1672.

THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS LAMISON SURVEY

IN THE ANGUS JAMISON SURVEY TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWN OF PROSPER, DENTON COUNTY, TEXAS

JER APPLICANT ENGINEER / SURVEYOR
Hansel MCF Investments Spairs Engineering, Inc.

McN. INVESTMENTS
15700 S.H. 121
Frisco, Texas 75035

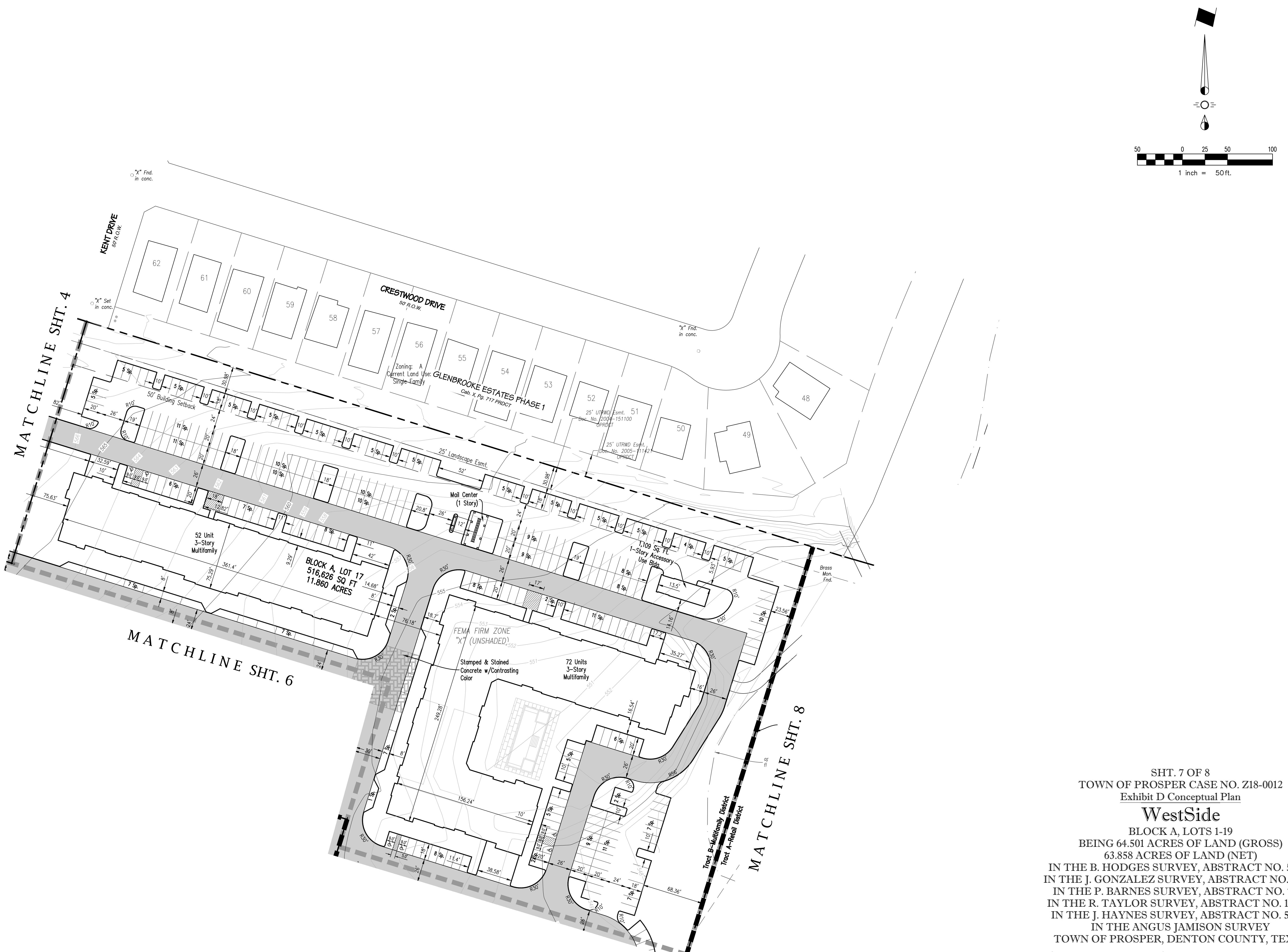
Spars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75025

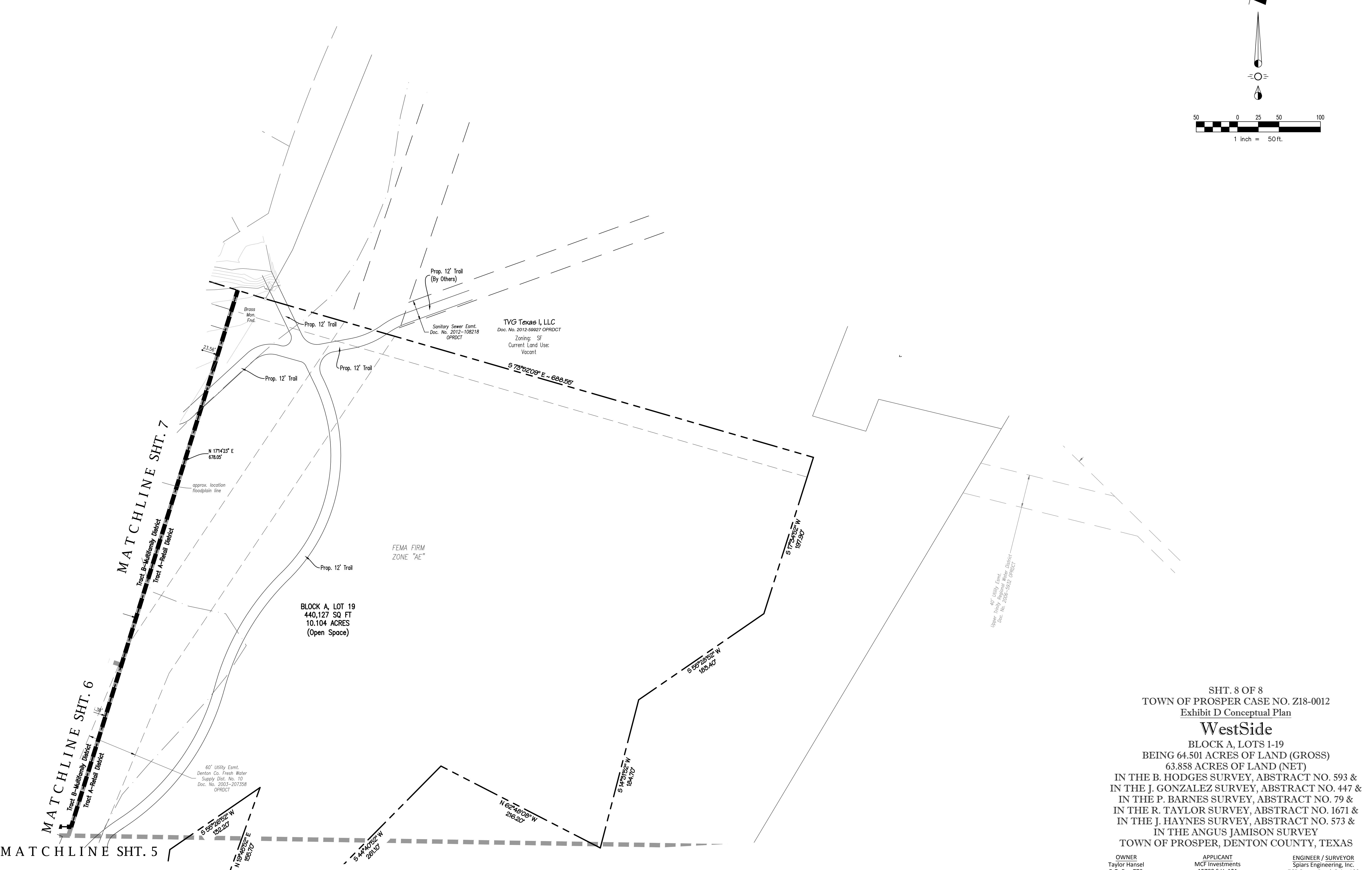
as 75034 Frisco, Texas 75035 Plano, TX 75075
Telephone (214) 619-4930 Telephone: (972) 422-0077

Contact: Mike Fannin TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Contact: Kevin Wier

Scale: 1"=50' September, 2018 SEI Job No. 17-219





SHT. 8 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-19

BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)
THE B. HODGES SURVEY, ABSTRACT NO. 593 &
THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
THE P. BARNES SURVEY, ABSTRACT NO. 79 &
THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
piars Engineering, Inc.
5 Custer Road, Suite 100
Plano, TX 75075
ephone: (972) 422-0077
F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Z18-0012
EXHIBIT E
DEVELOPMENT SCHEDULE
WESTSIDE

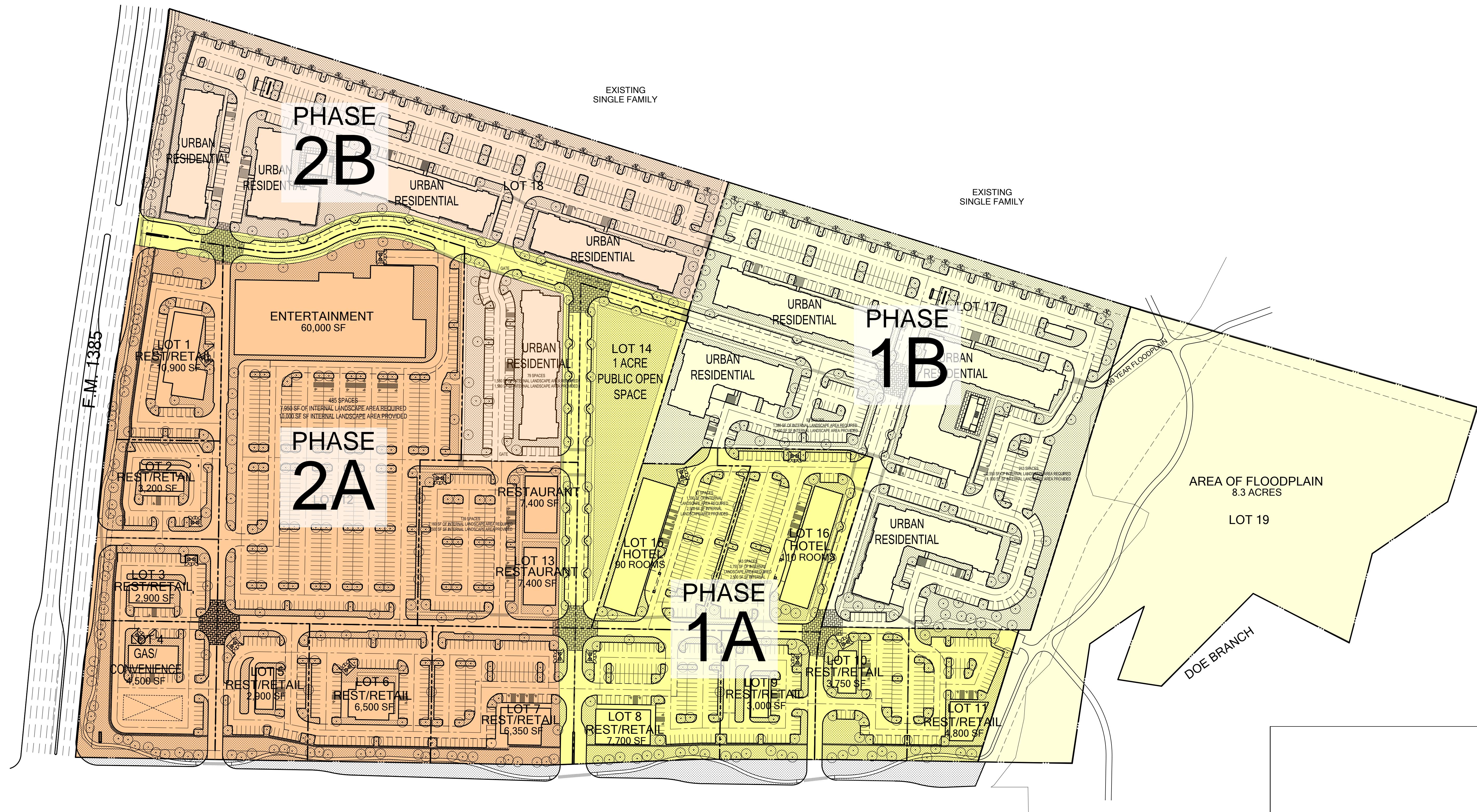
The phasing and development of this project is dependent upon both market conditions and the individual developers' timing. The anticipated schedule for the buildout will likely include a division of developmental increments. Upon commencement of development, the project construction is expected to require between 18 – 60 months. See Exhibit E2 for a graphic depiction.

Phase 1A: The central core of the property coupled with the construction of the central park. It would comprise both the physical heart of the project, plus individual pads inside the retail development. Vehicular access to the property will mostly be included in this phase. Depending on the schedule of the multi-family developer, Phase 1B could be developed in conjunction with Phase 1A.

Phase 1B: The initial phase of a two phase multi-family development.

Phase 2A: The second phase of a two phase commercial development, including retail/restaurant and entertainment uses to the west of the central park.

Phase 2B: The second phase of a multi-family development, located to the north of Phase 2A. Phase 2B could be developed in conjunction with Phase 2A.



U.S. HIGHWAY 380 (UNIVERSITY DRIVE)



Ordinance No. 18-108, Page 21

Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/22/18
Drawn by: BEM, RR, PA



PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "E2" - PHASING DIAGRAM

US 380 / FM 1385 NEC

Prosper, Texas

63.905 Acres



1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

Ordinance No. 18-108, Page 22

0 10'-8" 21'-4" 42'-8"

3/32" = 1'-0"

FAÇADE MATERIAL ANALYSIS		
01 EAST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	46.90%
WOOD-BASED HIGH PRESSURE LAMINATE	509	19.60%
STONE	873	33.60%
TOTALS*	2602	100.00%

02 WEST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	47.50%
WOOD-BASED HIGH PRESSURE LAMINATE	511	19.90%
STONE	839	32.60%
TOTALS*	2570	100.00%

03 NORTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1474	100.00%
WOOD-BASED HIGH PRESSURE LAMINATE	0	0.00%
STONE	0	0.00%
TOTALS*	1474	100.00%

04 SOUTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	161	10.70%
WOOD-BASED HIGH PRESSURE LAMINATE	186	12.40%
STONE	1157	76.90%
TOTALS*	1504	100.00%

NOTES
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3 When permitted, exposed utility boxes and conduits shall be painted to match the building.
4 All signage areas and locations are subject to approval by the Building Inspection Department.
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.

MATERIALS TABLE	
	MAS 1
	MAS 2
	WOOD 1

Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: RestaurantRetailElevations_2018-0928.dwg
Date: 09/28/18
Drawn by: BEM, LA, PA

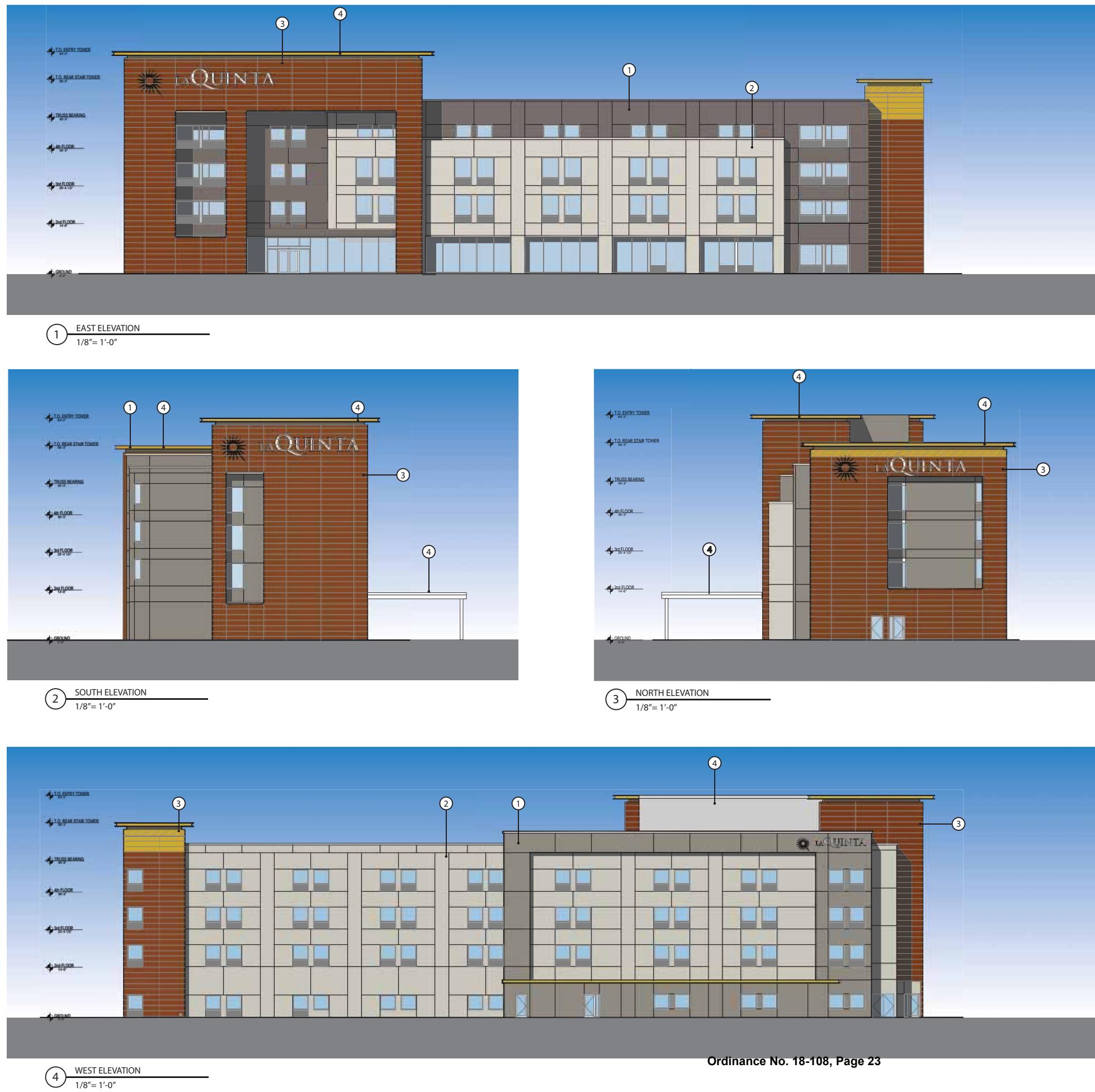


PLANNING

2808 Fairmount Street,
Suite 300
Dallas, Texas 75201 |
214.303.1500

3300 West 7th Street,
Suite 110
Fort Worth, Texas 76107 |
817.303.1500

EXHIBIT "F"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres





NO.	DATE	REVISION ISSUE
01/19/2018	ISSUE FOR PERMIT	
02/07/2018	OKD HEALTH DEPT. COM. 01	
03/06/2018	CITY RESPONSES 01	
04/13/2018	ISSUE FOR CONSTRUCTION	
05/08/2018	REVISION 2	

PROJECT NAME AND ADDRESS:

SHOWBIZ EDMOND

NE CORNER OF N BOONER RD. AND E. COVELL RD.
EDMOND, OKLAHOMA 73034

DRAWN: PRMG MGR:

REFERENCE NUMBER: 11177902-01

TITLE: EXTERIOR ELEVATIONS

DRAWING NUMBER:

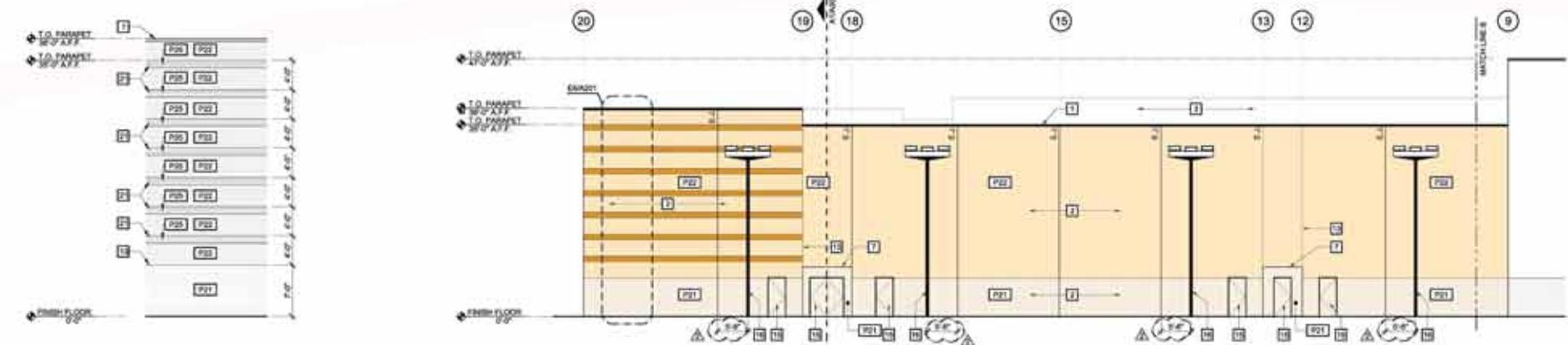
A201

KEY NOTES

- 1 PRE-FINISHED METAL COPING PER SPEC.
- 2 EXPOSED TILT WALL PANEL, TEXTURED PAINT
- 3 PARAMET BEYOND
- 4 STUCCO FINISH - PAINT PS
- 5 POSTER CASE SUPPLIED BY OWNER'S VENDOR. G.C. TO INSTALL AND PROVIDE POWER AND BLOCKING.
- 6 COPING LIGHT, RE: MEP, R2451
- 7 PAINT FACE OF ALCOVE PERPENDICULAR TO VIEW, P21
- 8 2 1/2" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
- 9 4" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
- 10 STAINLESS STEEL TILE-T11
- 11 STUCCO FINISHED CANOPY - PAINT P26
- 12 TILE FINISH - TS
- 13 REVEAL TRIM RE: C10403
- 14 CONTINUOUS COPING LIGHT MOUNTED ON WALL SYSTEM, RE: MEP & R245115 MM
- 15 HOLLOW METAL DOOR, RE: TILT WALL SYSTEM COLOR TYP.
- 16 TILT-IN METAL DOWNSPOUT WITH 2 OVERFLOW DRAINS, TYP. PAINT TO MATCH P22, RE: C10401, MFR. & CIV. DRAWINGS
- 17 TICKET KIOSK SUPPLIED AND INSTALLED BY OWNER'S VENDOR. G.C. TO INSTALL. PROVIDE POWER DATA AND BLOCKING.
- 18 ANODIZED ALUMINUM STOREFRONT, RE: PLATE & WINDOW SCHEDULE
- 19 TICKET COUNTER - ANODIZED ALUMINUM WINDOW, RE: WINDOW SCHEDULE
- 20 DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR. G.C. TO PROVIDE POWER & BLOCKING.
- 21 REVEAL TRIM, C28023
- 22 TILT WALL VERTICAL EXPANSION JOINTS ('L-J'), RE: A601

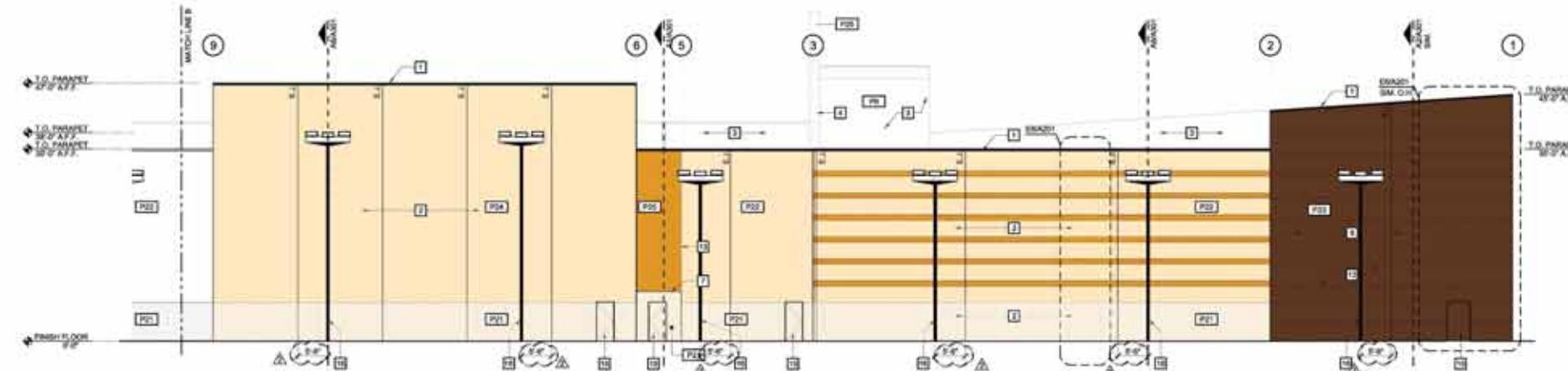
D1 NORTH ELEVATION - AREA 'B'

SCALE: 3'-0" x 10'



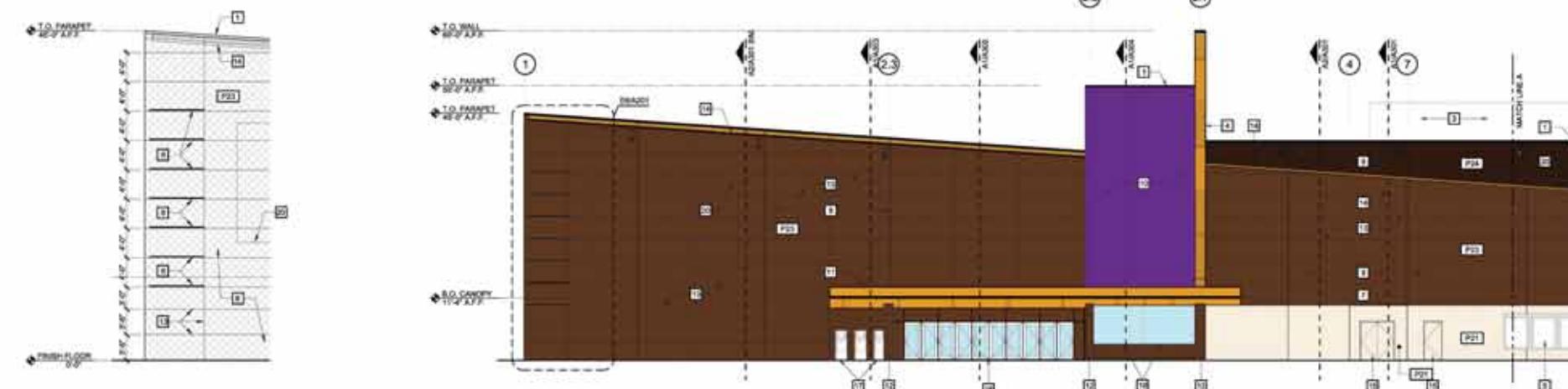
E6 PAINT DETAIL

SCALE: 1'-0" x 1'-0"



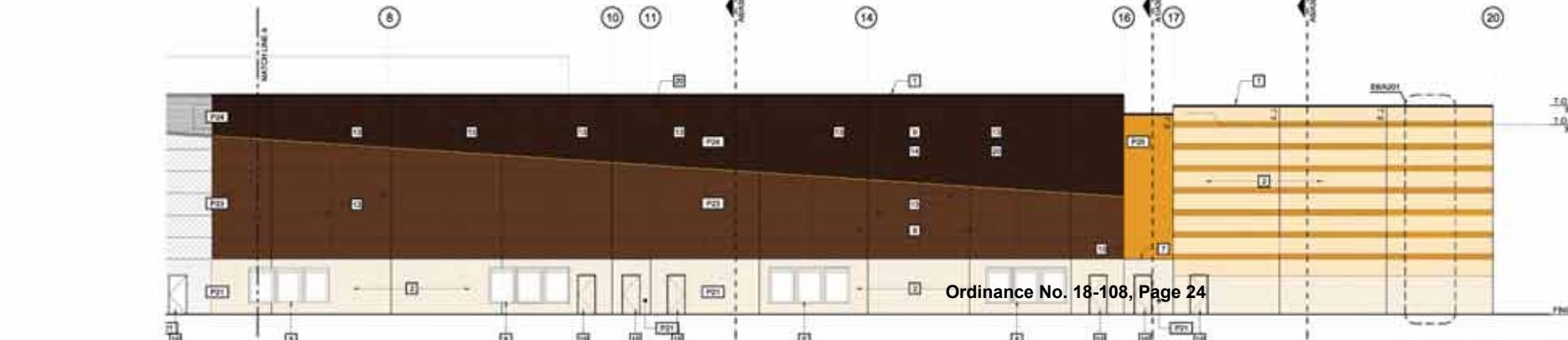
C1 NORTH ELEVATION - AREA 'A'

SCALE: 3'-0" x 10'



B6 EIFS DETAIL

SCALE: 3'-0" x 10'



Ordinance No. 18-108, Page 24

A1 SOUTH ELEVATION - AREA 'B'

SCALE: 3'-0" x 10'

- 1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
- 2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
- 3 When permitted, exposed utility boxes and conduits shall be painted to match the building.
- 4 All signage areas and locations are subject to approval by the Building Inspection Department.
- 5 Windows shall have a maximum exterior visible reflectivity of (10) percent.

A201



KEY NOTES

- PRE-FINISHED METAL COPING PER SPECIES
 - EXPOSED TILT WALL PANEL, TEXTURED PAINT
 - PARAPET BEYOND
 - STUCCO FINISH - PAINT P25
 - POSTER CASE SUPPLIED BY OWNER'S VENDOR, G.C. TO INSTALL AND PROVIDE POWER AND BLOCKING.
 - COPING LIGHT, RE: MFR, 824511
 - PAINT FACE OF ACCEDE PERPENDICULAR TO VIEW, P21
 - 3 1/2" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTION
 - 6" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTION
 - STAINLESS STEEL TILE - T11
 - STUCCO-FINISHED CANOPY - PAINT P28
 - TILE FINISH - TS
 - REVAL, T11, RE: CH400
 - CONTINUOUS COPING LIGHT MOUNTED ON WALL SYSTEM, RE: MFR & RE: 824511 SM
 - HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT COLOR, TYP
 - TIED-IN METAL DOWNSPOUT WITH 2 OVERFLOW DRAINS, TYP. PAINT TO MATCH P22, RE: CH400, MFR: 3 DIV, CH400
 - TIKTOK KIOSK SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G. C. TO INSTALL; PROVIDE POWER DATA AND BLOCKING
 - ANODIZED ALUMINUM STOREFRONT, RE: WINDOW & WINDOW SCHEDULE
 - TICKET COUNTER - ANODIZED ALUMINUM WINDOW, RE: WINDOW SCHEDULE
 - DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G. C. TO PROVIDE POWER & BLOCKING
 - REVAL, T22, RE: CH400
 - TLT WALL VERTICAL EXPANSION JOINTS T.LT, RE: ASH

WINTER:
1000 Chinese
1000000
10000000
100000000
1000000000

STRUCTURE

John & Susan Steigmann, Inc.
1 Northwood Drive
82000
Area: 708-777-8820
Fax: 708-777-8888

GENERAL NOTES

- PROVIDE EXPRESS WALL PACK TO BE MOUNTED 1' 0" ABOVE EMERGENCY EXIT DOOR FRAME AND C.O.C. OF EACH DOOR OPENING, RE. 4611
 - SEAL ALL EXTERIOR PENETRATIONS, CONTROLS, JOINTS AND JOINTS IN OSMOSIS WALL ASSEMBLIES
 - SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, RE. SPECIFICATIONS
 - ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES.
 - ALL EXTERIOR MATERIALS TO MEET LOCAL REQUIREMENTS AND SPECIFICATIONS
 - ALL BOXES AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISH MATERIALS.
 - INSTALL INTELLIGENTLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED. CAULK SHALL CHANGE COLORS AS REQUIRED TO MATCH ADJACENT MATERIAL, FIELD COLOR, COORDINATE EXACT COLORS WITH ARCHITECT. DO NOT PAINT CAULK.
 - SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR. REFER TO SPECIFICATIONS
 - ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITIES.

SCREENING NOTE

EXTERIOR GROUND, BUILDING, AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES. EQUIPMENT TO BE SCREENED INCLUDES, BUT IS NOT LIMITED TO: HEATING, AIR CONDITIONING, D REFRIGERATION EQUIPMENT, PLUMBING LINES, DUCTWORK, TRANSFORMERS, AND METER BANKS. SCREENING MATERIALS MAY BE SOLID OR PERFORATED, AND MAY BE PLACED ON THE GROUND, OR ATTACHED TO THE BUILDING. SCREENING MATERIALS SHALL BE COORDINATED WITH THE BUILDING ARCHITECTURE AND EFFECTIVELY SCREEN MECHANICAL EQUIPMENT SO THAT IT IS NOT VISIBLE FROM A PUBLIC STREET ALIGNMENT. SCREENING MATERIAL MAY HAVE EVENLY DISTRIBUTED OPENINGS, BUT NO OPENING MAY BE LARGER THAN 12 INCHES BY 12 INCHES. SCREENING MATERIALS NOT EXCEEDING 90 PERCENT OF THE SURFACE AREA OF THE EQUIPMENT ARE TO BE SCREENED IN AN ENCLOSURE, PARTIAL OR FULL, EXCEPT WHERE IT IS

FAÇADE MATERIAL ANALYSIS

WEST ELEVATION		
MATERIAL	AREA (SF)	%
1/2 ARCHITECTURALLY FINISHED CONCRETE	3415	42.9
STAINLESS STEEL-T11	488	6.1
STUCCO FINISH-PAINT	236	3
EXTERIOR PAINT	3812	48
TEXTURED PAINT		
1/2 ARCHITECTURALLY FINISHED CONCRETE	0	0
TOTAL	7,951	100

A1 EAST ELEVATION

MATERIAL	AREA (SF)	%
UPF ARCHITECTURALLY FINISHED CONCRETE	0	0
STAINLESS STEEL TILE (11)	0	0
STUCCO FINISH (PART P5)	746	8.7
EXTERIOR PAINT (PART P5)	0	0
TEXTURED PAINT	7799	91.3
ARCHITECTURALLY FINISHED CONCRETE	0	0
TOTAL	8545	100

NO.	DATE	REVISION ISSUE
	01/18/2018	ISSUE FOR PERMIT
	02/27/2018	OKD HEALTH DEPT. COM. (1)
	03/06/2018	CITY RESPONSES (1)
	04/13/2018	ISSUE FOR CONSTRUCTION

PROJECT NAME AND ADDRESS

NE CORNER OF N 300 W RD. AND E. COVELL RD.
EDMOND, OKLAHOMA 73034

PIRELLA ANDRE

更多資訊請上網查詢：www.104.com.tw 或撥打 104 服務專線：02-2787-3333

200-5

EXTERIOR ELEVATIONS

BRUNSWICK, 1912.

A202

AZUZ



Ordinance No. 18-108, Page 25

1 EAST ELEVATION
SCALE: 3/32" = 1'

A202

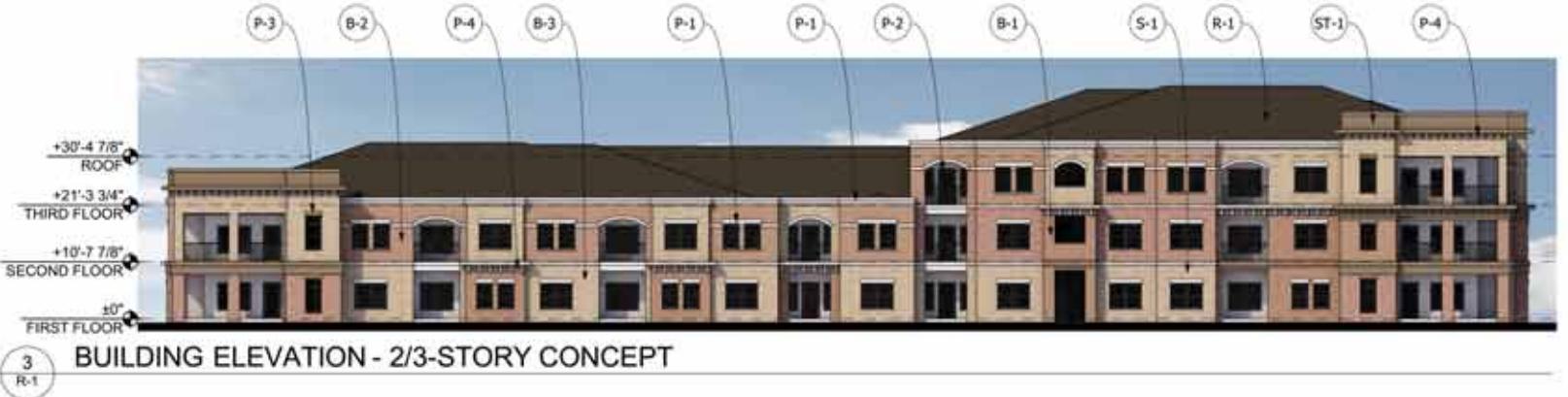
NOTES	
1	This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspector Division.
2	All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3	When permitted, exposed utility boxes and conduits shall be painted to match the building.
4	All signage areas and locations are subject to approval by the Building Inspection Department.
5	Windows shall have a maximum exterior visible reflectivity of 10% percent.

g1

GLA-ATL,LLC

649 11TH STREET
ATLANTA, GA 30310
PHONE: 404.228.1950
FAX: 404.228.1950

WWW.GLAATL.COM



MATERIAL CALCULATION (PHASE 2-BLDG. 1)		
TOTAL AREA (EXCLUDING GLAZING) IN SF: 4,675 = 100%		
MASONRY (BRICK/STONE) IN SF:	3,361 SF	72.2%
STUCCO IN SF: (TRIM/PAIRATE)	626 SF	13.6%
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	58 SF	1.2%



MATERIAL CALCULATION (3-Story Concept)		
TOTAL AREA (EXCLUDING GLAZING) IN SF: 7,414 = 100%		
MASONRY (BRICK/STONE) IN SF:	6,557 SF	88.0%
STUCCO IN SF: (TRIM/PAIRATE)	781 SF	10.3%
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	56 SF	0.7%



MATERIAL CALCULATION (4-Story Concept)		
TOTAL AREA (EXCLUDING GLAZING) IN SF: 11,078 = 100%		
MASONRY (BRICK/STONE) IN SF:	10,057 SF	90.8%
STUCCO IN SF: (TRIM/PAIRATE)	781 SF	7.0%
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	246 SF	2.2%

SITE PLAN	NOTES	FACADE PLANS						PROJECT INFO.		
	BUILDING HEIGHTS NUMBER OF STORIES: 4, 3, 2/3; RIDGE HEIGHT: 54'-11", 49'-5", 43'-7". NOTES: 1. NO. 11. MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING ORDINANCE. 2. ALL ELEVATION RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFER TO EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TILM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.									
	ABBREVIATIONS									
	<p>ALUM.: ALUMINUM BLDG.: BUILDING BIZWY.: BREEZEWAY FF.: FINISHED FLOOR STL.: STEEL</p> <p>ELEV. HGT.: ELEVATION HGT. DWG. NO.: DWG. TITLE SCALE: SCALE TITLE: TITLE</p>									
	Ordinance No. 18-108, Page 26									
								<p>Subdivision's Name: WestSide Block / Lot Number: A / 1-19 Client: Davis Development Phone: 770.424.5213 Address: 1050 Fagers Landing Parkway, Suite 300 Stockbridge, Georgia 30281 Architect: Gehber Lewis Assoc. Phone: 404.228.1958 Address: 649 11th St. Atlanta, Georgia 30310 Applicant: HCF Investments Phone: (214) 619-4930 Address: 15700 S.H. 121 Frisco, Texas 75033 Scale: AS NOTED Date: 11/07/2018 Drawn By: RT</p> <p>NOT RELEASED FOR CONSTRUCTION www.glaatl.com</p>		
								<p>*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER</p>		



gla

GLA-ATL, LLC

ATLANTA, 404.303.3300
VOICE: 404.228.1950
FAX: 404.228.0350

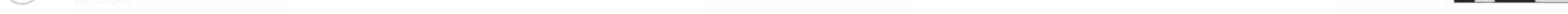
WWW.ELACADEMIA.ES

1 REAR/INTERIOR ELEVATION

R-2

1 REAR/INTERIOR ELEVATION

R-2



FAADE PLANS												PROJECT INFO.													
NOTES			NOTES	FAADE PLAN NOTES			MATERIAL LEGEND																		
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.	2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.	3 When permitted, exposed utility boxes and conduits shall be painted to match the building.	4 All signage areas and locations are subject to approval by the Building Inspection Department.	5 Windows shall have a maximum exterior visible reflectivity of (10) percent.	1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3 AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.	2. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.	3. BUILDING RENDERINGS REFLECT TIME DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS, INCLUDING DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.	4. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXISTING CURRENT SITE DESIGN. PLEASE REFER TO EXHIBIT D "ZONING SITE PLAN".	5. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION				
ABBREVIATIONS				ALUM.	ALUMINUM	ELEVATION HGT.		ST-1	S-1	VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REMINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: WEB GRAY NUMBER: SW7075 R:97, G:102, B:105 MATERIAL: SIDING	R-1		COLOR: BRONZE MATERIAL: WINDOWS (ALUM.)						
				BLDG.	BUILDING	DWG. NO. DWG. TITLE			ST-1	VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAPE NUMBER: SW7549 R:173, G:156, B:133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7115 R:204, G:201, B:192 MATERIAL: TRIM & GUTTER	R-2		VENDOR: CERTAINTTEED SERIES: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES						
				BZWEY.	BREEZEWAY	A1 DRAWING SCALE				VENDOR: BORAL BRICK COLOR: TARRYTOWN MATERIAL: CLAY-FIRED BRICK	B-6		VENDOR: SHERWIN WILLIAMS COLOR: URBAN BRONZE NUMBER: SW7048 R:84, G:80, B:24 MATERIAL: RAILINGS & DOORS	P-3		*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER.			Scale: AS NOTED	Date: 08/28/2018	Drawn By: BT				
				FF.	FINISHED FLOOR	A1 ENGL. TITLE																			
				STL.	STEEL																				
Ordinance No. 18-108, Page 27														NOT RELEASED FOR CONSTRUCTION		www.glaed.com									

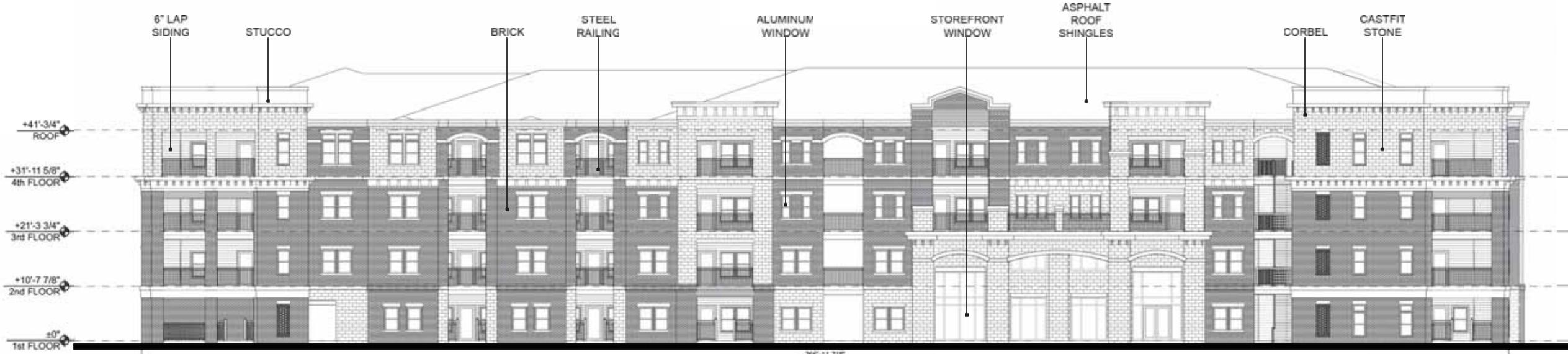


2 FRONT ELEVATION

R-3

SCALE: 3/32" = 1'-0"

E 10 24



BUILDING LEGEND		
MATERIAL	SQ. FT.	PERCENTAGE
BRICK	50%	50%
STONE	10%	10%
GLAZING	100%	10%

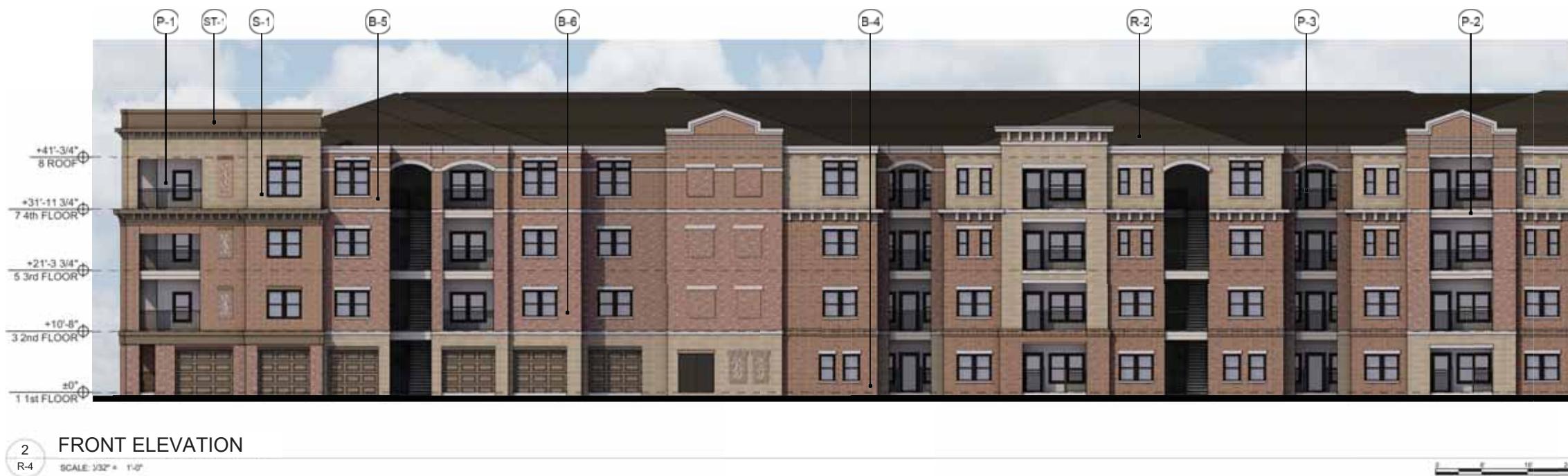
1 FRONT ELEVATION

R-3

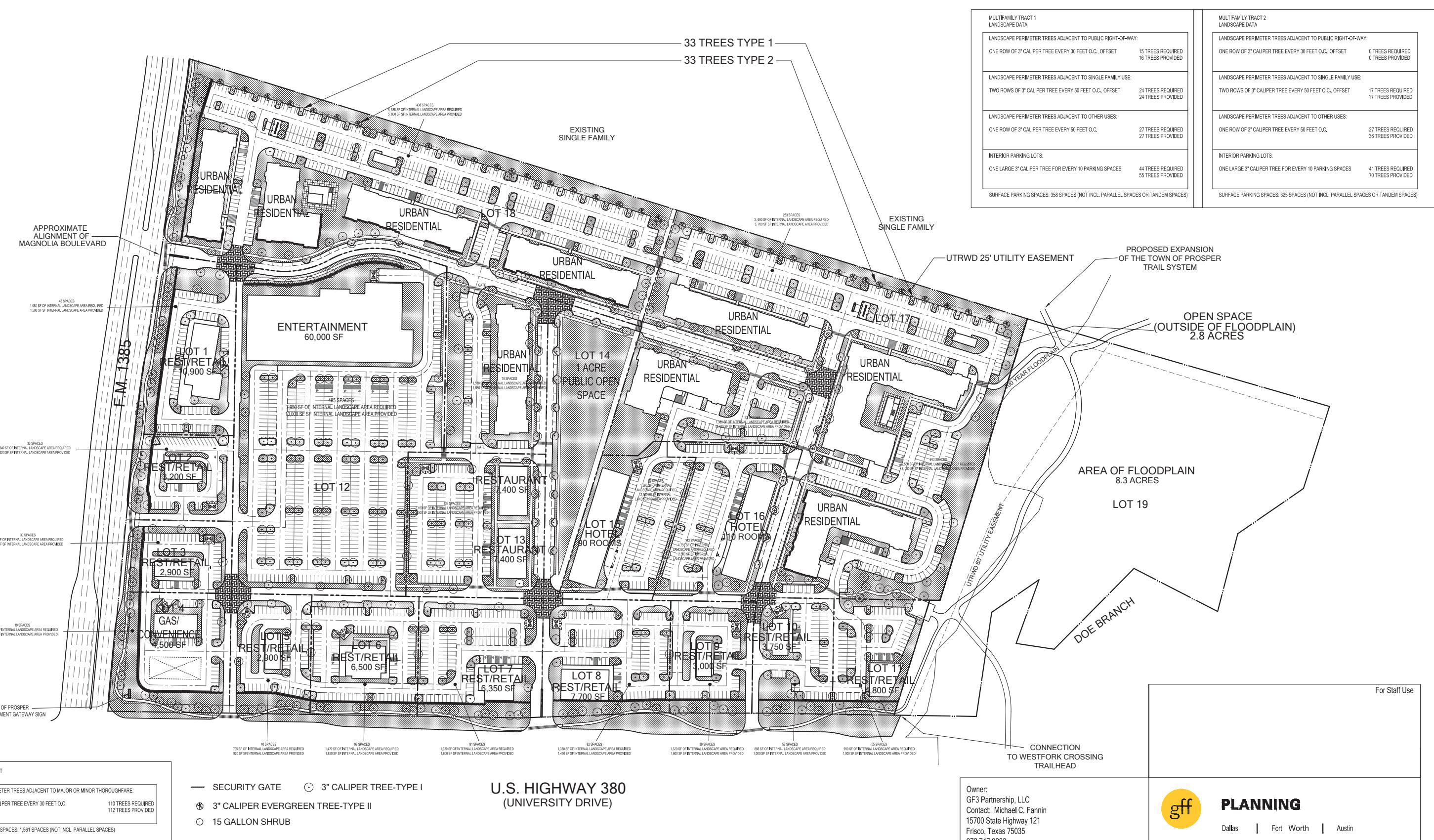
SCALE: 3/32" = 1'-0"

E 10 24

NOTES			NOTES	FACADE PLANS		MATERIAL LEGEND						PROJECT INFO.
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.			1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3 AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.									Subdivision's Name: WestSide Block / Lot Number: A / 1-19
2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.			2. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.									Client: Davis Development Phone: 770.474.5213
3 When permitted, exposed utility boxes and conduits shall be painted to match the building.			3. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE PROPOSED BUILDING. THEY DO NOT GET CREDIT FOR TRADE SERVICES AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.									Address: 1050 Eagles Landing Parkway, Suite 300, Stockbridge, Georgia 30081
4 All signage areas and locations are subject to approval by the Building Inspection Department.			4. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY. IT DOES NOT REFLECT EXACT CURRENT SITE DESIGN. PLEASE REFER TO THE "CONCEPTUAL SITE PLAN".									Architect: Gehber Lewis Assoc. Phone: 404.228.1958 Address: 649 11th St., Atlanta, Georgia 30318
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.			5. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.									Applicant: MCF Investments Phone: (214) 619-4930 Address: 15700 S.H. 121, Frisco, Texas 75035 Scale: AS NOTED Date: 08/28/2018 Drawn By: ET
NOTES			FACADE PLAN NOTES		MATERIAL LEGEND						PROJECT INFO.	



FAADE PLANS												PROJECT INFO.		
NOTES			NOTES	FAADE PLAN NOTES			MATERIAL LEGEND							
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.				1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.			1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.						Subdivision's Name: WestSide	
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4 All signage areas and locations are subject to approval by the Building Inspection Department.													Phone: 770.474.5213	
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.													Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281	
ABBREVIATIONS														
ALUM. ALUMINUM				4-OC ELEVATION HGT.									Architect: Gehber Lewis Assoc.	
BLDG. BUILDING				DWG. NO. DWG. TITLE									Phone: 404.228.1958	
BZY. BREEZEWAY				AS DRAWING									Address: 649 11th St. Atlanta, Georgia 30318	
FF. FINISHED FLOOR				SCALE									Applicant: MCF Investments	
STL. STEEL				AI DWG. TITLE									Phone: (214) 613-4930	
													Address: 15700 S.H. 131 Frisco, Texas 75035	
													Scale: AS NOTED	
													Date: 08/26/2018	
													Drawn By: BT	
													NOT RELEASED FOR CONSTRUCTION www.gisat.com	



COMMERCIAL TRACT LANDSCAPE DATA	
LANDSCAPE PERIMETER TREES ADJACENT TO MAJOR OR MINOR THOROUGHFARE: ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C. 110 TREES REQUIRED 112 TREES PROVIDED SURFACE PARKING SPACES: 1,361 SPACES (NOT INCL. PARALLEL SPACES)	



Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/30/18
Drawn by: BEM, RR, PA



PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "G"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres