

TOWN OF PROSPER, TEXAS

ORDINANCE NO. 18-108

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE NO. 05-20; REZONING A TRACT OF LAND CONSISTING OF 64.501 ACRES, MORE OR LESS, SITUATED IN THE B. HODGES SURVEY, ABSTRACT NO. 593, THE J. GONZALEZ SURVEY, ABSTRACT 447, THE P. BARNES SURVEY, ABSTRACT NO. 79, THE R. TAYLOR SURVEY, ABSTRACT NO. 1671, THE J. HAYNES SURVEY, ABSTRACT NO. 573, AND THE A. JAMISON SURVEY, ABSTRACT NO. 672, IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS, HERETOFORE ZONED AGRICULTURAL (A) AND SINGLE FAMILY-15 (SF-15) IS HEREBY REZONED AND PLACED IN THE ZONING CLASSIFICATION OF PLANNED DEVELOPMENT-94-MIXED USE (PD-94-MU); DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council"), has investigated and determined that the Town's Zoning Ordinance should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper"), received a request from MCF Investments ("Applicant"), to rezone 64.501 acres of land, more or less, situated in the B. Hodges Survey, Abstract No. 593, the J. Gonzalez Survey, Abstract 447, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the A. Jamison Survey, Abstract No. 672, in the Town of Prosper, Denton County, Texas; and

WHEREAS, the Town Council has investigated into and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required for rezoning have been given in the manner and form set forth by law, and public hearings have been held on the proposed rezoning and all other requirements of notice and completion of such zoning procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, THAT:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Amendments to the Town's Zoning Ordinance. The Town's Zoning Ordinance, adopted by Ordinance No. 05-20 is amended as follows: The zoning designation of the below-described

property containing 64.501 acres of land, more or less, situated in the B. Hodges Survey, Abstract No. 593, the J. Gonzalez Survey, Abstract 447, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the A. Jamison Survey, Abstract No. 672, in the Town of Prosper, Denton County, Texas, (the "Property") and all streets, roads and alleyways contiguous and/or adjacent thereto is hereby rezoned as Planned Development-94-Mixed Use (PD-94-MU). The property as a whole and the boundaries for each zoning classification are more particularly described in Exhibit "A" attached hereto and incorporated herein for all purposes as if set forth verbatim.

The development plans, standards, and uses for the Property in this Planned Development District shall conform to, and comply with 1) the Statement of Intent and Purpose, attached hereto as Exhibit "B"; 2) the Planned Development Standards, attached hereto as Exhibit "C"; 3) the Site Plan, attached hereto as Exhibit "D"; 4) the Development Schedule and Phasing Plan, attached hereto as Exhibit "E"; 5) the Elevations, attached hereto as Exhibit "F"; and 6) the Landscape Plan, attached hereto as Exhibit "G"; which are incorporated herein for all purposes as if set forth verbatim.

All development plans, standards, and uses for the Property shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two (2) original, official, and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One (1) copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy, and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this

Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

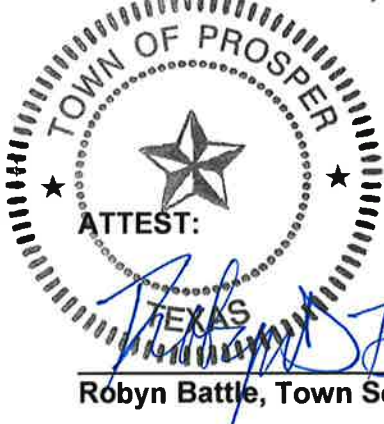
SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 11TH DAY OF DECEMBER, 2018.



Robyn Battle, Town Secretary

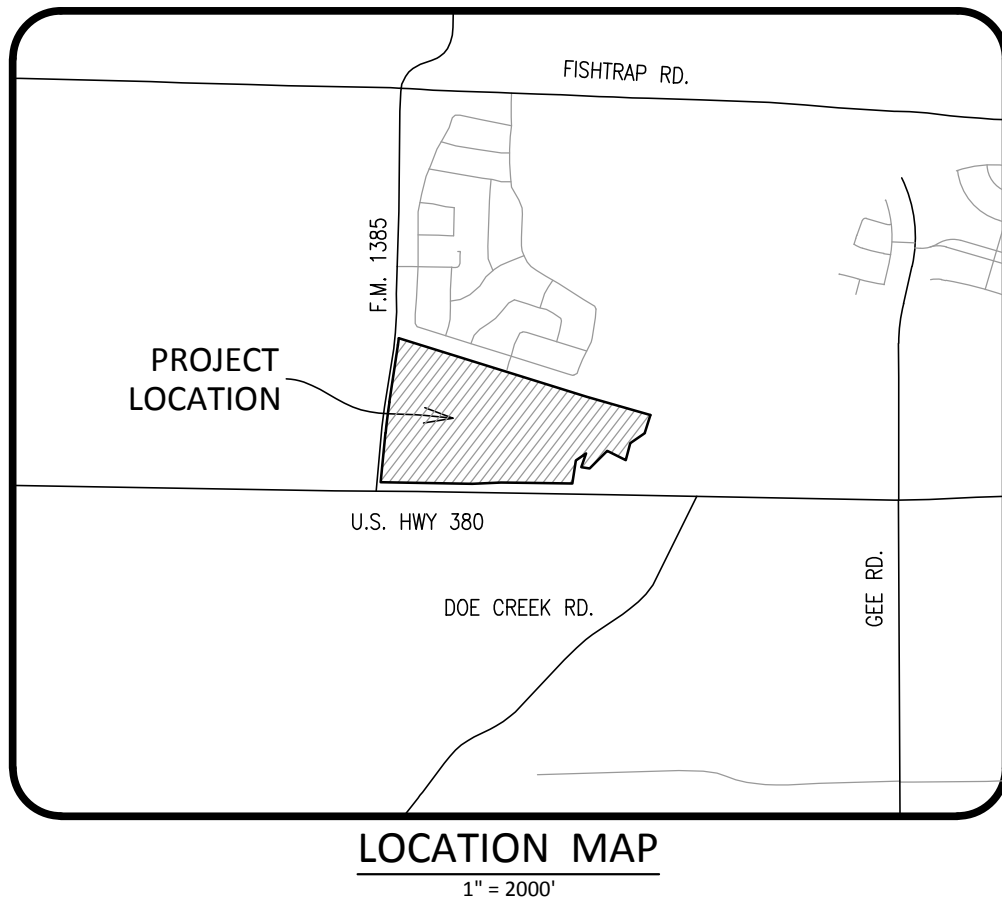
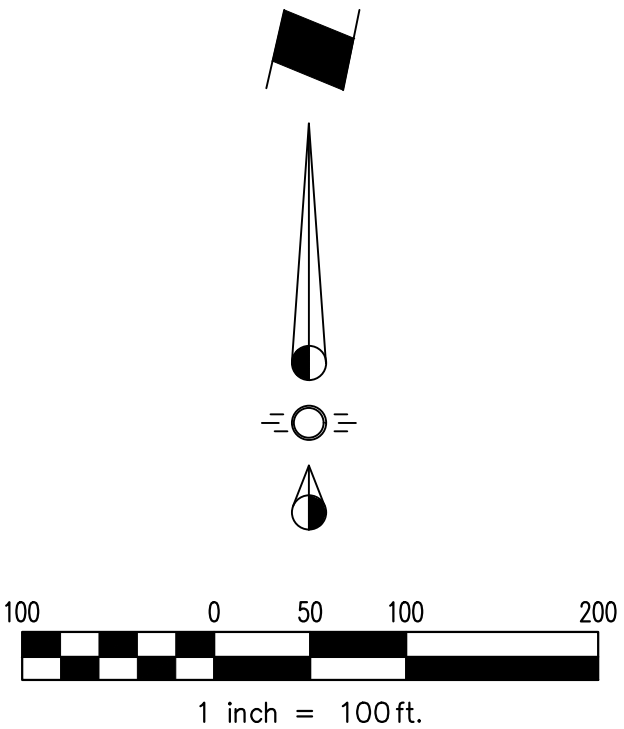
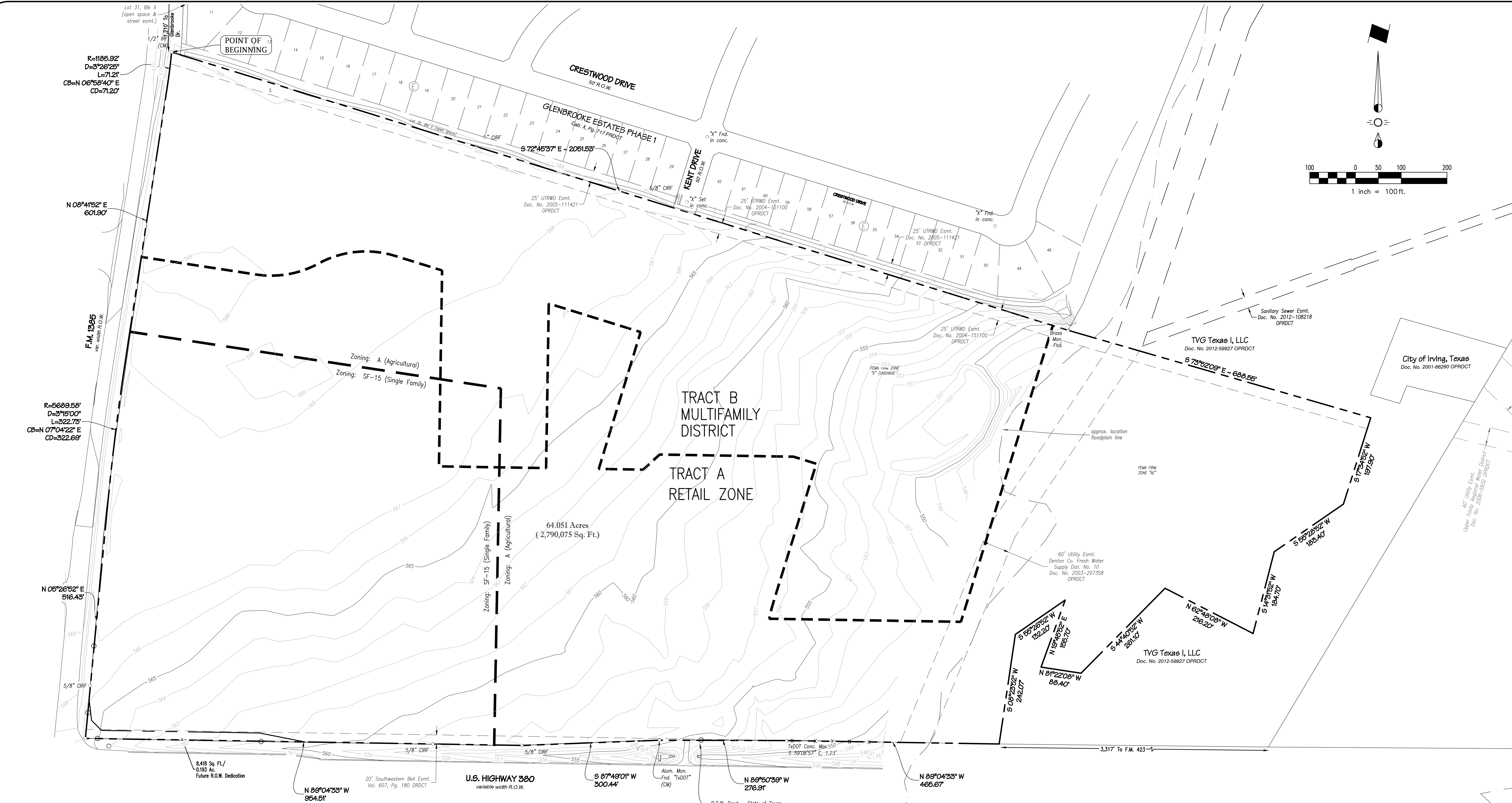


Ray Smith, Mayor

APPROVED AS TO FORM AND LEGALITY:



Terrence S. Welch, Town Attorney



METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the J. Gonzalez Survey, Abstract No. 447, the B. Hodges Survey, Abstract No. 593, the P. Barnes Survey, Abstract No. 79, the R. Taylor Survey, Abstract No. 1671, the J. Haynes Survey, Abstract No. 573, and the Angus Jamison Survey, town of Prosper, Denton County, Texas, the subject tract being a portion of a tract conveyed to M. Taylor Hansel according to the deed recorded in Document No. 94-91783 of the Official Public Records, Denton County, Texas (OPRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the east line of Farm to Market Road 1385 (F.M. 1385), a variable width right-of-way, for the southwest corner of Glenbrook Estates Phase 1, an addition recorded in Cabinet X, Page 717, Plat Records, Denton County, Texas;

THENCE S 72°45'37" E, 2051.53 feet along the south line of Glenbrook Estates Phase 1 to a U.S. Army Corps of Engineers brass monument found for the southeast corner thereof and a westerly corner of a tract conveyed to TVG Texas I, LLC, recorded in Document No. 2012-59927 OPRDCT;

THENCE along the common line thereof, the following:

S 73°52'09" E, 688.55 feet;

S 17°34'52" W, 197.90 feet;

S 55°28'52" W, 183.40 feet;

S 14°31'52" W, 184.70 feet;

N 62°48'08" W, 216.20 feet;

S 44°40'52" W, 261.10 feet;

N 81°22'08" W, 88.40 feet;

N 19°45'52" E, 155.70 feet;

S 55°26'52" W, 132.20 feet;

And S 08°23'52" W, 242.07 feet to the north line of U.S. Highway 380, a variable width right-of-way;

THENCE along the north line of U.S. Highway 380, the following:

N 89°04'33" W, 465.67 feet to a point from which a concrete right-of-way monument bears S 59°08'57" E, 1.23 feet;

N 89°50'39" W, 276.91 feet to an aluminum TxDOT monument found;

S 87°49'01" W, 300.44 feet to a 5/8" iron rod with plastic cap found;

And N 89°04'33" W, 954.51 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the intersection of the north line of U.S. Highway 380 with the east line of F.M. 1385;

THENCE along the east line of F.M. 1385, the following:

N 05°26'52" E, 516.43 feet;

A tangent curve to the right having a central angle of 03°15'00", a radius of 5689.58 feet, a chord of N 07°04'22" E - 322.69 feet, an arc length of 322.73 feet;

N 08°41'52" E, 601.90 feet;

And a tangent curve to the left having a central angle of 03°26'25", a radius of 1185.92 feet, a chord of N 06°58'40" E - 71.20 feet, an arc length of 71.21 feet to the POINT OF BEGINNING with the subject tract containing 2,790,075 square feet or 64.051 acres of land.

TOWN OF PROSPER CASE NO. Z18-0012
Exhibit A

WestSide
BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER Taylor Hansel P.O. Box 770 Frisco, Texas 75034	APPLICANT MCF Investments 15700 S.H. 121 Frisco, Texas 75035 Telephone (214) 619-4930 Contact: Mike Fannin	ENGINEER / SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 / TBPLS No. F-10043100 Contact: Kevin Wier
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Z18-0012
EXHIBIT B
STATEMENT OF INTENT AND PURPOSE
WESTSIDE

1. Statement of Intent

A. Overall Intent

The purpose of this project is to create a walkable urban neighborhood using a horizontal mix of uses. Access to shopping, housing, community retail and park land promotes a quality of life that nurtures the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document.

B. Description of Property

The subject property comprises approximately 64 acres of vacant land at the northeast corner of U.S. Highway 380 and F.M. 1385 in Prosper, Texas. It is additionally bounded by the Glenbrooke single family neighborhood to the north and Doe Branch Creek to the east. An existing trail exists along the property's north boundary and currently serves the adjacent single family neighborhood. This trail may extend into the Doe Branch drainage system and be part of the larger Town of Prosper Trails Plan.

C. Description of Proposed Property

The subject property as depicted in Exhibit "D" has been divided into two distinct sub-districts. The purpose of sub-district requirements is to define the character of new development within each sub-district. They have been carefully designed to allow enough flexibility for creative building solutions, while being prescriptive in areas necessary to preserve consistency throughout the development.

Given that the subject property resides at the hard corner of two major thoroughfares and will serve as a gateway to the Town of Prosper, a portion of land with a size yet to be determined, will be set aside as a signage easement for a Town gateway sign near the intersection of U.S. 380 and F.M. 1385.

2. Current Zoning and Land Uses

A. Current Zoning

The subject property comprises land that fall under two distinct zoning classifications. At the intersection of U.S. 380 and F.M. 1385 is a small portion of acreage that zoned for Single Family. The remainder of the property is zoned for Agriculture.

B. Future Land Use Plan

The Future Land Use Plan designates the entire subject property as US 380 District, which is defined as having a variety of uses, such as big box development, hotels, banks, gas/convenience and residential that serves as a buffer between the commercial and nearby single family.

Z18-0012
EXHIBIT C
DEVELOPMENT STANDARDS
WESTSIDE

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance, as it exists or may be amended, and the Subdivision Ordinance, as it exists or may be amended, shall apply.

Tract A – Retail District

- A1. Except as noted below, the Tract shall develop in accordance with the Retail District as it exists or may be amended.
- A2. Uses. Uses shall be permitted in accordance with the Retail District with the exception of the following:

Permitted Uses

1. Restaurant (with Drive-Through)
 - a. A restaurant with drive-through shall be permitted by right in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance. A maximum of two (2) noncontiguous drive-through restaurants shall be permitted along US 380, and a maximum of two (2) drive-through restaurants shall be permitted along FM 1385, as shown on Exhibit D.
2. Hotel, Limited Service
 - a. A maximum of two (2) limited service hotels shall be permitted by right on the subject property, as shown on Exhibit D, and shall otherwise be permitted in accordance with the Conditional Development Standards, outlined in the Zoning Ordinance.

Prohibited Uses:

1. Athletic Stadium or Field, Public
 2. Automobile Parking Lot/Garage
 3. Automobile Paid Parking Lot/Garage
 4. Recycling Collection Point
 5. School District Bus Yard
- A3. Regulations. Regulations shall be permitted in accordance with the Retail District with the exception of the following:
1. Maximum Height
 - a. Commercial Amusement, Indoor: Two (2) stories, no greater than fifty (50) feet at the parapet height, with an additional twenty (20) feet above the parapet for a marquee.
 - b. Hotel, Limited Service: Five (5) stories, no greater than seventy-five (75) feet.
 - i. Minimum height of four (4) stories.
- A4. Design Guidelines
1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.

- b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission. Façade Plans for the Limited Service Hotels and the Indoor Commercial Amusement uses shall also be subject to Town Council approval.

2. Architectural Standards

- a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick or stone)
 - i. Commercial Amusement, Indoor may utilize architectural finished concrete as a primary masonry material, and may be used for up to one hundred percent (80%) of a building elevation, as shown on Exhibit F. In addition, a maximum of ten percent (10%) secondary material, and minimum of ten percent (10%) stone, per elevation, shall be required for Commercial Amusement, Indoor.
 - ii. Limited Service Hotels may utilize sintered stone as a primary masonry material, as shown on Exhibit F.
- b. For retail/restaurant uses, no more than thirty percent (30%) of each façade elevation shall use wood-based high pressure laminate (i.e. Prodema, Trespa, CompactWood), as shown on Exhibit F.
- c. No more than fifteen percent (15%) of each façade elevation may use a combination of accent materials such as cedar or similar quality decorative wood, architectural metal panel, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features. Commercial Amusement, Indoor shall be limited to a maximum ten percent (10%).
- d. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, marquees and roof forms whose area in plan is no greater than fifteen percent (15%) of the ground floor footprint may exceed the height limits by up to ten feet (10').
- e. No single material shall exceed eighty percent (80%) percent of an elevation area. Except for Commercial Amusement, Indoor, a minimum of twenty percent (20%) of the front façade and all facades facing public right-of-way shall be natural or manufactured stone. A minimum of ten percent (10%) of all other facades shall be natural or manufactured stone. Commercial Amusement, Indoor shall require a minimum ten percent (10%) stone, per elevation.
 - i. All buildings shall be designed to incorporate a form of architectural articulation every thirty feet (30'), both horizontally along each wall's length and vertically along each wall's height. Acceptable articulation may include the following:
 - ii. Canopies, awnings, or porticos;
 - iii. Recesses/projections;
 - iv. Arcades;
 - v. Arches;
 - vi. Display windows, including a minimum sill height of thirty (30) inches;
 - vii. Architectural details (such as tile work and moldings) integrated into the building facade;
 - viii. Articulated ground floor levels or base;
 - ix. Articulated cornice line;
 - x. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xi. Offsets, reveals or projecting rib used to express architectural or structural bays; or
 - xii. Varied roof heights;

- f. All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features.
- g. Except for the Commercial Amusement, Indoor, all primary and secondary exterior building materials (exclusive of glass) shall be of natural texture and shall be neutrals, creams, or other similar, non-reflective earth tone colors. Bright, reflective, pure tone primary or secondary colors, such as red, orange, yellow, blue, violet, or green are not permitted.
- h. Corporate identities that conflict with the building design criteria shall be reviewed on a case-by-case basis and approved by the Director of Development Services or his/her designee. The applicant may appeal the decision to the Planning & Zoning Commission and Town Council using the appeal procedure in Chapter 4, Section 1 of the Town's Zoning Ordinance.
- i. Exposed conduit, ladders, utility boxes, and drain spouts shall be painted to match the color of the building or an accent color. Natural metal finishes (patina) are an acceptable alternative to paint.
- j. All retail/commercial buildings with facades greater than two hundred feet (200') in length shall incorporate wall plane projections or recesses that are at least six feet (6') deep. Projections/recesses must be at least twenty five percent (25%) of the length of the facade. Except for Commercial Amusement, Indoor, no uninterrupted length of facade may exceed one hundred feet (100') in length.

3. Windows and Doors

- a. All ground floor front facades of buildings along streets or public ways with on-street parking or that face directly onto Open Space and contain non-residential uses shall have transparent storefront windows covering no less than thirty percent (30%) of the façade area. Hotels shall have no less than ten percent (10%) of the façade.
 - i. Clear glass is required in all non-residential storefronts. Smoked, reflective, or black glass that blocks two-way visibility is only permitted above the first story. Windows shall have a maximum exterior visible reflectivity of thirty percent (30%).
- b. At the time of Site Plan in conjunction with the detailed Façade Plans for a Limited Service Hotel, window detailing shall be provided, including but not limited to articulations, recesses, and/or projections.

4. Awning, Canopies, Arcades, and Overhangs

- a. Awnings shall not be internally illuminated.
- b. Canopies shall not exceed one hundred linear feet (100') without a break of at least five feet (5').
- c. Awnings and canopies shall not extend beyond ten feet (10') from the main building façade.

A5. Additional Standards

1. Open Space

- a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.

- ii. The urban park open space shall be constructed at the time of construction of phase 1. The urban park open space shall be constructed at the developer's cost.
 - iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
2. Landscape Screening and Buffering
- a. A thirty-foot (30') landscape easement shall be required along roadways when an adjacent building sides or backs the road. The landscape buffer shall consist of a minimum three-foot (3') foot berm.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Urban and Rural Open Space.
 - d. Berming shall be required behind the Entertainment/Indoor Commercial Amusement structure located in Phase 2A as reflected on the Phasing Diagram.
3. Lot Frontage
- a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.

Tract B – Multifamily District

- B1. Except as noted below, the Tract shall develop in accordance with the Multifamily District as it exists or may be amended.
- B2. Multifamily Construction
 - 1. For Phase 1B, as shown on Exhibit E2, which consists of a maximum of 243 units, construction may not commence until construction of the first floor framing has begun on the restaurant/retail building as shown on Lot 8 on Exhibit D and the Limited Service Hotel on Lot 15 on Exhibit D.
 - 2. For Phase 2B, as shown on Exhibit E2, which consists of a maximum of 237 units, construction may not commence until vertical construction has begun on a minimum fifty thousand (50,000) square foot Indoor Commercial Amusement building or similar size retail building.
- B3. Regulations. Regulations shall be permitted in accordance with the Multifamily District with the exception of the following:
 - 1. Maximum Number of Units: Four hundred and eighty (480) units.

2. Maximum Height:
 - a. Two (2) stories, no greater than forty feet (40') for buildings within one hundred (100) feet of a single family zoning district.
 - b. Three (3) stories, no greater than fifty feet (50').
 - c. Four (4) stories, no greater than sixty-five feet (65').
3. Size of Yards
 - a. In accordance with Exhibit D.
4. Minimum Dwelling Area
 - a. One (1) bedroom: 650 square feet
 - b. Two (2) bedroom: 925 square feet
 - c. Three (3) bedroom: 1,150 square feet
5. Lot Coverage: Maximum fifty percent (50%)

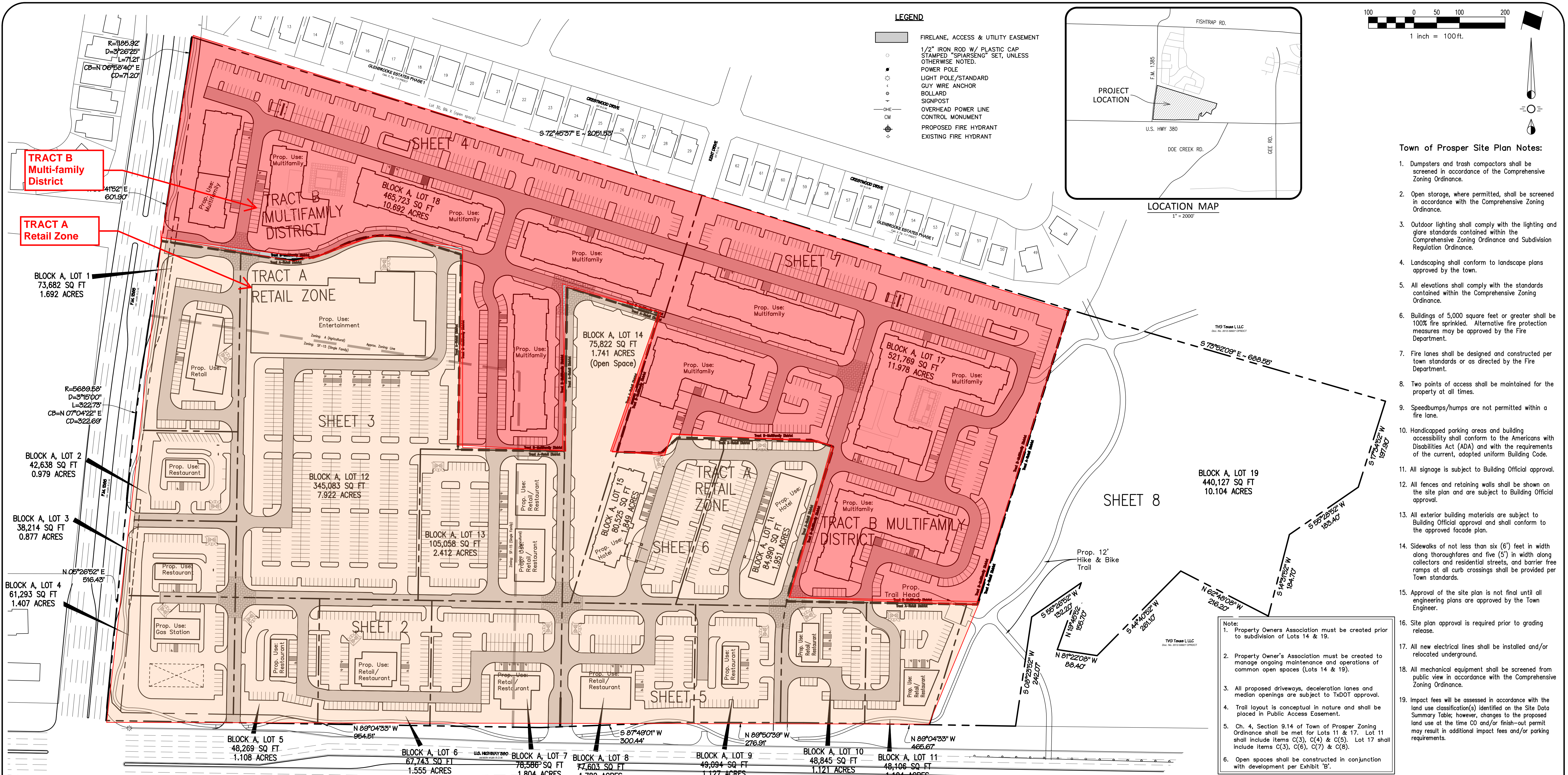
B4. Design Guidelines

1. Elevation Review and Approval
 - a. Conceptual Elevations, conforming to Exhibit F, shall be submitted at the time of Preliminary Site Plan, subject to approval by the Planning & Zoning Commission.
 - b. Detailed Façade Plans conforming to the Conceptual Elevations shall be submitted for each building at the time of Site Plan, subject to approval by the Planning & Zoning Commission.
2. Architectural Standards
 - a. At least eighty percent (80%) of each building's façade (excluding doors and windows) shall be finished in one of the following materials: Masonry (brick and stone).
 - b. No more than fifteen percent (15%) of each façade elevation shall use a combination of accent materials such as cedar or similar quality decorative wood, fiber cement siding, resin-impregnated wood panel system, cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty, architectural metal panel, split-face concrete block, tile, stucco, or Exterior Insulating Finishing System (EIFS). Stucco and EIFS may only be used eight feet (8') above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and molding features.
 - c. Any enclosed one or two-car garage shall be designed and constructed of the same material as the primary building.

B5. Additional Standards

1. Open Space
 - a. Urban Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of one (1) acre of useable land area that will serve as the central park to the commercial development. A minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Rural Open Space; a minimum of one (1) pedestrian connection shall be required from the Urban Open Space to the Glenbrooke neighborhood via Kent Drive. Gates and/or fencing on any pedestrian or vehicular way accessing Kent Drive shall be prohibited.
 - ii. The urban park open space shall be constructed at the time of construction of Phase 1. The urban park open space shall be constructed at the developer's cost.

- iii. The hike and bike trail system and trailhead shall be constructed at the time of construction of phase 1B. The hike and bike trail system shall be constructed at the developer's cost.
 - b. Rural Open Space
 - i. An open space as depicted on the Landscape Plan (Exhibit G) shall comprise a minimum of nine (9) acres of useable land area that will serve the greater community with both active and passive open space.
 - c. Combined Urban Open Space and Rural Open Space shall collectively satisfy all Open Space requirements for both Tract A and Tract B as required by the Town of Prosper Zoning Ordinance.
- 2. Landscape Screening and Buffering
 - a. As depicted on the Landscape Plan (Exhibit G), two (2) rows of minimum three inch (3") caliper trees every fifty feet (50') on center, offset, shall be planted along the northern property line.
 - b. A minimum of twenty feet (20') of landscape easement shall be exclusive of all utility easements, right turn lanes, drainage easements, and rights-of-way. None of the required trees and/or shrubs shall be located within any utility easement, except for the twenty-five foot (25') UTRWD utility easement that currently resides immediately south of the property's north property line.
 - c. A minimum ten-foot (10') landscape buffer is required adjacent to Rural Open Space.
- 3. Lot Frontage
 - a. Lots are not required to front on a public right-of-way, provided an access easement is established by plat prior to issuance of a Certificate of Occupancy (CO) for any building on a lot not fronting on right-of-way.
- 4. Parking
 - a. Minimum "Off-Street" Parking. For the purpose of this ordinance, off-street parking shall mean any parking not located immediately adjacent to and along public drives (i.e. parallel parking) used for internal circulation throughout the development.
 - i. One (1) and two (2) bedroom units: 1.8 parking spaces per unit.
 - ii. Three (3) bedroom units: 2.0 parking spaces per unit.
 - b. Tandem parking shall count towards the parking provided for each designated tract or phase that the parking resides within.
 - c. Surface parallel parking that is provided along interior drives shall count towards the parking provided for each designated tract or phase that the parking resides within.
- 5. The provisions of Chapter 4, Section 9.14 (Non-Residential and Multifamily Development Adjacent to a Major Creek) shall apply to the proposed development.
- 6. The provisions of Chapter 4, Section 9.16 (Residential Open Space) shall apply to the proposed development.
- 7. The provision of Chapter 4, Section 9.17 (Multifamily Site Design) shall not apply to the proposed development.



SITE DATA SUMMARY TABLE																			
LOT	ZONING	PROPOSED USE	LOT AREA		FIRST FLOOR BUILDING AREA (SF)	TOTAL BUILDING AREA (SF)	UNIT COUNT	BUILDING HEIGHT (ft)	MAX. BUILDING HEIGHT (story)	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)
			SF	AC															
1	PD	RETAIL	73,682	1.69	10,950	10,950	N/A	40'	1	14.9%	0.1486:1	1:250	44	62	2	2	930	34,878	33,874
2	PD	RESTAURANT W/ D.T.	42,638	0.98	3,172	3,172	N/A	40'	1	7.4%	0.0744:1	1:100	32	33	1	1	495	13,906	25,754
3	PD	RESTAURANT W/ D.T.	38,214	0.88	2,872	2,872	N/A	40'	1	7.5%	0.0752:1	1:100	29	32	1	1	480	12,064	24,600
4	PD	GAS STATION	61,293	1.41	4,500	4,500	N/A	40'	1	7.3%	0.0734:1	1:250	18	28	1	1	420	21,561	35,374
5	PD	RESTAURANT W/ D.T.	48,269	1.11	2,880	2,880	N/A	40'	1	6.0%	0.0597:1	1:100	29	41	1	1	615	15,949	30,349
6	PD	RETAIL/RESTAURANT	67,743	1.56	6,447	6,447	N/A	40'	1	9.5%	0.0952:1	1:75	86	98	4	4	1,470	24,584	38,417
7	PD	RETAIL/RESTAURANT	78,586	1.80	6,321	6,321	N/A	40'	1	8.0%	0.0804:1	1:75	85	102	4	4	1,530	26,625	46,460
8	PD	RETAIL/RESTAURANT	77,603	1.78	7,700	7,700	N/A	40'	1	9.9%	0.0992:1	1:75	103	99	4	4	1,485	24,516	47,655
9	PD	RESTAURANT W/ D.T.	49,094	1.13	2,931	2,931	N/A	40'	1	6.0%	0.0597:1	1:100	30	44	2	2	660	16,273	29,209
10	PD	RETAIL/RESTAURANT	48,845	1.12	3,756	3,756	N/A	40'	1	7.7%	0.0769:1	1:75	51	53	3	3	795	18,171	27,255
11	PD	RETAIL/RESTAURANT	48,106	1.10	4,805	4,805	N/A	40'	1	10.0%	0.0999:1	1:75	65	65	3	3	975	20,260	24,479
12	PD	ENTERTAINMENT	345,083	7.92	56,000	56,000	N/A	50'	2	16.2%	0.1623:1	1:150	374	494	12	12	7,410	105,889	221,992
13	PD	RETAIL/RESTAURANT	105,058	2.41	14,819	29,638	N/A	40	1	14.1%	0.2821:1	1:250	119	152	6	6	2,280	35,118	62,586
14	PD	OPEN SPACE	75,822	1.74	N/A	N/A	N/A	N/A		N/A	N/A	N/A	N/A	20	N/A	N/A	N/A	N/A	17,207
15	PD	HOTEL	80,525	1.85	17,820	72,600	110	75'	5	22.1%	0.9016:1	91 Rooms @ 1 per room	91	98	5	5	1,470	28,563	42,261
16	PD	HOTEL	84,990	1.95	14,520	72,600	120	75'	5	17.1%	0.8542:1	120 Rooms @ 1 per room	120	122	5	5	1,830	30,154	54,243
17	PD	MULTIFAMILY	521,769	11.98	111,516	319,215	243 (116 - 18, 103 - 28, 24 - 38)	65'	4	21.4%	0.6118:1	1.8 per 1B&2B unit 2.0 per 3B unit	443	529	10	10	7,935	141,562	214,547
18	PD	MULTIFAMILY	465,723	10.69	99,752	282,821	237 (119 - 18, 93 - 28, 25 - 38)	65'	4	21.4%	0.6073:1	1.8 per 1B&2B unit 2.0 per 3B unit	432	443	10	10	6,645	160,528	210,529
19	PD	OPEN SPACE	440,127	10.10	N/A	N/A	N/A	N/A		N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	16,996
Total=			2753170	63.20	370,761	889,208							2,151	2,455					383,729

SHT. 1 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide
BLOCK A, LOTS 1-19
BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)

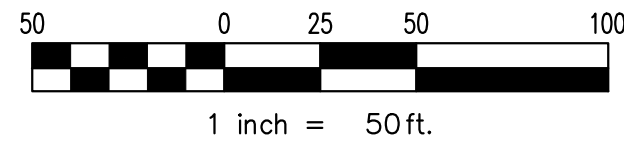
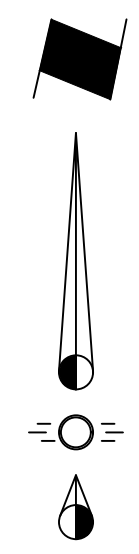
IN THE B. HODGES SURVEY, ABSTRACT NO. 593 &
IN THE J. GONZALEZ SURVEY, ABSTRACT NO. 447 &
IN THE P. BARNES SURVEY, ABSTRACT NO. 79 &
IN THE R. TAYLOR SURVEY, ABSTRACT NO. 1671 &
IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY

TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
Taylor Hansel
P.O. Box 770
Frisco, Texas 75034

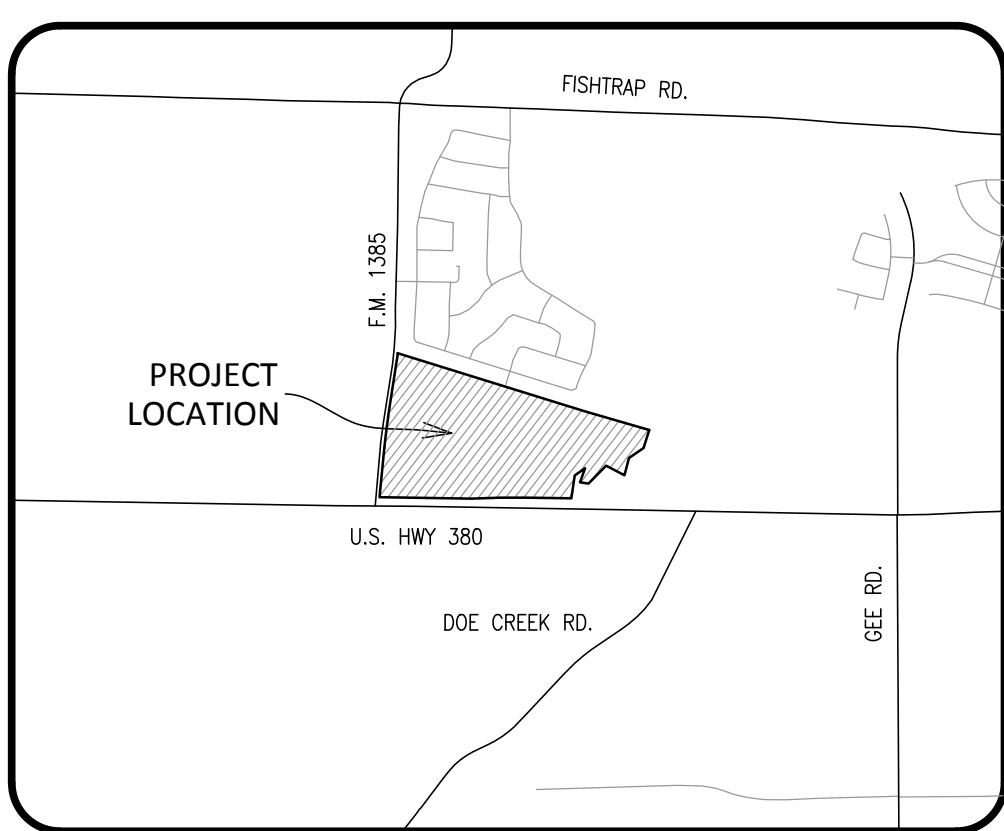
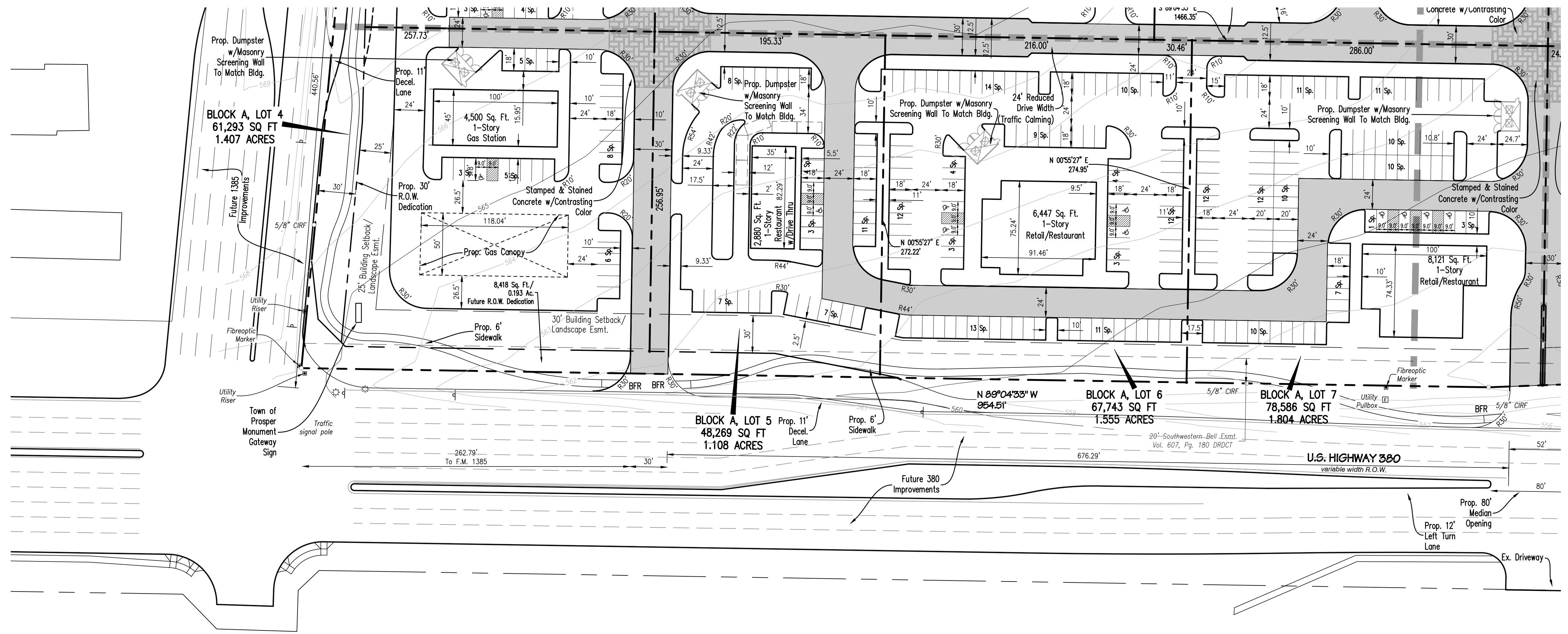
APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier



MATCHLINE SHT. 3

MATCHLINE SHT. 5



LOCATION MAP
1" = 200'

All dimensions are to face of curb or edge of building unless otherwise noted.

- Notes:**
1. The thoroughfare alignments shown on this exhibit are for illustration purposes and does not set the alignment. The alignment is determined at time of final plat.
 2. No 100 year FEMA floodplain exists onsite.
 3. Headlight screening will be provided in accordance with Town Standards.

LEGEND

- FIRELANE, ACCESS & UTILITY EASEMENT
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED.
- POWER POLE
- LIGHT POLE/STANDARD
- GUY WIRE ANCHOR
- BOLLARD
- SIGNPOST
- OVERHEAD POWER LINE
- CONTROL MONUMENT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

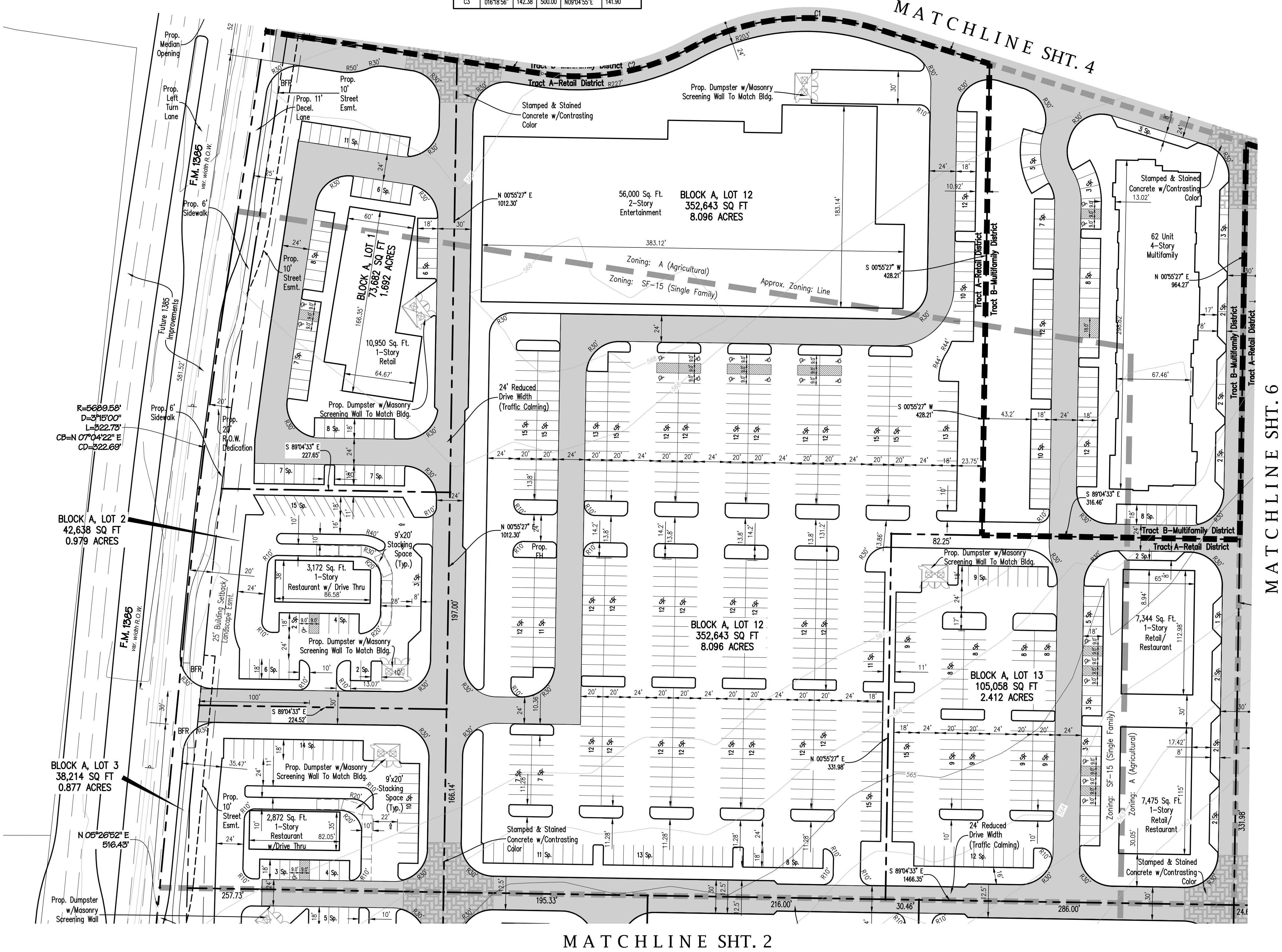
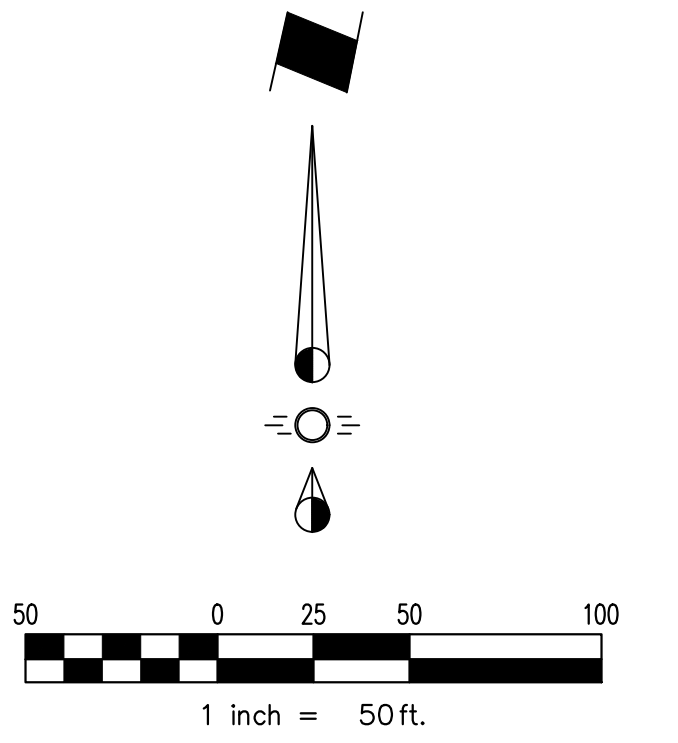
SHT. 2 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

BLOCK A, LOTS 1-19
BEING 64.501 ACRES OF LAND (GROSS)
63.858 ACRES OF LAND (NET)
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IN THE J. HAYNES SURVEY, ABSTRACT NO. 573 &
IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER Taylor Hansel P.O. Box 770 Frisco, Texas 75034	APPLICANT MCF Investments 15700 S.H. 121 Frisco, Texas 75035 Telephone (214) 619-4930 Contact: Mike Fannin	ENGINEER / SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 / TBPLS No. F-10043100 Contact: Kevin Wier
--	--	---

Curve #	Delta	Length	Radius	Chord Bearing	Chord Length
C1	045°59'30"	172.58	215.00	N84°14'38"E	167.99
C2	037°26'59"	140.53	215.00	N79°58'22"E	138.04
C3	016°18'56"	142.38	500.00	N09°04'55"E	141.90

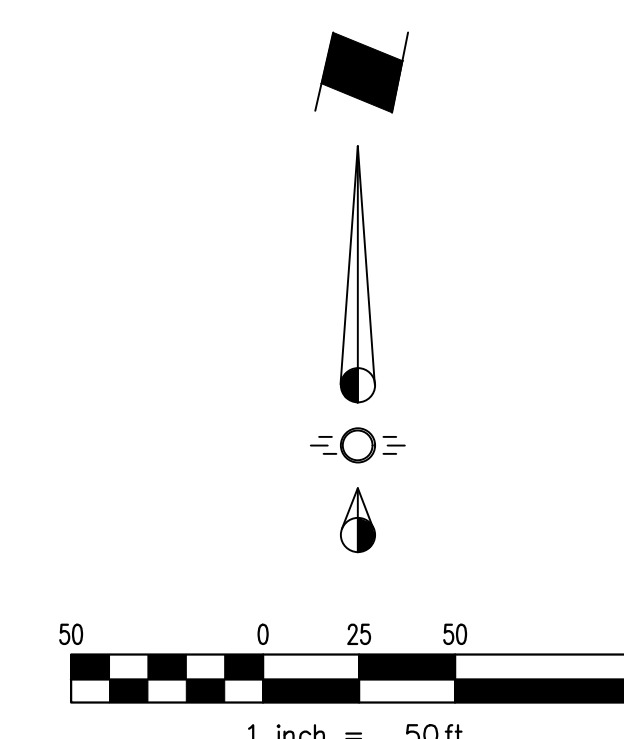


SHT. 3 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

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Lot Line Curve Table				
Curve #	Delta	Length	Radius	Chord Bearing
C1	045°59'30"	172.58	215.00	N84°14'38"E
C2	037°26'59"	140.53	215.00	N79°58'22"E
C3	016°18'56"	142.38	500.00	N08°04'55"E

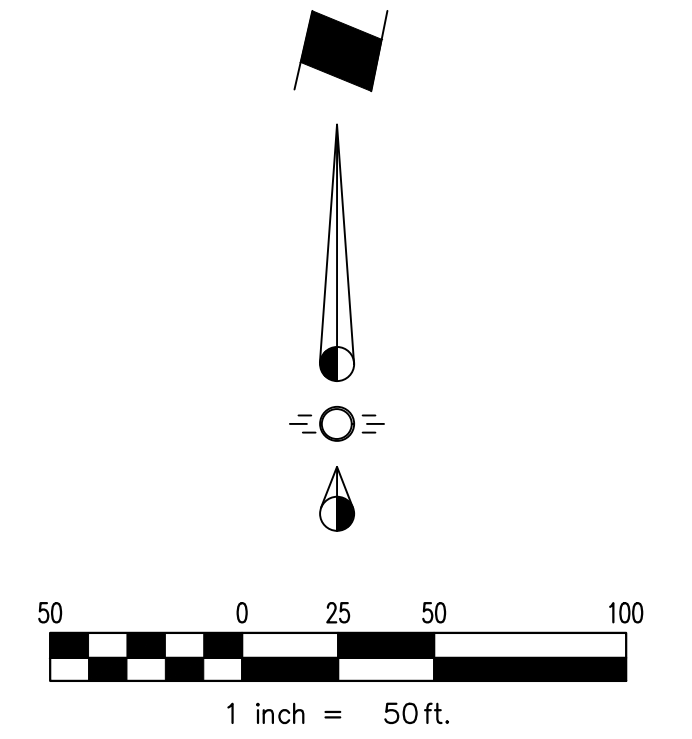
SHT. 4 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

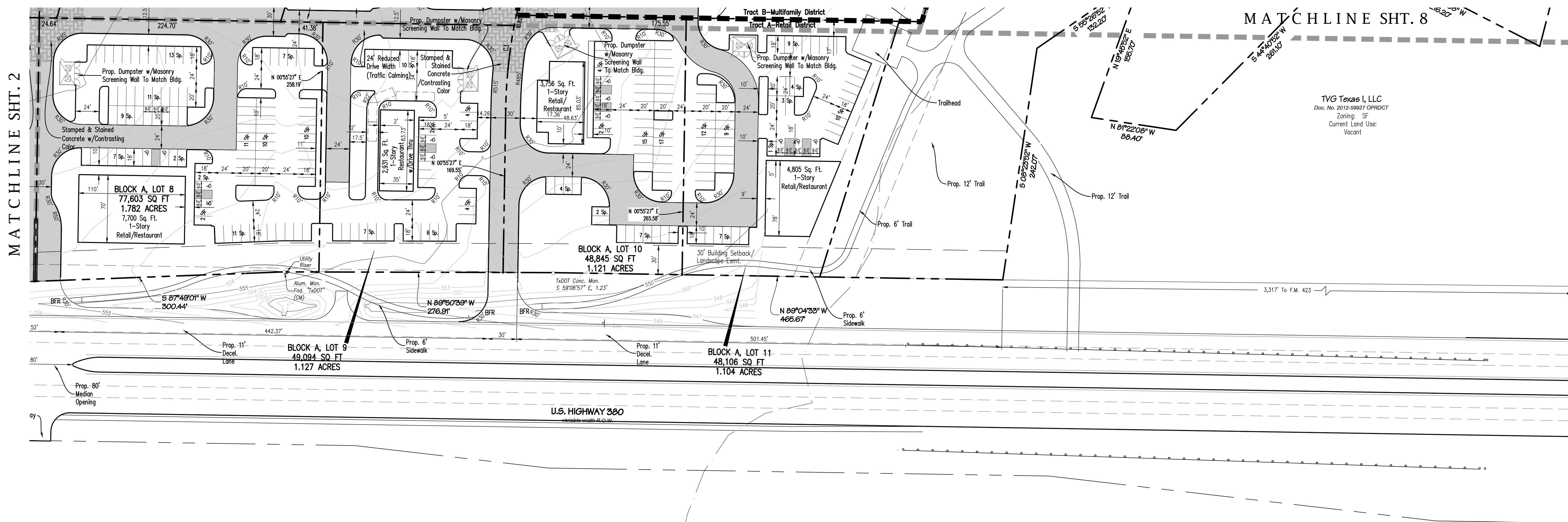
BLOCK A, LOTS 1-19
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TOWN OF PROSPER, DENTON COUNTY, TEXAS

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MATCHLINE SHT. 6

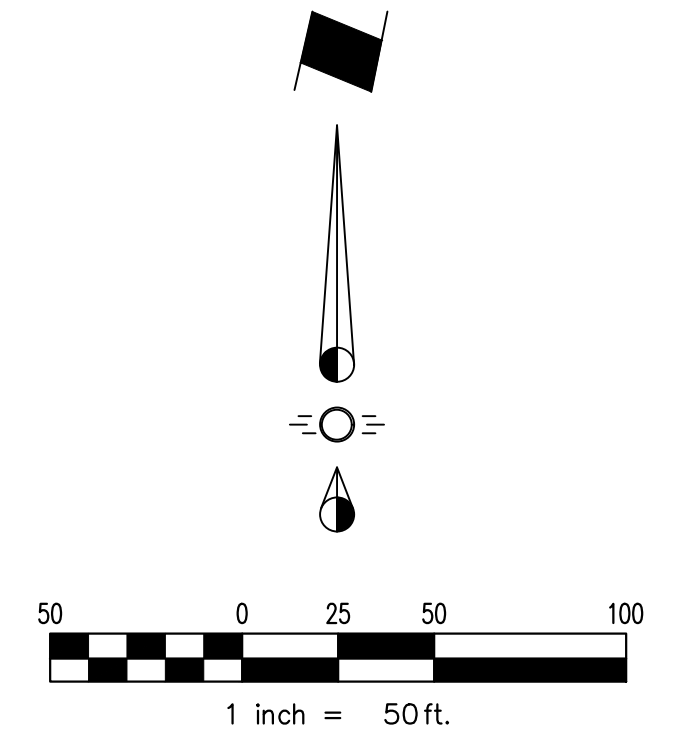
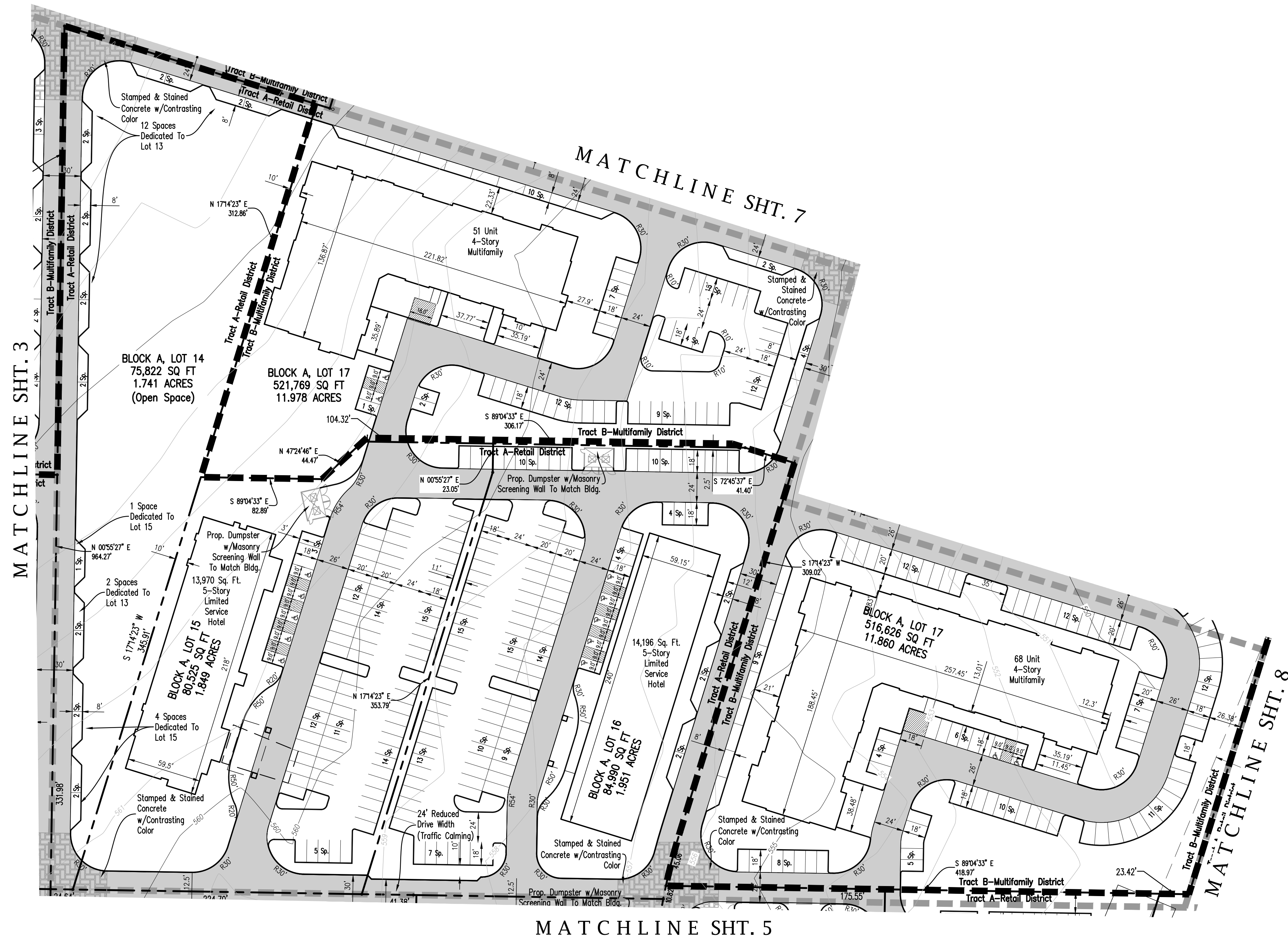


Lot Line Curve Table					
Curve #	Delta	Length	Radius	Chord Bearing	Chord Length
C1	045°59'30"	172.58	215.00	N84°14'38"E	167.99
C2	037°26'58"	140.53	215.00	N79°58'22"E	138.04
C3	016°18'56"	142.38	500.00	N69°04'55"E	141.90

SHT. 5 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide
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SHT. 6 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

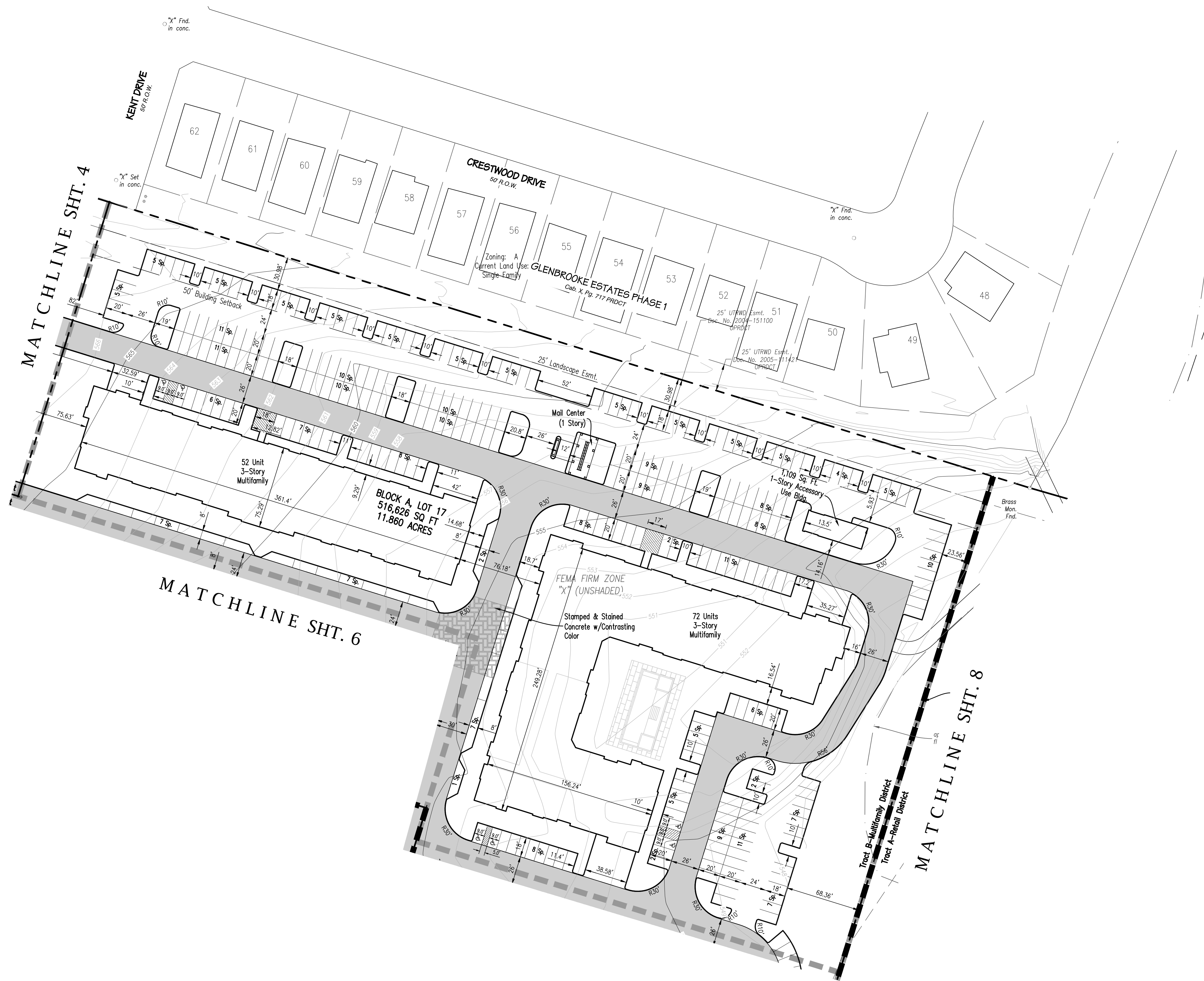
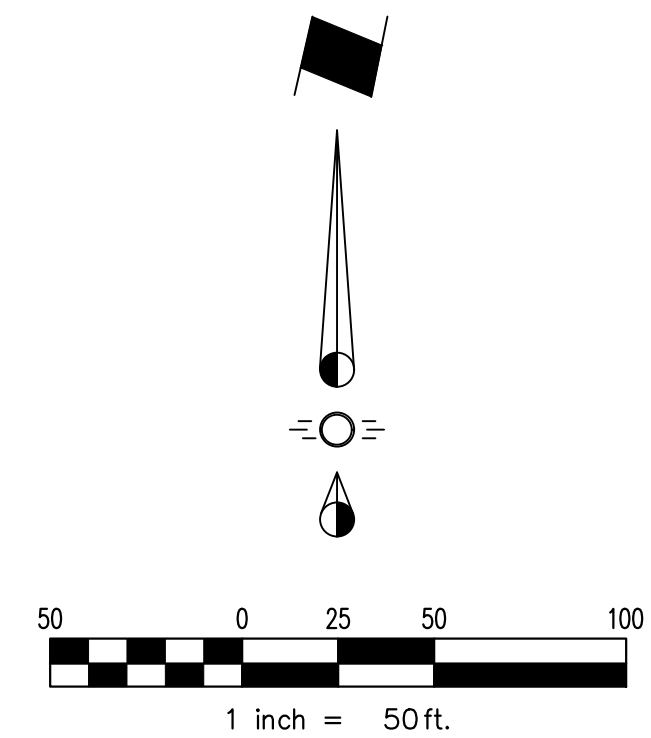
WestSide

BLOCK A, LOTS 1-19
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IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
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Frisco, Texas 75034

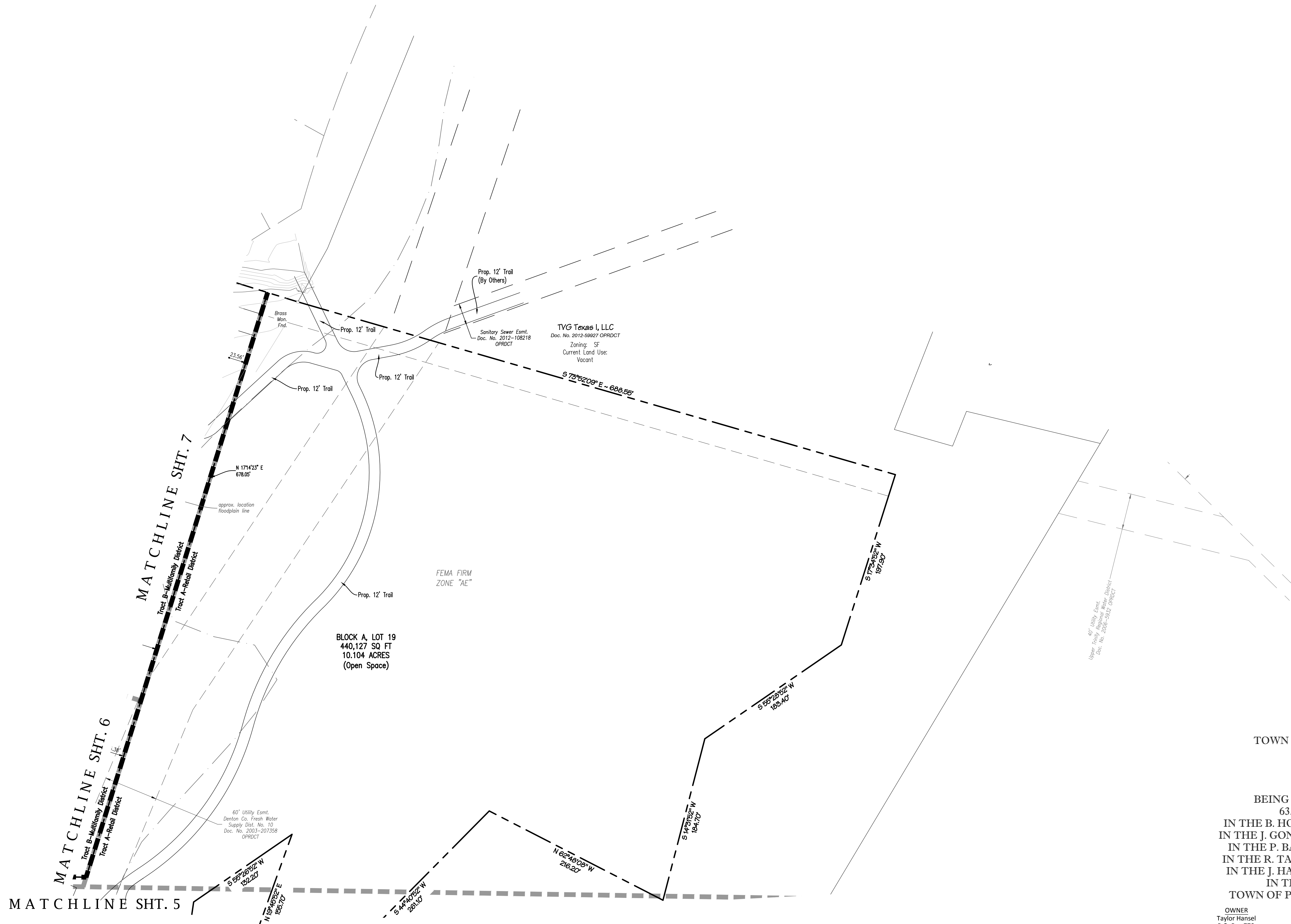
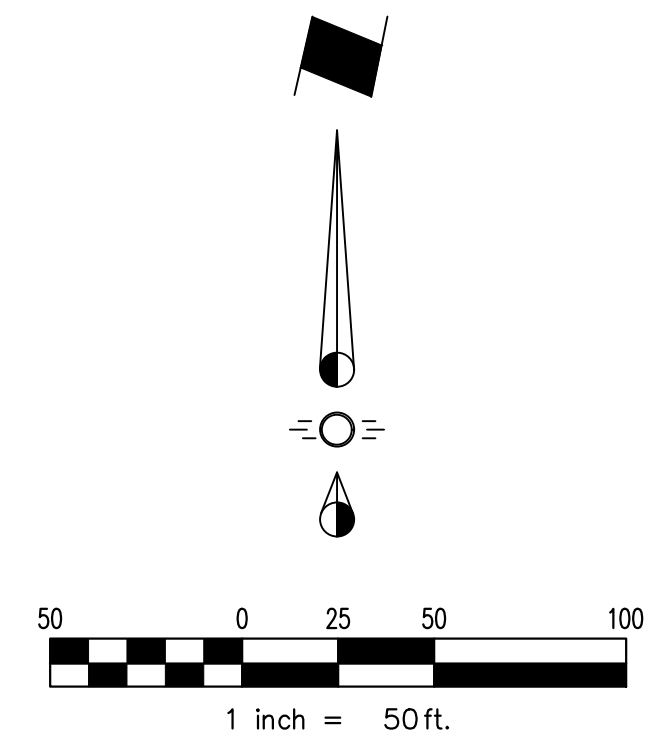
APPLICANT
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15700 S.H. 121
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SHT. 7 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan
WestSide
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TOWN OF PROSPER, DENTON COUNTY, TEXAS

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SHT. 8 OF 8
TOWN OF PROSPER CASE NO. Z18-0012
Exhibit D Conceptual Plan

WestSide

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IN THE ANGUS JAMISON SURVEY
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER
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P.O. Box 770
Frisco, Texas 75034

APPLICANT
MCF Investments
15700 S.H. 121
Frisco, Texas 75035
Telephone (214) 619-4930
Contact: Mike Fannin

ENGINEER / SURVEYOR
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765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Kevin Wier

Z18-0012
EXHIBIT E
DEVELOPMENT SCHEDULE
WESTSIDE

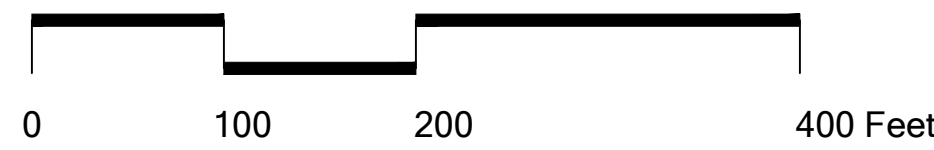
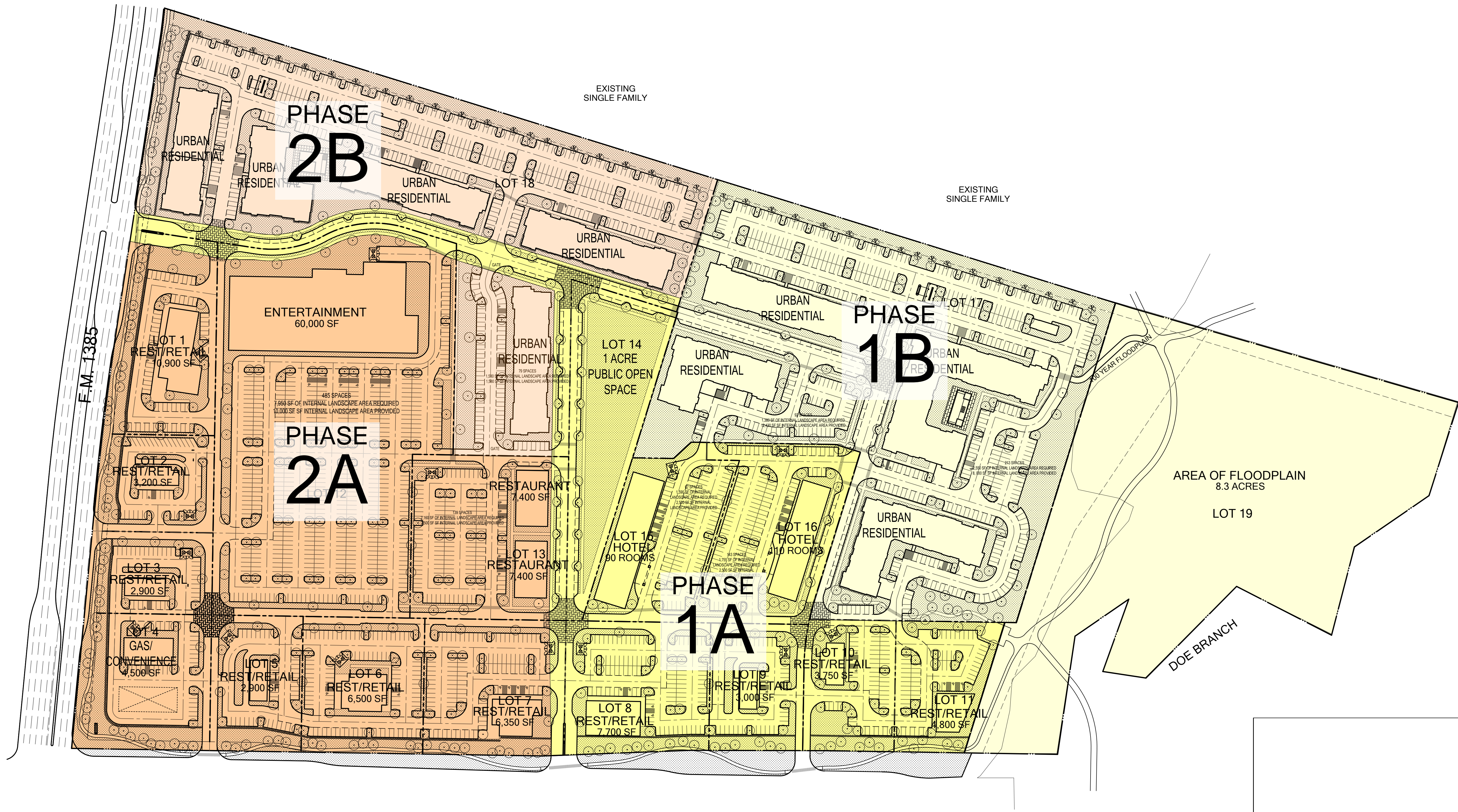
The phasing and development of this project is dependent upon both market conditions and the individual developers' timing. The anticipated schedule for the buildout will likely include a division of developmental increments. Upon commencement of development, the project construction is expected to require between 18 – 60 months. See Exhibit E2 for a graphic depiction.

Phase 1A: The central core of the property coupled with the construction of the central park. It would comprise both the physical heart of the project, plus individual pads inside the retail development. Vehicular access to the property will mostly be included in this phase. Depending on the schedule of the multi-family developer, Phase 1B could be developed in conjunction with Phase 1A.

Phase 1B: The initial phase of a two phase multi-family development.

Phase 2A: The second phase of a two phase commercial development, including retail/restaurant and entertainment uses to the west of the central park.

Phase 2B: The second phase of a multi-family development, located to the north of Phase 2A. Phase 2B could be developed in conjunction with Phase 2A.



Ordinance No. 18-108, Page 21

Owner: GF3 Partnership, LLC Contact: Michael C. Fannin 15700 State Highway 121 Frisco, Texas 75035 972.747.9233 mcfannin@gmail.com		For Staff Use	
Job #: File Name: Date: Drawn by:		17173.02 LandscapeSite-2018-1016.dwg 10/22/18 BEM, RR, PA	
EXHIBIT "E2" - PHASING DIAGRAM US 380 / FM 1385 NEC Prosper, Texas 63.905 Acres			



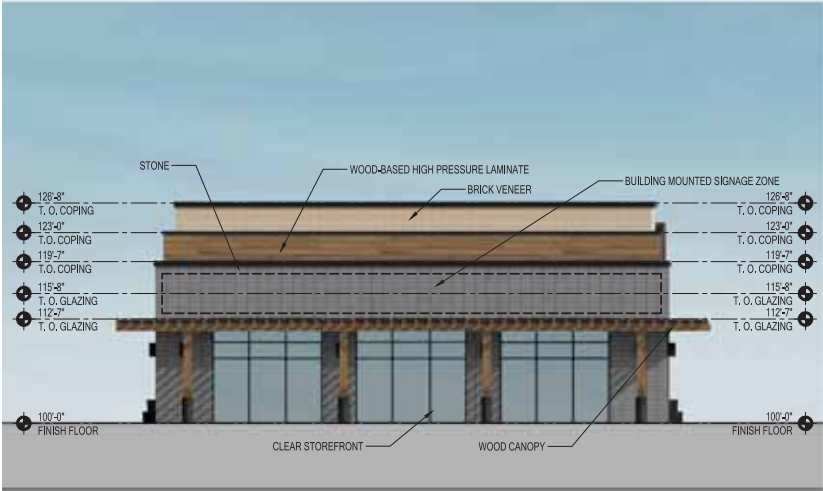
1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

FACADE MATERIAL ANALYSIS		
01 EAST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	46.90%
WOOD-BASED HIGH PRESSURE LAMINATE	509	19.60%
STONE	873	33.60%
TOTALS*	2602	100.00%
*GLAZING NOT INCLUDED		
02 WEST ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1220	47.50%
WOOD-BASED HIGH PRESSURE LAMINATE	511	19.90%
STONE	839	32.60%
TOTALS*	2570	100.00%
*GLAZING NOT INCLUDED		
03 NORTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	1474	100.00%
WOOD-BASED HIGH PRESSURE LAMINATE	0	0.00%
STONE	0	0.00%
TOTALS*	1474	100.00%
*GLAZING NOT INCLUDED		
04 SOUTH ELEVATION		
MATERIAL	AREA (SF)	%
BRICK VENEER	161	10.70%
WOOD-BASED HIGH PRESSURE LAMINATE	186	12.40%
STONE	1157	76.90%
TOTALS*	1504	100.00%
*GLAZING NOT INCLUDED		

MATERIALS TABLE	
	MAS 1
	MAS 2
	WOOD 1

NOTES	
1	This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
2	All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3	When permitted, exposed utility boxes and conduits shall be painted to match the building.
4	All signage areas and locations are subject to approval by the Building Inspection Department.
5	Windows shall have a maximum exterior visible reflectivity of (10) percent.

Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

Job #: 17173.02
File Name: RestaurantRetailElevations_2018-0928.dwg
Date: 09/28/18
Drawn by: BEM, LA, PA

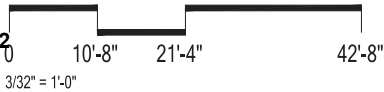


PLANNING

2808 Fairmount Street,
Suite 300
Dallas, Texas 75201 |
214.303.1500

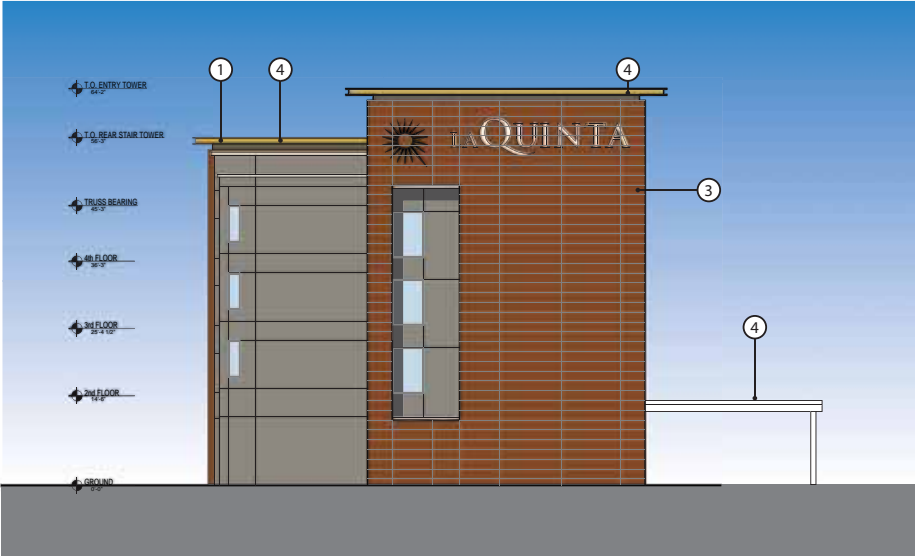
3300 West 7th Street,
Suite 110
Fort Worth, Texas 76107 |
817.303.1500

EXHIBIT "F"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres





1 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

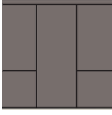
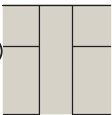

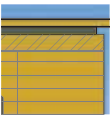
FACADE MATERIAL ANALYSIS

1 – EAST ELEVATION		
MATERIAL	AREA (SF)	%
STONE	2256	26%
BRICK	2965	33%
NEOLITH SINTERED STONE	3627	38%
ALUMINUM	130	2%
TOTAL	9500	100%

2 – SOUTH ELEVATION		
MATERIAL	AREA (SF)	%
STONE	1448	39%
BRICK	116	1%
NEOLITH SINTERED STONE	2382	64%
ALUMINUM	46	2%
TOTAL	3700	100%

3 – NORTH ELEVATION		
STONE	520	2%
BRICK	570	2%
NEOLITH SINTERED STONE	2436	79%
ALUMINUM	22	1%
TOTAL	3000	100%

4 – WEST ELEVATION		
STONE	2204	23%
BRICK	6653	71%
NEOLITH SINTERED STONE	1427	15%
ALUMINUM	94	1%
TOTAL	9400	100%

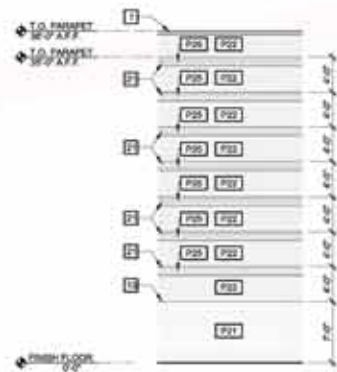
MATERIAL TABLE			
STONE	BRICK #2	NEOLITH SINTERED STONE	ALUMINIUM
1 	2 	3 	4 

NOTES	
1	THIS CONCEPTUAL ELEVATION IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTION DIVISION.
2	ALL MECHANICAL EQUIPEMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH ZONING ORDINANCE.
3	WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
4	ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.
5	WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF (10) PERCENT.

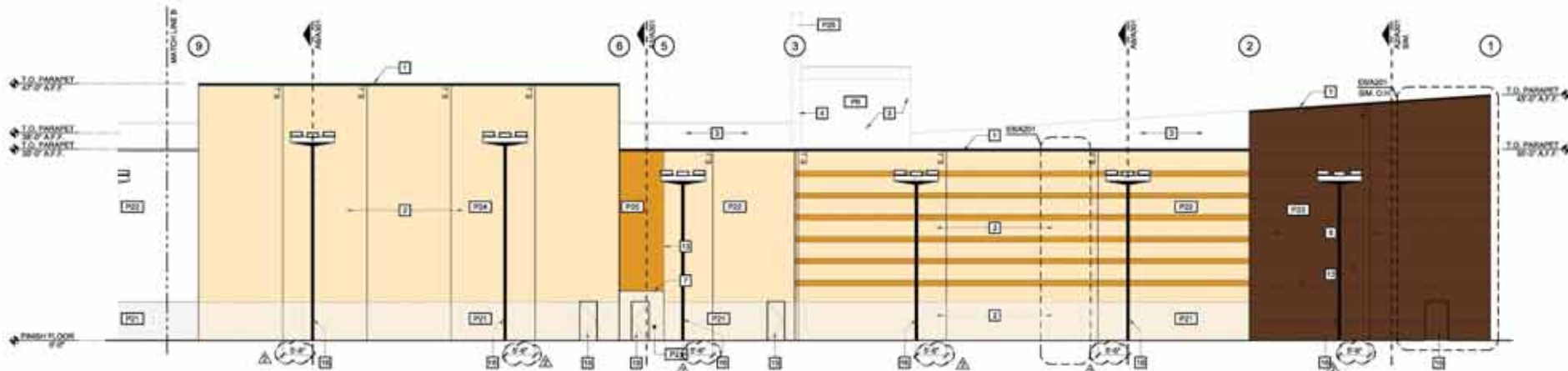
FOR STAFF USE



EXHIBIT "F"
US 380/FM 1385 NEC
PROSPER, TEXAS



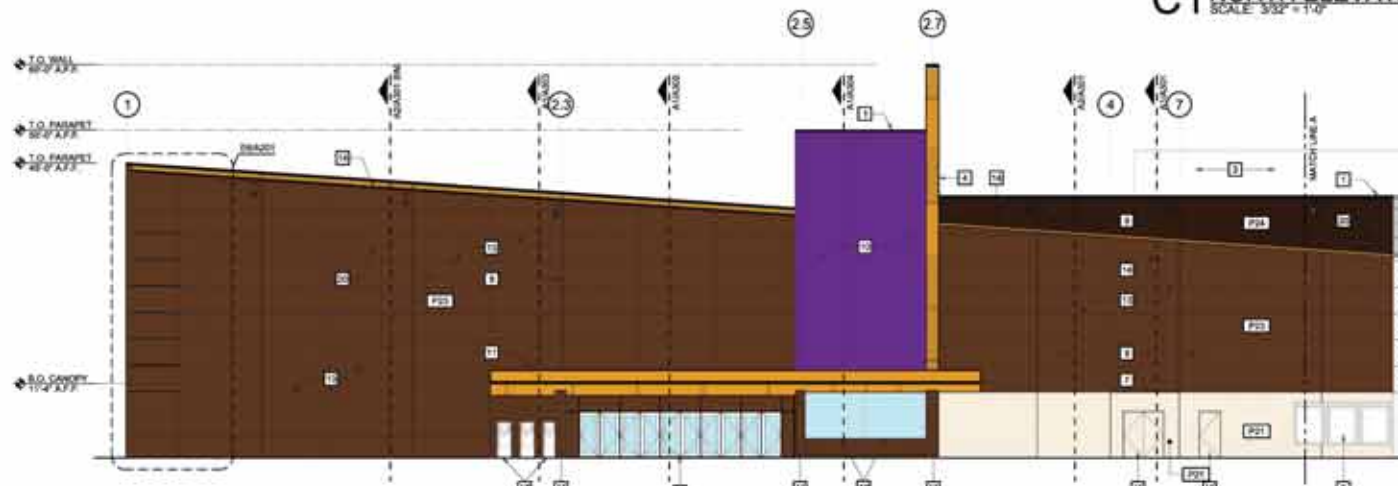
E6 PAINT DETAIL
SCALE: 1/8" = 1'-0"



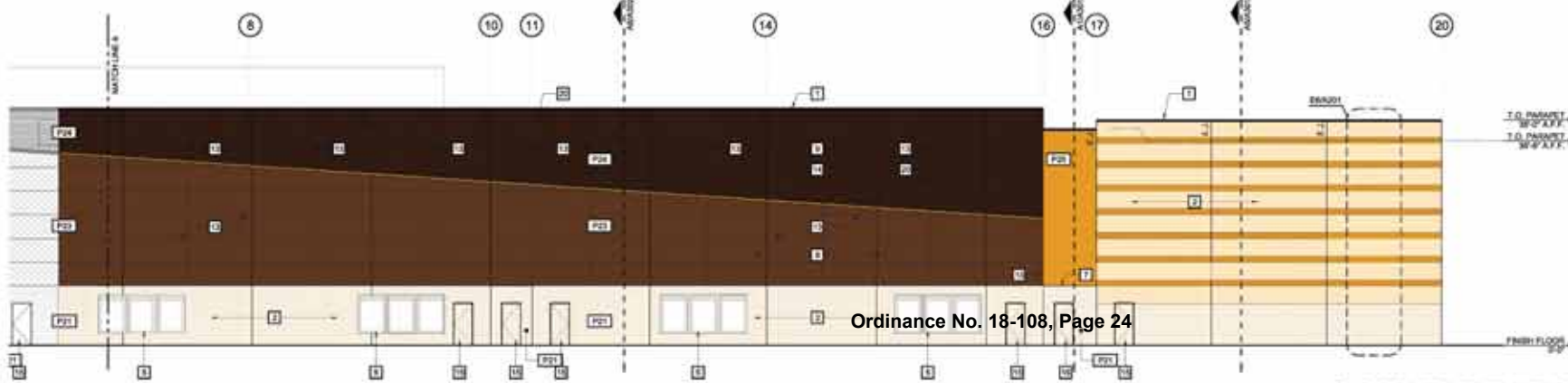
D1 NORTH ELEVATION - AREA 'B'
SCALE: 3/32" = 1'-0"



B6 EIFS DETAIL
SCALE: 3/32" = 1'-0"



C1 NORTH ELEVATION - AREA 'A'
SCALE: 3/32" = 1'-0"



A1 SOUTH ELEVATION - AREA 'B'
SCALE: 3/32" = 1'-0"

- ### KEY NOTES
1. PRE-FINISHED METAL COPING PER SPEC.
 2. EXPOSED TILT WALL PANEL, TEXTURED PAINT
 3. PARAPET BEYOND
 4. STUCCO FINISH - PAINT P25
 5. POSTER CASE SUPPLIED BY OWNER'S VENDOR, G.C. TO INSTALL AND PROVIDE POWER AND BLOCKING
 6. COPING LIGHT, RE: MEP, 1024511
 7. PAINT FACE OF ALCOVE PERPENDICULAR TO VIEW, P21
 8. 2 1/2" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
 9. 4" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
 10. STAINLESS STEEL TIE: T11
 11. STUCCO FINISHED CANOPY - PAINT P25
 12. TILE FINISH - T5
 13. REVEAL 1/2" RE: CHASSIS
 14. CONTINUOUS COPING LIGHT MOUNTED ON WALL SYSTEM, RE: MEP & 1024511 SSM
 15. HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT COLOR, TYP
 16. TIED-IN METAL DOWNSPOUT WITH 3 OVERFLOW DRAINS, TYP. PAINT TO MATCH P25 RE: CHASSIS, MEP & CIVIL DRAWINGS
 17. TICKET KIOSKS SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G.C. TO INSTALL, PROVIDE POWER DATA AND BLOCKING
 18. ANODIZED ALUMINUM STOREFRONT, RE: PLAN & WINDOW SCHEDULE
 19. TICKET COUNTER - ANODIZED ALUMINUM WINDOW, RE: WINDOW SCHEDULE
 20. DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G.C. TO PROVIDE POWER & BLOCKING
 21. REVEAL 1/2" - CHASSIS
 22. TILT WALL VERTICAL EXPANSION JOINTS "E.J.", RE: MEP

- ### GENERAL NOTES
- A. PROVIDE EGRESS WALL PACK TO BE MOUNTED 1'-0" ABOVE EMERGENCY EXIT DOOR FRAME AND G.C. OF EACH DOOR OPENING, RE: A611
 - B. SEAL ALL EXTERIOR PENETRATIONS, CONTROL JOINTS AND JOINTS IN DISJUNCT WALL ASSEMBLIES
 - C. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, RE: SPEC
 - D. ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES
 - E. ALL EXTERIOR MATERIALS TO MEET LOCAL REQUIREMENTS AND SPECIFICATIONS
 - F. ALL BOXES AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISH MATERIALS
 - G. INSTALL INTEGRALLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED. CAULK SHALL CHANGE COLORING AS REQUIRED TO MATCH ADJACENT MATERIAL, FIELD COLOR, COORDINATE EXACT COLORS WITH ARCHITECT. DO NOT PAINT CAULK.
 - H. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, RE: SPECIFICATIONS
 - I. ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITIES

SCREENING NOTE

ALL EXTERIOR GROUND BUILDING AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES. EQUIPMENT TO BE SCREENED INCLUDES, BUT IS NOT LIMITED TO HEATING, AIR CONDITIONING, AND REFRIGERATION EQUIPMENT, PLUMBING LINES, DUCTWORK, TRANSFORMERS, AND METER BANKS. SCREENING MATERIALS MAY BE SOLID CONCRETE, WOOD, LANDSCAPING, OR OTHER OPAQUE MATERIAL THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE AND EFFECTIVELY SCREENS MECHANICAL EQUIPMENT SO THAT IT IS NOT VISIBLE FROM A PUBLIC STREET OR ADJACENT LOT. SCREENING MATERIAL MAY HAVE EVENLY DISTRIBUTED OPENINGS OR PERFORATIONS NOT EXCEEDING 50 PERCENT OF THE SURFACE AREA. ROOFTOP EQUIPMENT MAY BE SCREENED USING ENCLOSURE, PARTIAL SCREENS, OR PARAPET WALLS.

FACADE MATERIAL ANALYSIS

D1 NORTH ELEVATION-AREA 'B'		
MATERIAL	AREA (SF)	%
4" ARCHITECTURALLY FINISHED CONCRETE	0	0.0
STAINLESS STEEL TIE-T11	0	0.0
STUCCO FINISH-PAINT P1	0	0.0
EXPOSED TILT WALL PANEL-TEXTURED PAINT	5627	100
4" ARCHITECTURALLY FINISHED CONCRETE	0	0.0
TOTAL	5627	100

C1 NORTH ELEVATION-AREA 'A'

MATERIAL	AREA (SF)	%
4" ARCHITECTURALLY FINISHED CONCRETE	1910	16.3
STAINLESS STEEL TIE-T11	0	0.0
STUCCO FINISH-PAINT P1	0	0.0
EXPOSED TILT WALL PANEL-TEXTURED PAINT	8309	81.3
4" ARCHITECTURALLY FINISHED CONCRETE	0	0.0
TOTAL	10,209	100

B1 SOUTH ELEVATION-AREA 'A'

MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	5004	89.2
STAINLESS STEEL TIE-T11	0	0.0
STUCCO FINISH-PAINT P1	718	11.3
EXPOSED TILT WALL PANEL-TEXTURED PAINT	0	0.0
4" ARCHITECTURALLY FINISHED CONCRETE	542	8.5
TOTAL	6351	100

A1 SOUTH ELEVATION-AREA 'B'

MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	2029	32.6
STAINLESS STEEL TIE-T11	0	0.0
STUCCO FINISH-PAINT P1	0	0.0
EXPOSED TILT WALL PANEL-TEXTURED PAINT	3961	63.0
4" ARCHITECTURALLY FINISHED CONCRETE	2113	33.6
TOTAL	9,003	100

- ### NOTES
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 3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
 4. All signage areas and locations are subject to approval by the Building Inspection Department.
 5. Windows shall have a maximum exterior visible reflectivity of (10) percent.



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 Edmond, TX 77021
 713.586.2100

STRUCTURE:
 C. J. Engineers
 10000 East Street
 Suite 1000
 Edmond, TX 77021
 713.586.2100

MEP:
 Jordan & Blake Engineers, Inc.
 10000 East Street
 Suite 1000
 Edmond, TX 77021
 713.586.2100

Keenon Rayner, AIA
 STATE OF OKLAHOMA REGISTERED ARCHITECT #6894
 111 Thorne Street, Norman, Texas 77050 Phone 713.586.2100 Fax 713.586.2100



NO.	DATE	REVISION	ISSUE
01/13/2018	01/13/2018	ISSUE FOR PERMIT	
02/07/2018	02/07/2018	OKD HEALTH DEPT. COM. 01	
03/08/2018	03/08/2018	CITY RESPONSES 01	
04/13/2018	04/13/2018	ISSUE FOR CONSTRUCTION	
05/08/2018	05/08/2018	REVISION 2	

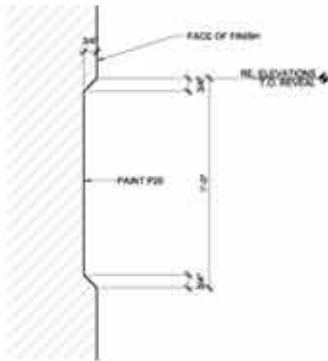
PROJECT NAME AND ADDRESS:
SHOWBIZ EDMOND

**WE CORNER OF W BOONER RD. AND E. COVELL RD.
 EDMOND, OKLAHOMA 73034**

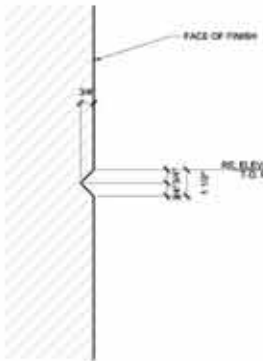
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REFERENCE NUMBER: 17817-01

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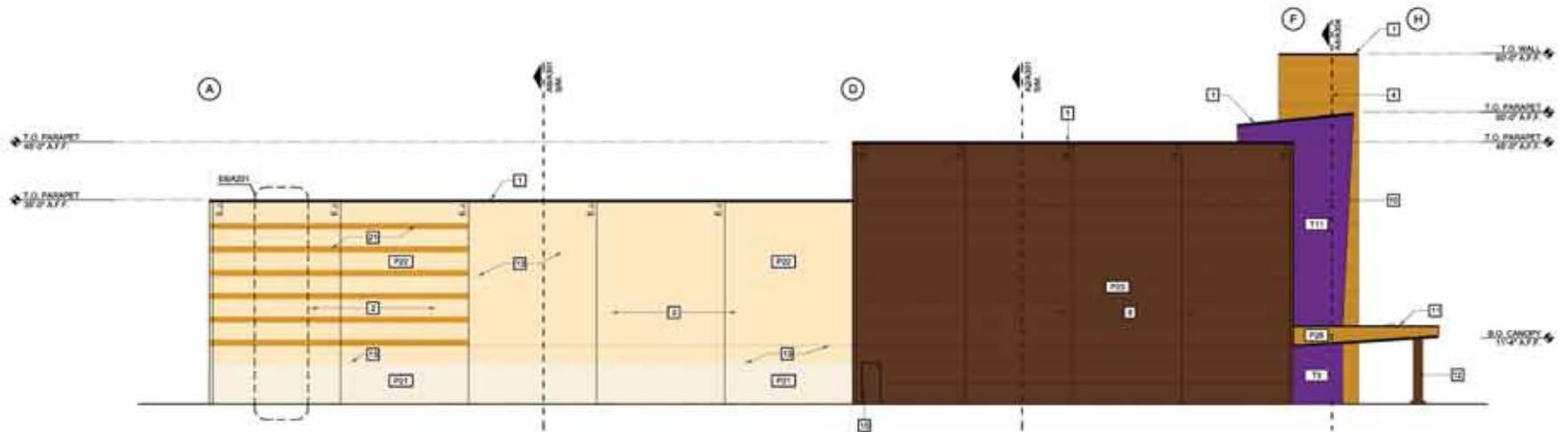
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A201



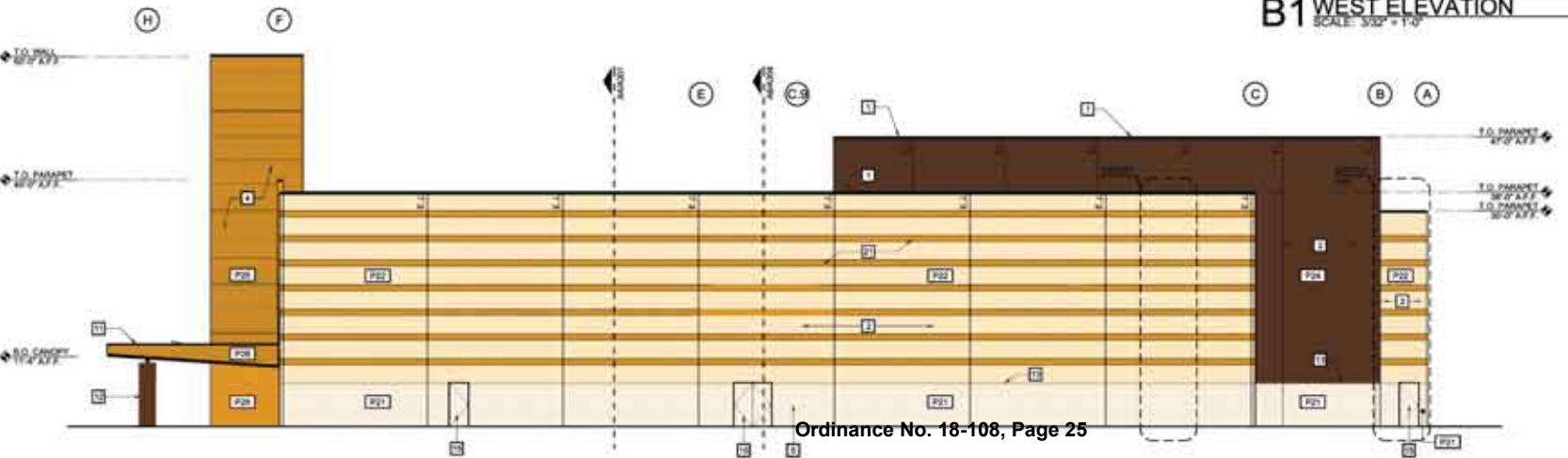
C2 REVEAL - PROFILE "R2"
SCALE: 3/8" = 1'-0"



C1 REVEAL - PROFILE "R1"
SCALE: 3/8" = 1'-0"



B1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



A1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

KEY NOTES

1. PRE-FINISHED METAL COPING PER SPEC.
2. EXPOSED TILT WALL PANEL, TEXTURED PAINT
3. PARAPET BEYOND
4. STUCCO FINISH - PAINT P25
5. POSTER CASE SUPPLIED BY OWNER'S VENDOR, G.C. TO INSTALL AND PROVIDE POWER AND BLOCKING
6. COPING LIGHT, RE: MEP, R24511
7. PAINT FACE OF ACCESS PERPENDICULAR TO VIEW, P21
8. 2 1/2" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
9. 6" ARCHITECTURALLY FINISHED CONCRETE, RE: WALL SECTIONS
10. STAINLESS STEEL TILE - T11
11. STUCCO FINISHED CANOPY - PAINT P28
12. TILE FINISH - T3
13. REVEAL "11" RE: CHASSIS
14. CONTINUOUS COPING LIGHT MOUNTED ON WALL SYSTEM, RE: MEP & R24511 SW
15. HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT COLOR, TYP
16. TIED-IN METAL DOWNSPOUT WITH 2 OVERFLOW DRAINS, TYP. PAINT TO MATCH P22, RE: CHASSIS, MEP, & CIVIL DRAWINGS
17. TICKET KIOSKS SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G.C. TO INSTALL, PROVIDE POWER DATA AND BLOCKING
18. ANODIZED ALUMINUM STOREFRONT, RE: PLAN & WINDOW SCHEDULE
19. TICKET COUNTER - ANODIZED ALUMINUM WINDOW, RE: WINDOW SCHEDULE
20. DASHED LINE INDICATES SIGNAGE SUPPLIED AND INSTALLED BY OWNER'S VENDOR, G.C. TO PROVIDE POWER & BLOCKING
21. REVEAL "12" - CHASSIS
22. TILT WALL VERTICAL EXPANSION JOINTS "E, J", RE: AM1

GENERAL NOTES

- A. PROVIDE EXTERIOR WALL PACK TO BE MOUNTED 1' IF ABOVE EMERGENCY EXIT DOOR FRAME AND O.C. OF EACH DOOR OPENING, RE: AM1
- B. SEAL ALL EXTERIOR PENETRATIONS, CONTROL JOINTS AND JOINTS IN DISJUNCT WALL ASSEMBLIES
- C. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR, RE: SPEC
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- H. SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK, FINISH TO MATCH FIXTURE COLOR. REFER TO SPECIFICATIONS
- I. ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITIES

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FACADE MATERIAL ANALYSIS

B1 WEST ELEVATION		
MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	3415	42.9
STAINLESS STEEL TILE-T11	488	6.1
STUCCO FINISH PAINT P5	236	3
TEXTURED PAINT	3812	48
ARCHITECTURALLY FINISHED CONCRETE	0	0
TOTAL	7,951	100

A1 EAST ELEVATION

A1 EAST ELEVATION		
MATERIAL	AREA (SF)	%
2 1/2" ARCHITECTURALLY FINISHED CONCRETE	0	0
STAINLESS STEEL TILE-T11	0	0
STUCCO FINISH PAINT P5	746	6.7
EXPOSED TILT WALL PANEL	7789	91.3
ARCHITECTURALLY FINISHED CONCRETE	0	0
TOTAL	8,535	100

NOTES

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4. All signage areas and locations are subject to approval by the Building Inspection Department.
5. Windows shall have a maximum exterior visible reflectivity of (10) percent.



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770.565.1000 FAX 770.565.2108

OWNER:

Shawbiz Cinema
12405 Cox Road
Suite 200
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214.951.8100

STRUCTURE:

C.C. Engineering
3305 Northwest Street
Suite 200
Houston, TX 77040
713.781.2000

MEP:

Jordan & Smith Engineers, Inc.
16215 Northwest Ave
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STATE OF OKLAHOMA REGISTERED ARCHITECT 48854
111 Travel Court, Norman, Texas 77069 Phone 770.565.1000 Fax 770.565.2108



NO.	DATE	REVISION ISSUE
01/15/2018		ISSUE FOR PERMIT
02/27/2018		OKC HEALTH DEPT. COM. V1
03/08/2018		CITY RESPONSES (1)
04/13/2018		ISSUE FOR CONSTRUCTION

PROJECT NAME AND ADDRESS:

SHOWBIZ EDMOND

NE CORNER OF N BOONER RD. AND E. COVELL RD.
EDMOND, OKLAHOMA 73034

DRAWN:

PRICU, MGR

REFERENCE NUMBER:

17917-01

TITLE:

EXTERIOR ELEVATIONS

DRAWING NUMBER:

A202

NOTES	
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5	Windows shall have a maximum exterior visible reflectivity of 10% percent.



GLA-ATL, LLC

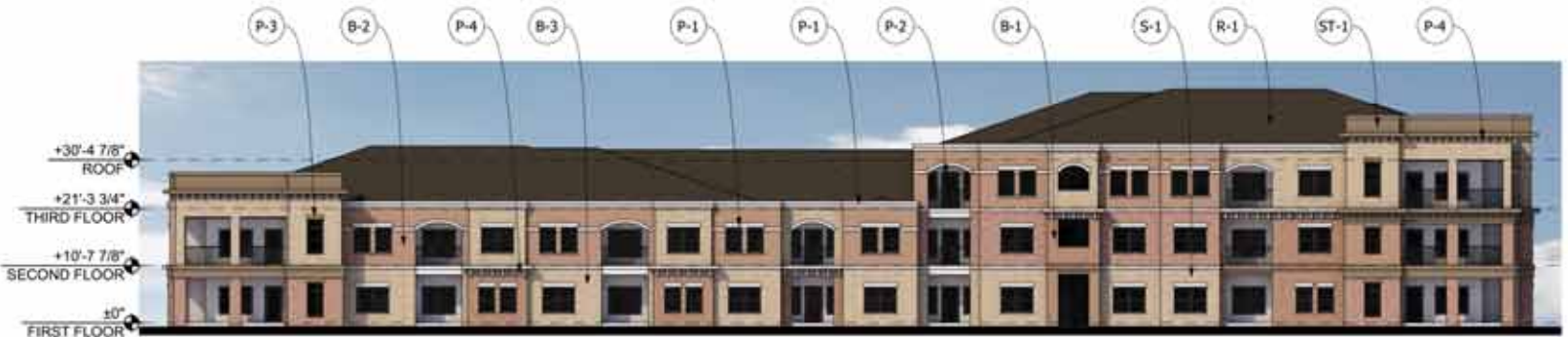
649 11TH STREET
ATLANTA, GA 30318
PHONE: 404.228.1058
FAX: 404.228.0150

WWW.GLAATL.COM

MATERIAL CALCULATION (PHASE 2-BLDG. 1)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 4,675 = 100%			
MASONRY (BRICK/STONE) IN SF:	3,985 SF	85.2%	
STUCCO IN SF: (TRIM/PALMNET)	636 SF	13.6%	
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	58 SF	1.2%	

MATERIAL CALCULATION (3-Story Concept)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 7,414 = 100%			
MASONRY (BRICK/STONE) IN SF:	6,557 SF	88.0%	
STUCCO IN SF: (TRIM/PALMNET)	761 SF	10.3%	
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	96 SF	0.7%	

MATERIAL CALCULATION (4-Story Concept)			
TOTAL AREA (EXCLUDING GLAZING) IN SF: 11,078 = 100%			
MASONRY (BRICK/STONE) IN SF:	10,057 SF	90.8%	
STUCCO IN SF: (TRIM/PALMNET)	761 SF	7.0%	
FIBER CEMENT/OTHER IN SF: (BALCONY FASCIA)	240 SF	2.2%	



3 BUILDING ELEVATION - 2/3-STORY CONCEPT



2 BUILDING ELEVATION - 3-STORY CONCEPT



1 BUILDING ELEVATION - 4-STORY CONCEPT

SITE PLAN		NOTES		FACADE PLANS												PROJECT INFO.	
		BUILDING HEIGHTS		MATERIAL LEGEND												<div>Subdivision Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770-474-5213</div> <div>Address: 1050 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30281</div> <div>Architect: Gebhardt Lewis Assoc.</div> <div>Phone: 404.228.1058</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-8930</div> <div>Address: 15700 S.H. 121 Frisco, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 11/07/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div>	
		1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES. 2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDINGS. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS. 3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXISTING/CONCEPTUAL SITE DESIGN. PLEASE REFERENCE EXHIBIT D "CONCEPTUAL SITE PLAN". 4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.															
		NUMBER OF STORIES RIDGE HEIGHT															
4 54'-11"																	
3 49'-5"																	
2 1/3 43'-7"																	
ABBREVIATIONS																	
ALUM. ALUMINUM																	
BLDG. BUILDING																	
BRZVY. BREEZEWAY																	
FF. FINISHED FLOOR																	
STL. STEEL																	
		</															



GLA-ATL, LLC

649 11TH STREET
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This drawing is an architectural rendering and does not constitute a contract. It is for informational purposes only and is not to be used for construction. The owner and architect assume no liability for any errors or omissions. The architect's responsibility is to provide a design that meets the owner's requirements and to ensure that the design is in accordance with applicable codes and regulations.

1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



1
R-2 REAR/INTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

FACADE PLANS														PROJECT INFO.				
NOTES		NOTES	FACADE PLAN NOTES		MATERIAL LEGEND									<div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Frisco, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION www.glaatl.com</div>				
1 This Conceptual Elevation is for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.		1. RENDERING AND ELEVATIONS ON SHEETS R-2, R-3, AND R-4 ARE REPRESENTATIVE. THE BUILDING DO NOT EXACTLY REFLECT THOSE OF THE PROPOSED PROJECT, BUT ARE INDICATIVE OF DESIGN INTENT AND SIMILAR CONDITIONS.	1. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW, OR AS REQUIRED BY ZONING GUIDELINES.		TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION	TAG	SWATCH	DESCRIPTION					
2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.	2. BUILDING RENDERINGS REFLECT THE DESIGN FORM AND INTENT OF THE REFERENCED BUILDING. ADDITIONAL DETAIL, GARAGE, TRASH SERVICES, AND OTHER ELEMENTS TO BE INCORPORATED AS DESIGN DEVELOPS.		S-1		VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REDINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW705 R-97, G-102, B-105 MATERIAL: SIDING	R-1				COLOR: BRONZE MATERIAL: WINDOWS (ALUM.)		
3 When permitted, exposed utility boxes and conduits shall be painted to match the building.	3. SITE PLAN IS FOR GENERAL LOCATION PURPOSES ONLY AND MAY NOT FULLY REFLECT EXISTING/CURRENT SITE DESIGN. PLEASE REFERENCE EXHIBIT D) "CONCEPTUAL SITE PLAN".		ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7548 R-173, G-156, B-133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW7048 R-94, G-90, B-74 MATERIAL: TRIM & GUTTER	*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER						
4 All signage areas and locations are subject to approval by the Building Inspection Department.	4. MATERIAL CALCULATIONS DO NOT INCLUDE MINOR TRIM OR MATERIALS ABOVE THE COMMON ROOF BEARING PLANE.		B-6		VENDOR: BORAL BRICK COLOR: TARRYTOWN MATERIAL: CLAY-FIRED BRICK	P-3		VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW7048 R-94, G-90, B-74 MATERIAL: RAILINGS & DOORS										
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.	ABBREVIATIONS																	
		ALUM. ALUMINUM		ELEVATION HGT.														
		BLDG. BUILDING		DWG. NO. DWG. TITLE														
		BZZWY. BREEZEWAY		DRAWING SCALE														
		FF. FINISHED FLOOR		TITLE														
		STL. STEEL																



GLA-ATL, LLC

649 11TH STREET
ATLANTA, GA 30318
VOICE: 404-228-1958
FAX: 404-228-0350

WWW.GLAATL.COM

THIS DRAWING IS AN APPROXIMATION OF THE PROPOSED BUILDING. IT IS NOT A CONTRACT DOCUMENT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF GLA-ATL, LLC.

2
R-3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



1
R-3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"

FACADE PLANS														PROJECT INFO.	
NOTES		NOTES	FACADE PLAN NOTES		MATERIAL LEGEND									<div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Pineau, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div>	
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2 All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.					S-1		VENDOR: BORAL CASTFIT CUT: FRENCH GRAY COLOR: GRAY MATERIAL: NATURAL STONE	B-4		VENDOR: BORAL BRICK COLOR: REDINGTON CLASSIC MATERIAL: CLAY-FIRED BRICK	P-1		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7015 R-192, G-102, B-105 MATERIAL: STUCCO		
3 When permitted, exposed utility boxes and conduits shall be painted to match the building.					ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7548 R-173, G-136, B-133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: URBANE BRONZE NUMBER: SW7048 R-194, G-80, B-74 MATERIAL: CASTFIT STONE		
4 All signage areas and locations are subject to approval by the Building Inspection Department.					*EQUAL ALTERNATES MAY BE SUBSTITUTED WITH APPROVAL FROM ARCHITECT AND OWNER										
5 Windows shall have a maximum exterior visible reflectivity of (10) percent.		ABBREVIATIONS													
		ALUM. ALUMINUM BLDG. BUILDING BRZVY. BREEZEWAY FF. FINISHED FLOOR STL. STEEL		ELEVATION HGT. DWG. NO. DWG. TITLE DRAWING SCALE TITLE											
						Ordinance No. 18-108, Page 28									



2
R-4 FRONT ELEVATION
SCALE: 1/32" = 1'-0"



1
R-4 FRONT ELEVATION
SCALE: 1/32" = 1'-0"



GLA-ATL,LLC

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This drawing is not a contract. It is a representation of the proposed project. It is not to be used for construction. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.

FACADE PLANS														PROJECT INFO.			
NOTES		NOTES	FACADE PLAN NOTES	MATERIAL LEGEND										<div>Subdivision's Name: WestSide</div> <div>Block / Lot Number: A / 1-19</div> <div>Client: Davis Development</div> <div>Phone: 770.474.5213</div> <div>Address: 1090 Eagles Landing Parkway, Suite 300 Stockbridge, Georgia 30081</div> <div>Architect: Gefheber Lewis Assoc.</div> <div>Phone: 404.228.1958</div> <div>Address: 649 11th St. Atlanta, Georgia 30318</div> <div>Applicant: MCF Investments</div> <div>Phone: (214) 619-4930</div> <div>Address: 15700 S.H. 121 Pricco, Texas 75035</div> <div>Scale: AS NOTED</div> <div>Date: 08/28/2018</div> <div>Drawn By: BT</div> <div>NOT RELEASED FOR CONSTRUCTION</div> <div>www.glaatl.com</div>			
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3	When permitted, exposed utility boxes and conduits shall be painted to match the building.			ST-1		VENDOR: SHERWIN WILLIAMS COLOR: STUDIO TAUPE NUMBER: SW7548 R:173, G:136, B:133 MATERIAL: STUCCO	B-5		VENDOR: BORAL BRICK COLOR: SUMMER HARVEST MATERIAL: CLAY-FIRED BRICK	P-2		VENDOR: SHERWIN WILLIAMS COLOR: REPOSE GRAY NUMBER: SW7015 R:204, G:201, B:192 MATERIAL: TRIM & GUTTER	R-2				VENDOR: CERTAINTED SERIES: LANDMARK COLOR: HEATHER BLEND MATERIAL: ASPHALT SHINGLES
4	All signage areas and locations are subject to approval by the Building Inspection Department.																
5	Windows shall have a maximum exterior visible reflectivity of (10) percent.																
		ABBREVIATIONS															
		<div>ALUM. ALUMINUM</div> <div>BLDG. BUILDING</div> <div>BREEZY. BREEZEWAY</div> <div>FF. FINISHED FLOOR</div> <div>STL. STEEL</div>		<div><div><div><div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div></div></div> 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COMMERCIAL TRACT LANDSCAPE DATA	
LANDSCAPE PERIMETER TREES ADJACENT TO MAJOR OR MINOR THOROUGHFARE:	
ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET	110 TREES REQUIRED 112 TREES PROVIDED
SURFACE PARKING SPACES: 1,561 SPACES (NOT INCL. PARALLEL SPACES)	

- SECURITY GATE
- ⊙ 3" CALIPER TREE-TYPE I
- ⊕ 3" CALIPER EVERGREEN TREE-TYPE II
- 15 GALLON SHRUB

U.S. HIGHWAY 380
(UNIVERSITY DRIVE)



Owner:
GF3 Partnership, LLC
Contact: Michael C. Fannin
15700 State Highway 121
Frisco, Texas 75035
972.747.9233
mcfannin@gmail.com

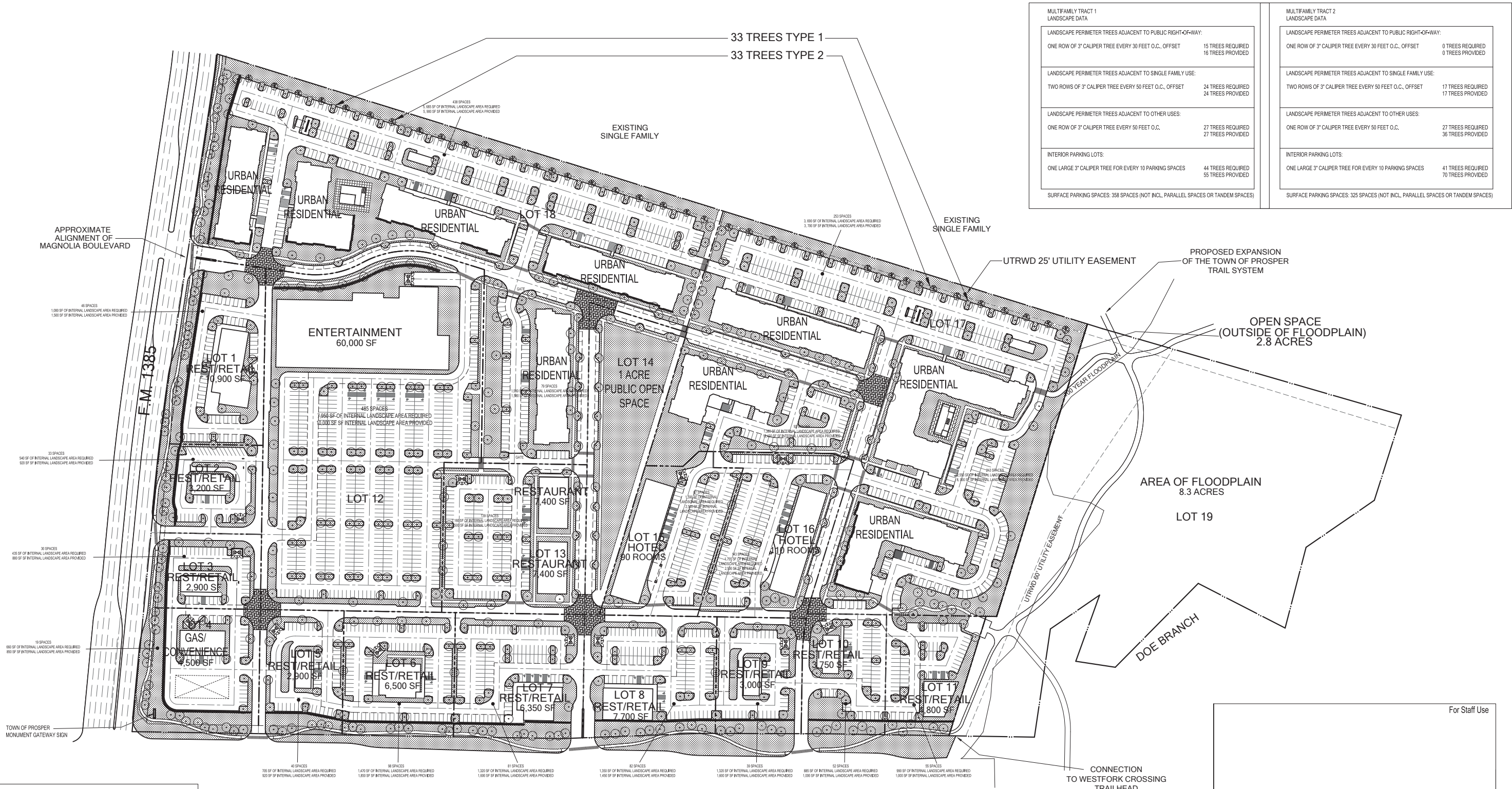
Job #: 17173.02
File Name: LandscapeSite-2018-1016.dwg
Date: 10/30/18
Drawn by: BEM, RR, PA



PLANNING

Dallas | Fort Worth | Austin

EXHIBIT "G"
US 380 / FM 1385 NEC
Prosper, Texas
63.905 Acres



MULTIFAMILY TRACT 1 LANDSCAPE DATA	
LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY:	
ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET	15 TREES REQUIRED 16 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE:	
TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET	24 TREES REQUIRED 24 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES:	
ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C.	27 TREES REQUIRED 27 TREES PROVIDED
INTERIOR PARKING LOTS:	
ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES	44 TREES REQUIRED 55 TREES PROVIDED
SURFACE PARKING SPACES: 358 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES)	

MULTIFAMILY TRACT 2 LANDSCAPE DATA	
LANDSCAPE PERIMETER TREES ADJACENT TO PUBLIC RIGHT-OF-WAY:	
ONE ROW OF 3" CALIPER TREE EVERY 30 FEET O.C., OFFSET	0 TREES REQUIRED 0 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO SINGLE FAMILY USE:	
TWO ROWS OF 3" CALIPER TREE EVERY 50 FEET O.C., OFFSET	17 TREES REQUIRED 17 TREES PROVIDED
LANDSCAPE PERIMETER TREES ADJACENT TO OTHER USES:	
ONE ROW OF 3" CALIPER TREE EVERY 50 FEET O.C.	27 TREES REQUIRED 36 TREES PROVIDED
INTERIOR PARKING LOTS:	
ONE LARGE 3" CALIPER TREE FOR EVERY 10 PARKING SPACES	41 TREES REQUIRED 70 TREES PROVIDED
SURFACE PARKING SPACES: 325 SPACES (NOT INCL. PARALLEL SPACES OR TANDEM SPACES)	