

TOWN OF PROSPER, TEXAS

ORDINANCE NO. 15-76

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE AND SPECIFIC USE PERMIT ORDINANCE 15-40; AMENDING SPECIFIC USE PERMIT-8 (SUP-8) TO ALLOW FOR A CHILD DAY CARE CENTER, LOCATED ON A TRACT OF LAND CONSISTING OF 2.04 ACRES, MORE OR LESS, SITUATED IN THE H. JAMISON SURVEY, ABSTRACT NO. 480, IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that Zoning Ordinance and Specific Use Permit Ordinance No. 15-40 should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper") has received a request from Rogy's Learning Place ("Applicant") to amend Specific Use Permit-8 (SUP-8) to allow for a Child Day Care Center on a tract of land zoned Office (O), consisting of 2.04 acres of land, more or less, situated in the H. Jamison Survey, Abstract No. 480, in the Town of Prosper, Collin County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes; and

WHEREAS, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required to grant a Specific Use Permit (SUP) have been given in the manner and form set forth by law, public hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Specific Use Permit Granted. The Town's Zoning Ordinance and Specific Use Permit Ordinance No. 15-40 is amended as follows: Specific Use Permit-8 (SUP-8) is amended to allow the operation of a Child Day Care Center, on a tract of land zoned Office (O), consisting of 2.04 acres of land, more or less, situated in H. Jamison Survey, Abstract No. 480, in the Town

of Prosper, Collin County, Texas, and being particularly being described in Exhibit "A," attached hereto and incorporated herein for all purposes as if set forth verbatim.

The property shall continue to be used in a manner consistent with the conditions expressly stated in the site plan attached hereto as Exhibit "B," landscape plan attached hereto as Exhibit "C," and façade plan attached hereto as Exhibit "D," which is incorporated herein for all purposes as if set forth verbatim.

Except as amended by this Ordinance, the development of the Property within this Specific Use Permit (SUP) shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two (2) original, official and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. Two (2) copies shall be filed with the Town Secretary and retained as original records and shall not be changed in any matter.
- b. One (1) copy shall be filed with the Building Official and shall be maintained up-to date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is

expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

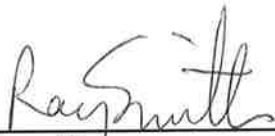
SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 8th DAY OF DECEMBER, 2015.



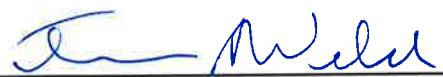
Ray Smith, Mayor

ATTEST:

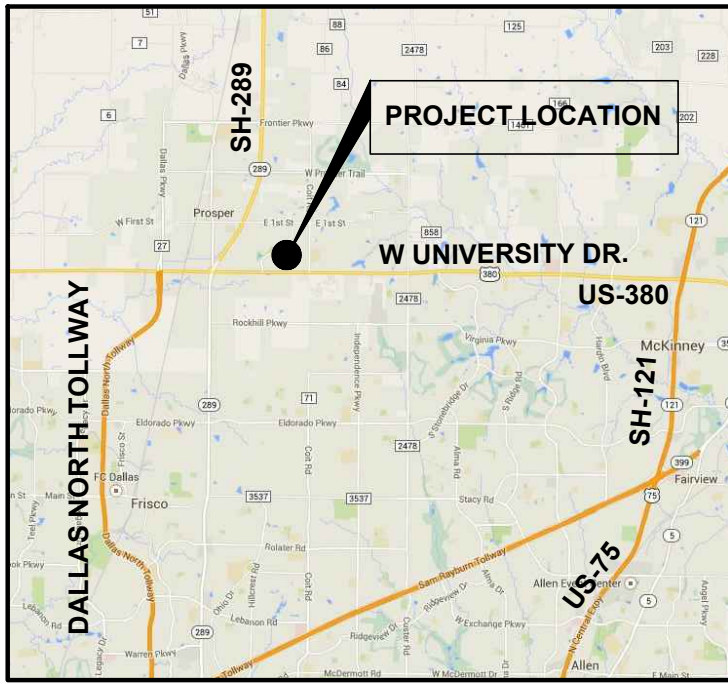


Robyn Battle, Town Secretary

APPROVED AS TO FORM AND LEGALITY:



Terrence S. Welch, Town Attorney



LOCATION MAP
NTS.

LINE LEGEND:

- EXISTING. PROPERTY LINE
- PROPERTY LINE & SUP ZONING LINE
- EASEMENT LINE
- 743 EXIST. CONTOUR LINE

MOORELAND DEVELOPMENT COMPANY, INC.
TO
MF VII PROSPER 41, LP.
29.783 ACRES
DOC. NO. 20070214000206720

ZONING: PD-2
CURRENT USE: MULTI-FAMILY
FUTURE LAND USE: US 380 DISTRICT

MF IV VALLENCIO, LP
TO
MF VII PROSPER 41, LP.
12.687 ACRES
DOC. NO. 20060828001229900

ZONING: PD-2
CURRENT USE: MULTI-FAMILY
FUTURE LAND USE: US 380 DISTRICT

LOT 2R, BLOCK "A"

THE ESTATES AND MANSIONS OF PROSPER
(VOLUMN 2009, PG. 450 M.R.C.C.T.)

WESTERN RIM INVESTORS 2007-3, L.P.
20.952 ACRES
DOC. NO. 20071024001455480

ZONING: PD-2
CURRENT USE: MULTI-FAMILY
FUTURE LAND USE: US 380 DISTRICT

VARIABLE WIDTH SAN SEW. ESMT.
DOC.# 20060216000209310 &
DOC.# 20061212001745420

15' TEMPORARY
CONSTRUCTION ESMT.
VOL. 6072, PG. 4058

CALLED 6.045 ACRES (TRACT 2)
WATER PIPELINE ESMT.
CITY OF IRVING, TEXAS
VOLUME 5108, PAGE 2835 D.R.C.C.T.

S87°24'33"E
118.60'

LOT 1, BLOCK "A"
WHISPERING GABLES ADDITION
THE H.JAMISON SURVEY ABSTRACT NO.480
VOL. 2006, PG. 839
(80,051 SQ.FT. OR 1.837 ACRES)
ZONING: OFFICE
CURRENT USE: UNDEVELOPED
FUTURE LAND USE: US 380 DISTRICT

LOT 3, BLOCK "A"

WHISPERING GABLES ADDITION
THE H.JAMISON SURVEY ABSTRACT NO.480
VOL. 2006, PG. 839
(68,522 SQ.FT. OR 1.57 ACRES)

EXISTING ZONING: OFFICE + SUP
CURRENT USE: UNDEVELOPED
FUTURE LAND USE: US 380 DISTRICT

LOT 2, BLOCK "A"

WHISPERING GABLES ADDITION
THE H.JAMISON SURVEY ABSTRACT NO.480
VOL. 2006, PG. 839
(84,237 SQ.FT. OR 1.934 ACRES)

ZONING: OFFICE
CURRENT USE: UNDEVELOPED
FUTURE LAND USE: US 380 DISTRICT

WATER LINE EASEMENT
DOC. NO. 20061212001745620

STREET ESMT.

S 88°34'45"W
414.20'

S 88°34'45"W
37.00'

S 88°34'45"W
37.00'

RICHLAND BLVD.
(A VARIABLE WIDTH R.O.W.)
VOL. 2006, PG. 837 M.R.C.C.T.

REMAINDER OF
MUSTANG - MIDWAY PLANO, LTD.
DOC. NO. 96-0038753 D.R.C.C.T.

ZONING: PD-2
CURRENT USE: MULTI-FAMILY
FUTURE LAND USE: US 380 DISTRICT

LEGEND

- IRF. = IRON ROD FOUND
- D.R.C.C.T = DEED RECORDS OF COLLIN COUNTY, TEXAS
- M.R.C.C.T = MAP RECORDS OF COLLIN COUNTY, TEXAS
- ESMT. = EASEMENT
- R.O.W. = RIGHT OF WAY

NOTE:

THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSE AND DOSE NOT SET THE ALIGNMENT.
THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.

ASA SURVEYOR
ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651 FAX (972) 248-9681

APPLICANT
DAWN ROGY-MEYER
ROGY'S LEARNING PLACE
1619 W.LUTHY DR.
PEORIA, IL 61615
(309) 427-5090 EXT.1
(309) 369-3958 CELL

OWNER
MICHAEL CRISE
178 RIDGE ROAD, SUITE 600
MCKINNEY, TX 75070-5108
(214) 726-0468

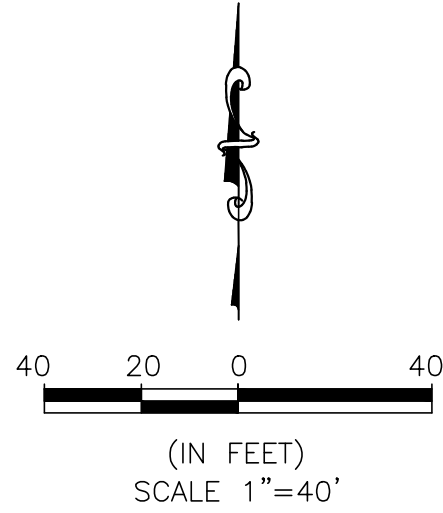


EXHIBIT 'A'

METES & BOUNDS DESCRIPTION

For ROGY'S LEARNING PLACE at PROSPER

BEING a 1.60 acres track of land located in H. Jamison Survey, Abstract No. 480, in the Town of Prosper, Collin County, Texas, and also being platted as Lot 3, Block A of Whispering Gables Addition, an addition to the Town of Prosper, Collin County, Texas, and being more particularly described by metes and bounds as follows;

BEGINNING at a 1/2" iron rod found Southwest corner of Lot 3, Block A, said point also being located on the north right-of-way of Richland Boulevard, approximate 801.2 feet from the intersect of the west right-of-way line of Coit Road and the north right-of-way line of Richland Boulevard;

THENCE N 49° 57' 41" E for a distance of 431.29 feet to a 1/2" Iron rod found for a corner, said the point also being northern corner of Lot 3, Block A;

THENCE S 40° 02' 44" E for a distance of 123.71 feet to a 1/2" iron rod found for a corner;

THENCE S 01° 25' 15" E for a distance of 7.29 feet to a 1/2" iron rod found for a corner;

THENCE N 88° 34' 45" E for a distance of 37.00 feet to a 1/2" iron rod found for a corner;

THENCE S 01° 25' 15" E for a distance of 210.24 feet to a point in the centerline of Richland Boulevard (a 90' ROW) for a corner;

THENCE S 88° 34' 45" W for a distance of 451.20 feet, along the centerline of Richland Boulevard, to a point for a corner

THENCE N 01° 25' 15" W for a distance of 45.00 feet to **POINT OF BEGINNING** and containing 88,826 SF or 2.04 acres tract of land with more or less.

Pansak Sribhen, RPLS
Registered Land Surveyor # 3576

Date: 06/10/2015

FOR REVIEW ONLY

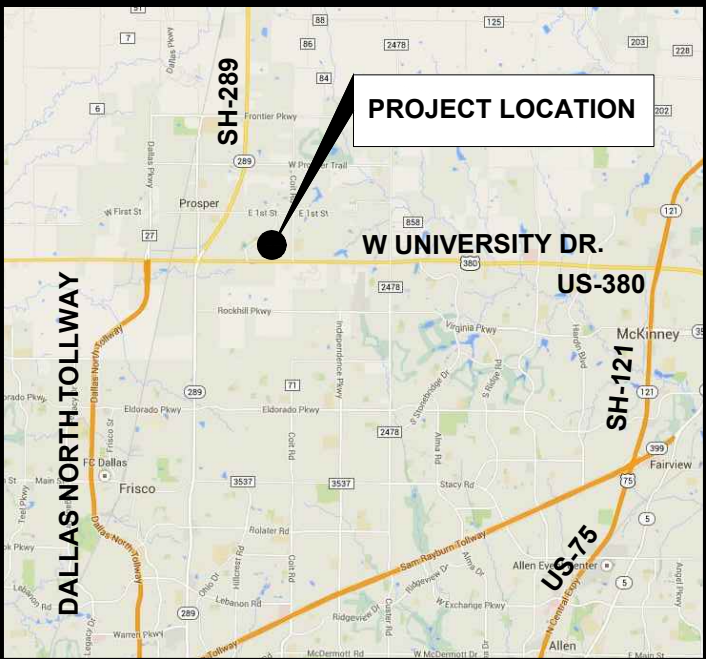
S15-0006

EXHIBIT "A"

FOR
ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION
LOT 3, BLOCK "A" 1.57 ACRES
H.JAMISON SURVEY, ABSTRACT NO.480

TOWN OF PROSPER
COLLIN COUNTY, TEXAS

JUNE 10, 2015



LOCATION MAP
NTS.

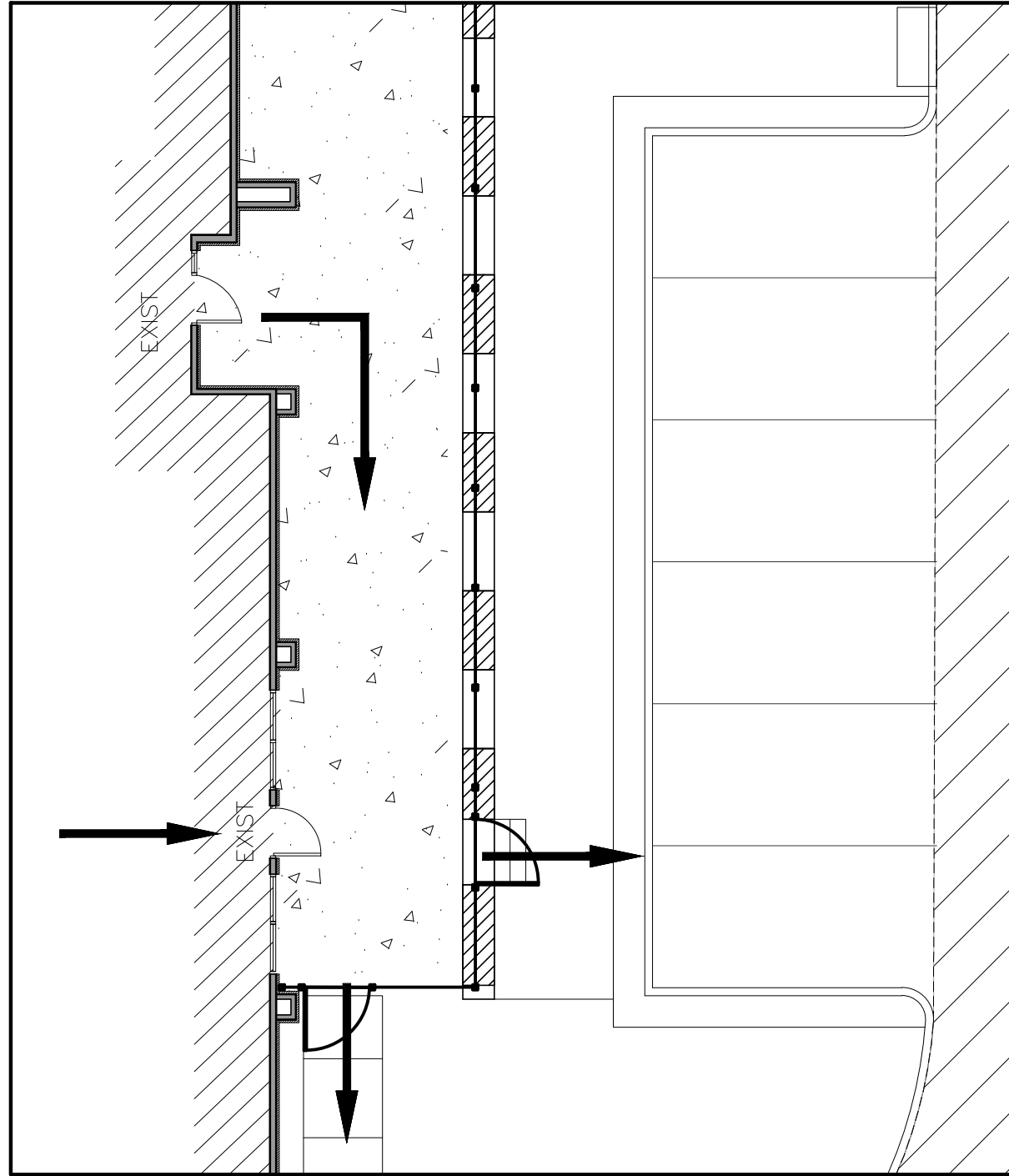
LEGENDS:

- EXISTING MH
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROP. FDC
- EXIST. PROPERTY LINE
- PROPERTY LINE & SUP ZONING LINE
- LANDSCAPE SETBACK LINE
- BUILDING LINE
- PROP. SITE LIGHTING (20 FT. HEIGHT)
(THE MAXIMUM HEIGHT OF THE PARKING
LOT LIGHT POLES IS 35 FT.)
- EXISTING POWER POLE
- INDICATE NUMBER OF PARKING SPACES
- TRANSFORMER PAD
- EXISTING TREE

30 15 0 30
(IN FEET)
SCALE 1"= 30'

SITE PLAN GENERAL NOTES:

- DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
- LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN
- ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
- BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
- TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
- SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
- SITE WALKS OF NOT LESS THAN SIX (6') FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5') IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
- SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
- ALL NE ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.



DETAIL "A"
EMERGENCY EXIT

NOTE:

- 8'-0" WROUGHT IRON FENCE W/ MASONRY PILLAR W/LIVE SCREENING
- RELOCATE EXIST TREES ALONG THE WEST SIDE OF THE PROPERTY TO LANDSCAPE AREA ALONG RICH LAND BLVD. SEE LANDSCAPING FOR MORE DETAIL.
- THE DUMPSTER ENCLOSURE WILL BE 8' IN HEIGHT AND WILL MATCH THE BUILDING MATERIALS.
- 6' WROUGHT IRON CHILDREN SAFETY FENCE

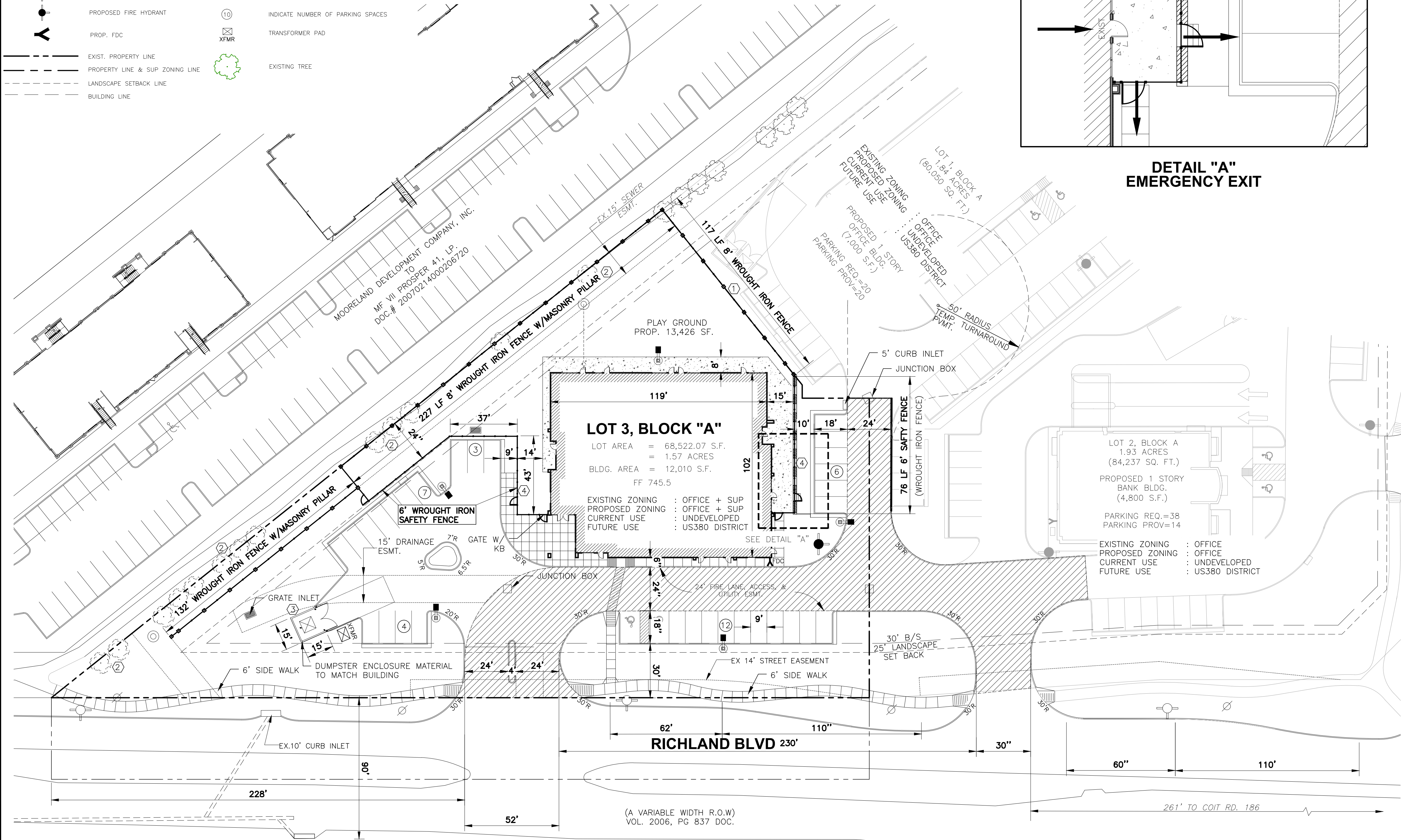
SITE DATA SUMMARY TABLE	
DESCRIPTION	LOT 3
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	OFFICE DISTRICT
LAND USE (FROM ZONING ORDINANCE)	DAY CARE
LOT AREA (SQUARE FEET & ACRES)	68,522.07 S.F. (1.57 ACRES)
BUILDING FOOT PRINT AREA (SQUARE FEET)	12,010 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	12,010 S.F.
BUILDING HEIGHT (# STOREYS)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	29 FEET
LOT COVERAGE	17.53 %
FLOOR AREA RATIO	17.53 %
PARKING	
PARKING RATIO (STUDENTS) (FROM ZONING ORDINANCE)	15P/10 STUDENTS
PARKING RATIO (TEACHERS) (FROM ZONING ORDINANCE)	15P/TEACHER
REQUIRE PARKING (# SPACES) FOR 120 STUDENTS	12 SP
REQUIRED PARKING (# SPACES) FOR 10 TEACHERS	10 SP
TOTAL REQUIRED PARKING	22 SP
PROVIDED PARKING (# SPACES)	32 SP
ACCESSIBLE PARKING REQUIRED (# SPACES)	2 SP
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SP
PARKING IN EXCESS OF 110% OF REQUIRED PARKING (# SPACES)	0 SP
OPEN SPACE	
OPEN SPACE REQUIRED (# 75') (SQUARE FEET)	4,797 S.F.
OPEN SPACE PROVIDED (SQUARE FEET)	11,505 S.F.
PLAY GROUND AREA	
PLAYGROUND AREA (65 S.F. PER STUDENT) FOR 190 STUDENTS	12,350 S.F.
PLAYGROUND AREA PROVIDED	13,426 S.F.

NOTE:

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48085C0235 J. DATED JUNE 2, 2009, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS NOT A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN ON IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR

FEMA NOTE:

"NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE."



FOR REVIEW ONLY

EXHIBIT "B"

S15-0006

SITE PLAN

FOR

ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION

LOT 3, BLOCK "A" 1.57 ACRES
H.JAMISON SURVEY, ABSTRACT NO.480

TOWN OF PROSPER
COLLIN COUNTY, TEXAS

SEPT 2, 2015

SITE PLAN

FOR
ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION
LOT 3, BLOCK "A"
THE H. JAMISON SURVEY, ABSTRACT NO.480
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

ROGY'S LEARNING PLACE
1619 W. LUTHY DR. PEORIA, IL 61615
(309) 427-5090 EXT. 1
(309) 369-3958 CELL

ASA ENGINEERING

17819 DAVENPORT ROAD, SUITE 215
PEORIA, ILLINOIS 61615
(309) 248-9651 FAX (309) 248-9681
T.R.P.E. FIRM LICENSED NO. F-6974
T.R.P.E.S. FIRM REGISTERED NO. 100453

SCALE: AS SHOWN

DESIGNED BY: PSA

DRAWN BY: PSA

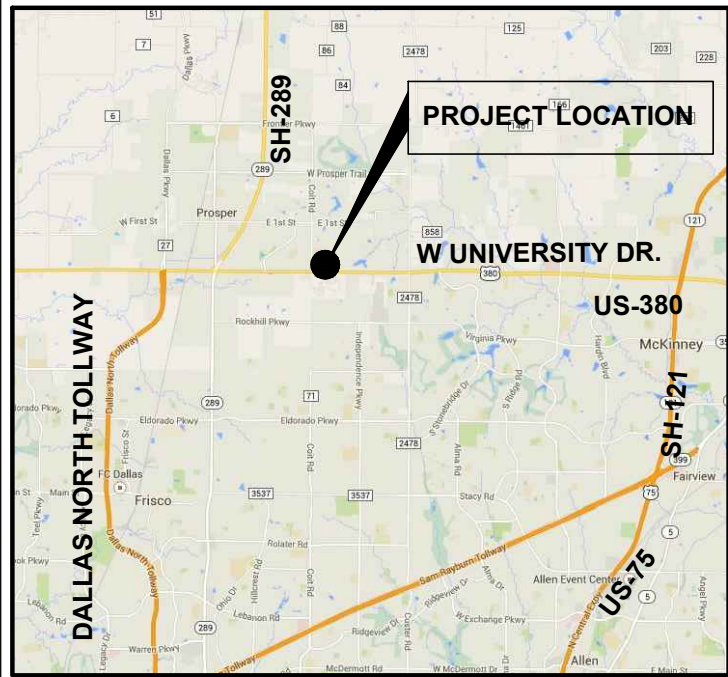
CHECKED BY: PSA

PROJECT NO. 21517.RLP

SHEET

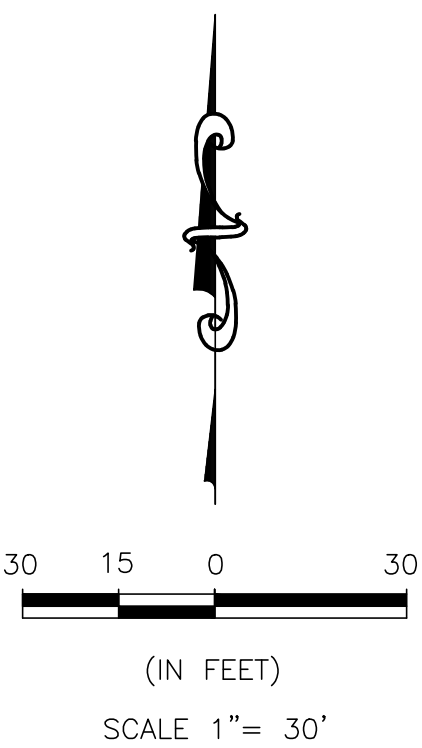
C-1

SEPT 2, 2015



LOCATION MAP

N.T.S.



PLANTING NOTES

- USE $\frac{1}{2}$ "x4" STEEL EDGING (PAINTED GREEN)
- USE 4" "GOOD EARTH" OR EQUIVALENT PLANTING MIX FOR BED PREPARATIONS
ROTOTILL BED MIX TO DEPTH OF 12" MINIMUM
- ALL THE LAWN AREAS TO BE HYDOMULCHED BURMUDA GRASS
- TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH,
AFTER PLANTING OPERATION
- THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATED SYSTEM
WITH RAIN, FREEZE & WIND SENSOR THAT IS CAPABLE OF THE PROVIDING THE
PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED
- THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING,
IRRIGATION, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTING
THE REQUIRED LANDSCAPING MUST BE MAINTAIN IN A HEALTHY GROWING
CONDITION AT ALL TIMES
- PARKWAY SHALL HAVE A MINIMUM OF SIX(6) INCHES OF TOPSOIL
- NO TREE MAY BE PLANTED UNDERNEATH POWERLINE

NOTES

A FENCE PERMIT WILL BE REQUIRED TO BE SUBMITTED AND
APPROVED BY THE TOWN

TREE

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE
17	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER 12-14" HT.7-8"SP.FULL, MATCHING.
16	CADDO MAPLE	ACER SACCHARUM	3" CALIPER 10-12" HT.4-5"SP.FULL, MATCHING.
14	CRAPE MYRTLE (NEW TREE LOCATION)	LAGERSTROEMIA INDICS	6-8" HT., 4-5" SP., MULTI TRUNK, FULL MATCHING
3	TEXAS REDBUD	CEROIS CANADENSIS TEXANA	6-8" HT., 4-5" SP., FULLMATCHING
1	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	3" CALIPER 12-14" HT.7-8"SP.FULL, MATCHING.
3	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER 12-14" HT.7-8"SP.FULL, MATCHING.

SHRUBS

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE
21	NRS HOLLY	NELLIE R. STEVENS' HOLLY	45 GAL. 8" HT.,FULL POT, WELL ROOTED. 6" O.C.
93	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA	5 GAL. FULL POT, WELL ROOTED.
101	SPIREA (ANTHONY WATERER)	SPIRES SPP.	5 GAL. FULL POT, WELL ROOTED.
44	CLEYARA	CLEYERA JAPONICA	5 GAL. FULL POT, WELL ROOTED.

GROUND COVER LAWNS

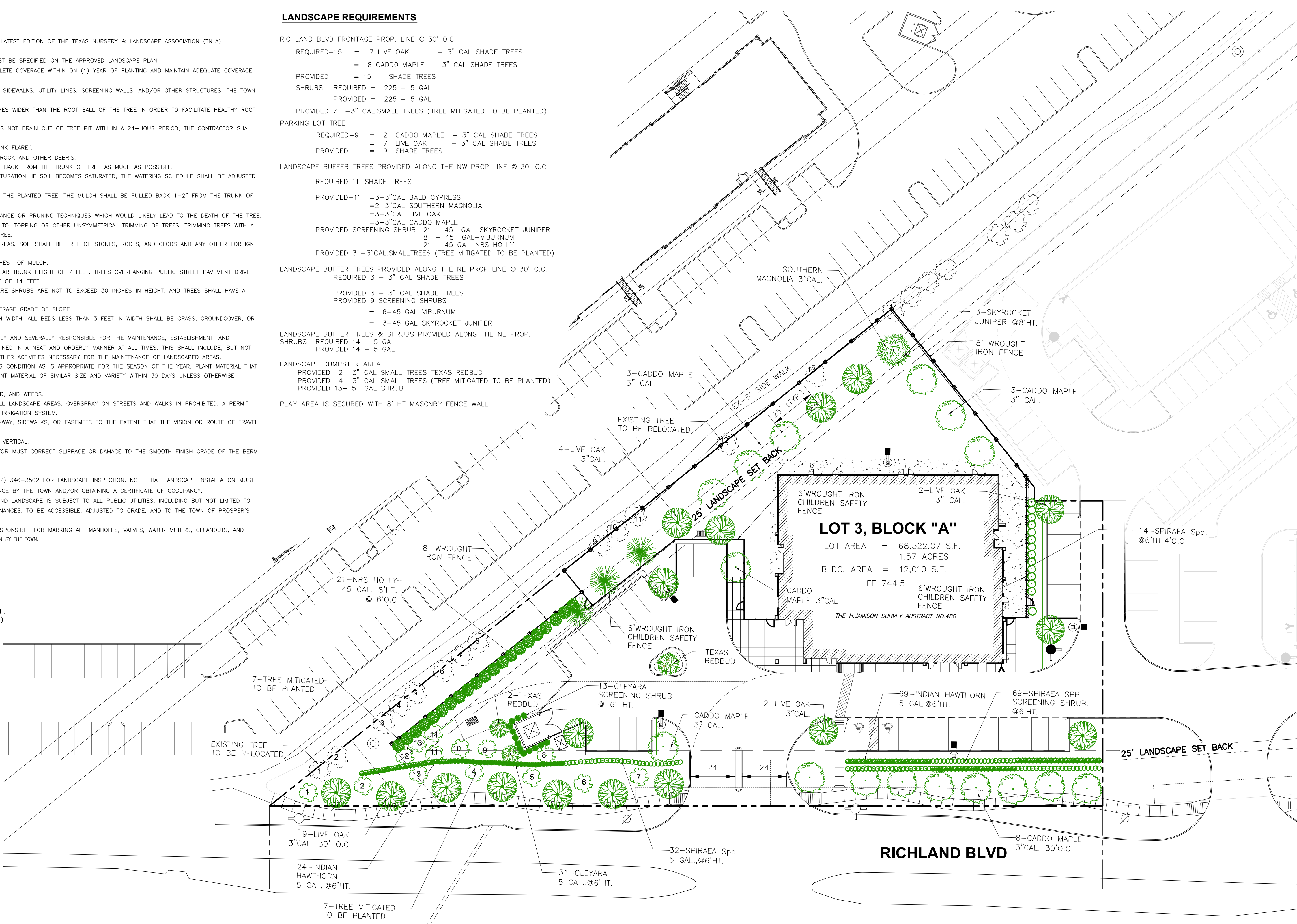
QTY	COMMON NAME	SCIENTIFIC NAME
33,750 SF.	BURMUDA GRASS	CYNODON DACTYLON (L.) PERS.

LANDSCAPE NOTES:

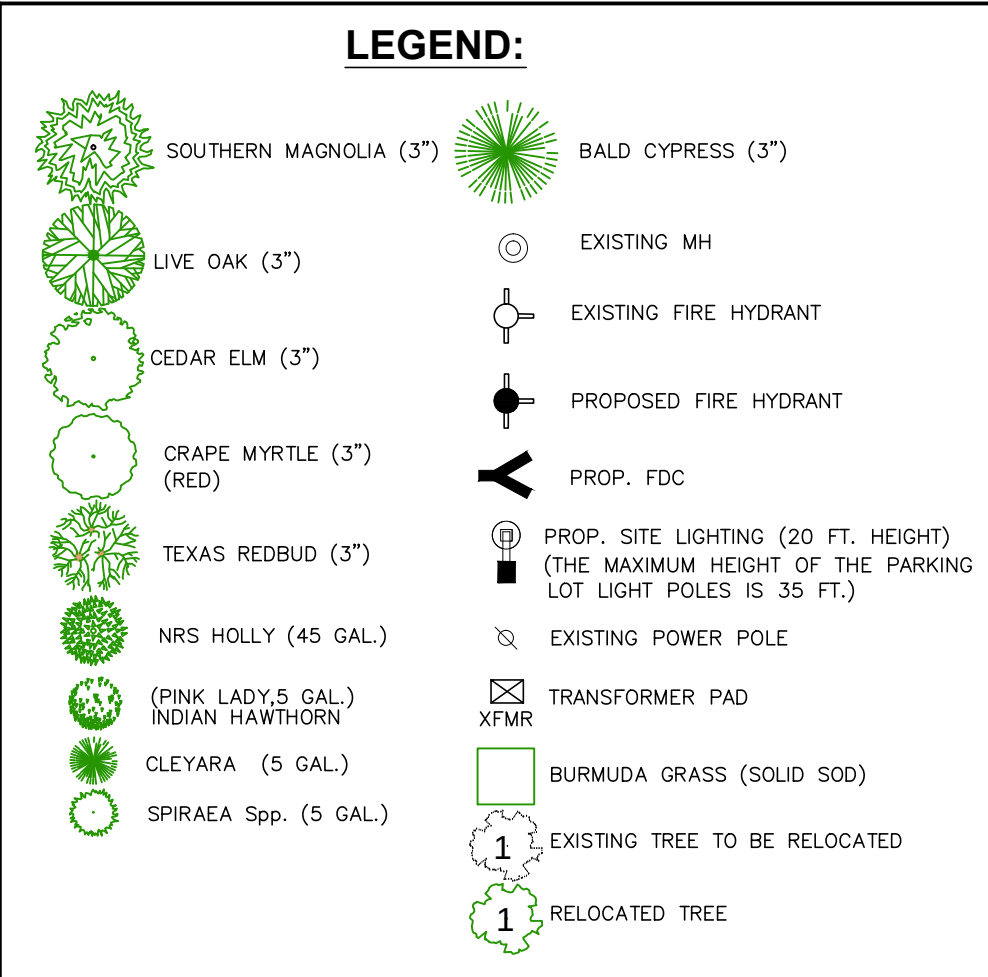
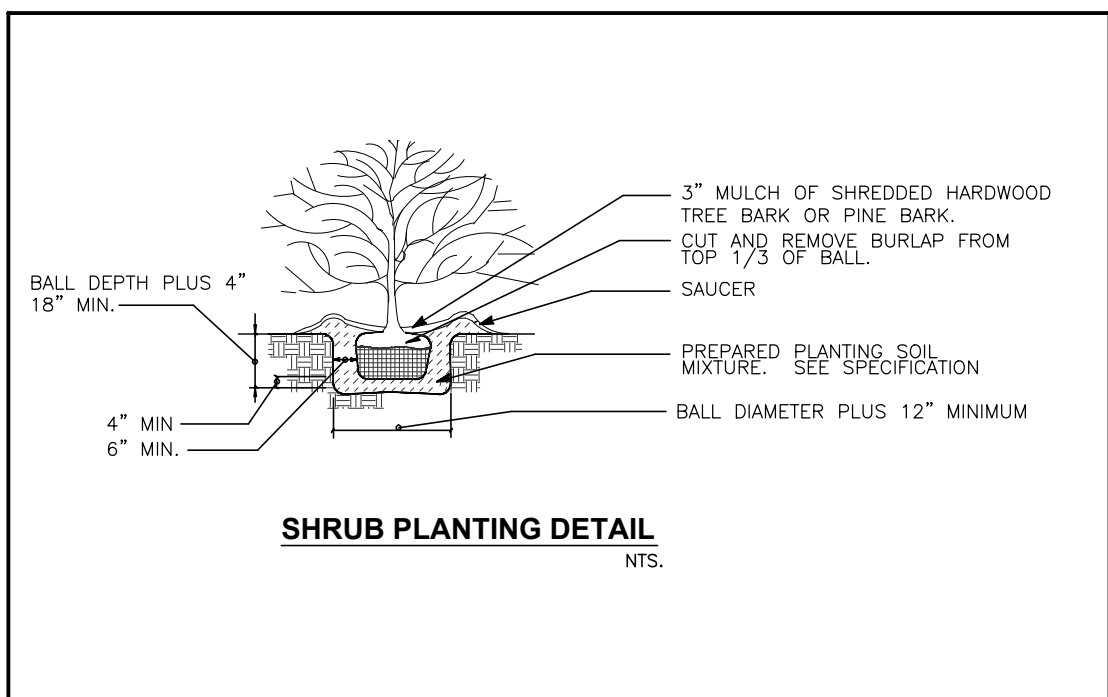
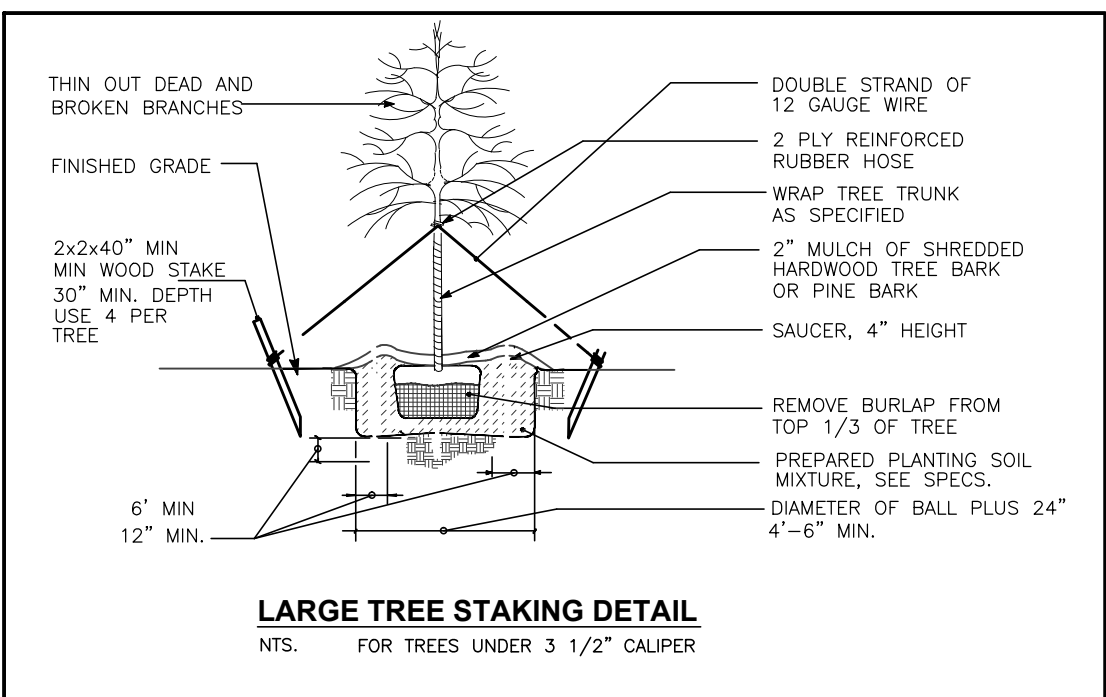
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA)
SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO TOWN APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ON (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE
AS APPROVED BY THE TOWN.
- TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS, AND/OR OTHER STRUCTURES. THE TOWN
HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT
GROWTH.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITH IN A 24-HOUR PERIOD, THE CONTRACTOR SHALL
PROVIDE BERMING, OR DEVISE ALTERNATIVE DRAINAGE.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
- THE FTREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP, TWINE, AND WIRE BASKETS SHALL BE LOOSEENED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED
TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3-4" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 1-2" FROM THE TRUNK OF
THE TREE.
- NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE.
IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A
BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
- TOPSOIL SHALL BE A MINIMUM OF 8 INCHES IN DEPTH IN PLANTING AREAS. SOIL SHALL BE FREE OF STONES, ROOTS, AND CLODS AND ANY OTHER FOREIGN
MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE
AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS, WHERE SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT, AND TREES SHALL HAVE A
MINIMUM CLEAR TRUNK HEIGHT OF 9 FEET.
- TREES PLANTED ON A SLOPE SHALL HAVE THE TREE WELL AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER, OR
SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND
PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT
LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT
IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE
APPROVED IN WRITING BY THE TOWN OF PROSPER.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER, AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT
FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON RIGHT-OF-WAY, SIDEWALKS, OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL
FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE, 3' HORIZONTAL TO 1' VERTICAL.
- EARTHEN BERM SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM
PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT TOWN OF PROSPER PARKS AND RECREATION DIVISION AT (972) 346-3502 FOR LANDSCAPE INSPECTION. NOTE THAT LANDSCAPE INSTALLATION MUST
COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR TO FINAL ACCEPTANCE BY THE TOWN AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION, AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO
MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE, AND TO THE TOWN OF PROSPER'S
PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS, AND
OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE TOWN.

LANDSCAPE AREA

TOTAL LOT AREA	68,522.07 SF. (1.57 ACRES)
BLDG AREA	12,010 SF.
TOTAL OPEN AREA	5,646 SF.
TOTAL NUMBER OF PARKING SPACES REQUIRED	22 SP.
ACCESSIBLE REQUIRED	2 SP.
ACCESSIBLE PROVIDED	2 SP.
PROVIDED	34 SP.



NOTE: IF MITIGATED TREES DO NOT SURVIVE, THEY WILL BE
RE-PLANTED WITH LIKE SIZE AND LIKE SPECIES OF PLANT
MATERIAL.



FOR REVIEW ONLY

S15-0006
EXHIBIT "C"
LANDSCAPE PLAN
FOR
ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION
LOT 3, BLOCK "A" 1.57 ACRES
H.JAMISON SURVEY, ABSTRACT NO.480
TOWN OF PROSPER
COLLIN COUNTY, TEXAS
SEPT 02, 2015

LANDSCAPE PLAN
FOR
ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION
LOT 3, BLOCK "A"
THE H. JAMISON SURVEY, ABSTRACT NO.480
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

ROGY'S LEARNING PLACE
1619 W. LUTHY DR. PEORIA, IL 61615
(309) 427-5090 EXT. 1
(309) 369-3958 CELL

ASA ENGINEERING
178 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75222
(972) 248-8888
FIRM LICENSE NO. 16874
T.E.R.L.'S FIRM REGISTERED NO. 100433

SCALE: AS SHOWN

DESIGNED BY: PSA

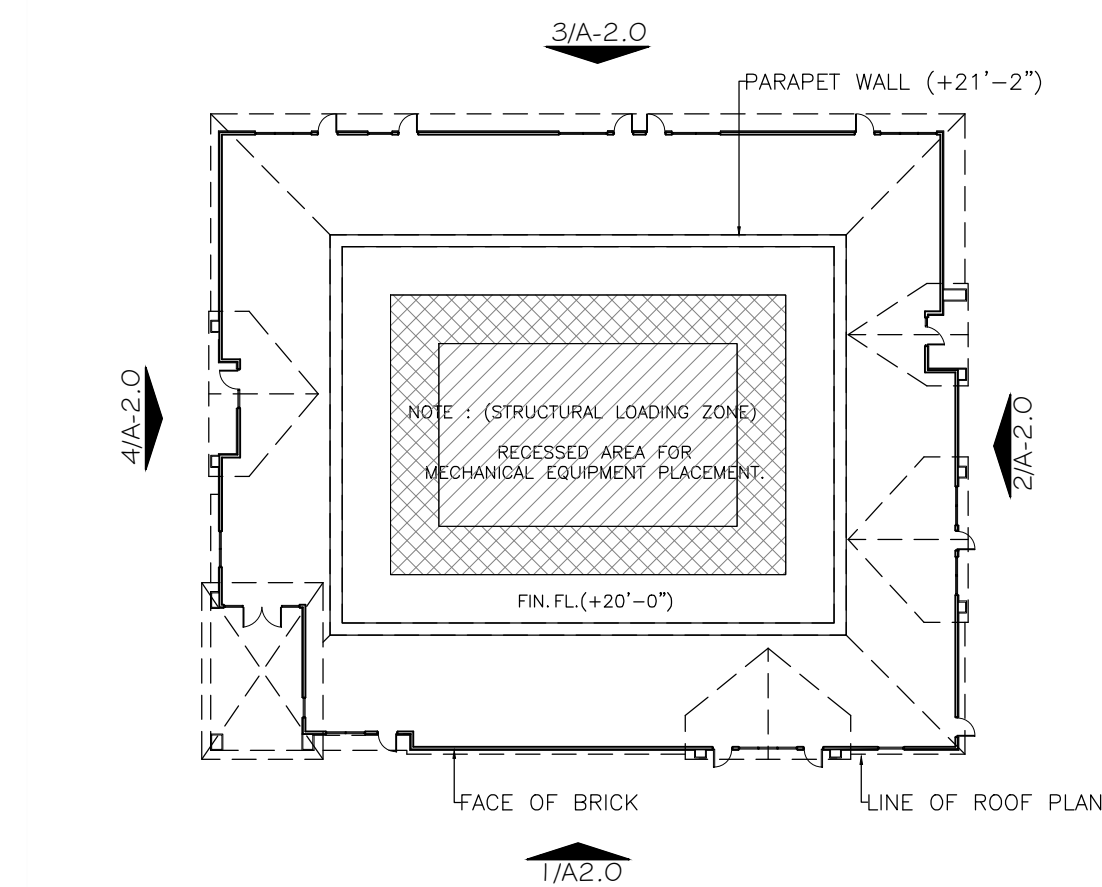
DRAWN BY: PSA

CHECKED BY: PSA

PROJECT NO. 21517.RLP

SHEET
LP-1

SEPT 2, 2015



FLOOR PLAN
NTS

MATERIALS LEGEND:

- ROOF**
LAMINATED ASPHALT SHINGLE
BY CERTAINTED SELECTED 40
"RUSTIC SLATE COLOR"
- MR#01**
STONE VENEER BY VENEER STONE
"SELECTED PACIFIC LEDGESTONE
MILLSAP COLOR"
- MR#02**
BRICK VENEER STANDARD SIZE
BY ACME BRICK "THIN BRICK
HARVARD-O COLOR"
- MR#03(1)**
E.I.F.S. COLOR MATCH TO
SHERWIN-WILLIAMS PANTONE
"SW 6371 - VANILLIN"
- MR#03(2)**
E.I.F.S. COLOR MATCH TO
SHERWIN-WILLIAMS PANTONE
"SW 7035 - AESTHETIC WHITE"

MATERIALS CALCULATIONS TABLE:

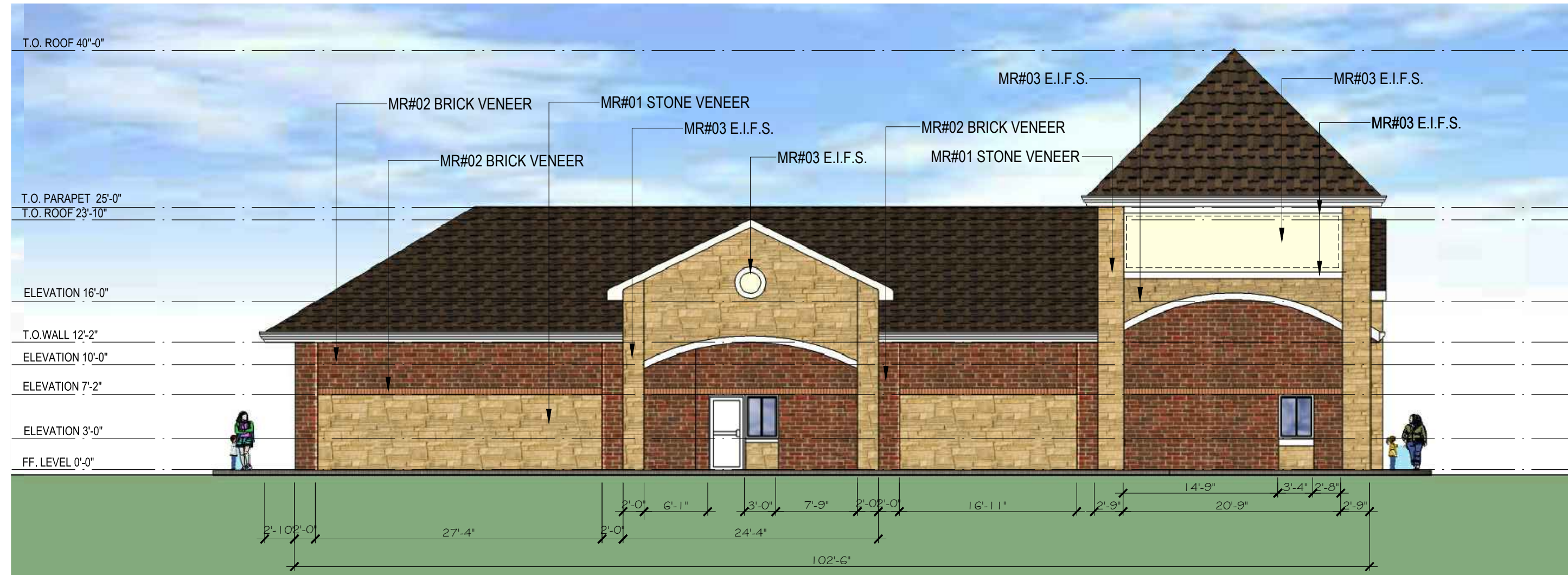
DESCRIPTION	SOUTH (FRONT SIDE)		NORTH (REAR SIDE)		WEST (LEFT SIDE)		EAST (RIGHT SIDE)	
	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
TOTAL OF ELEVATION AREA	1,924 S.F.	-	1,500 S.F.	-	1,800 S.F.	-	1,683 S.F.	-
AREA OF WINDOWS & DOORS	204 S.F.	-	236 S.F.	-	43 S.F.	-	113 S.F.	-
NET AREA (EXCLUSIVE OF W&D)	1,720 S.F.	100%	1,264 S.F.	100%	1,757 S.F.	100%	1,570 S.F.	100%
DESCRIPTION	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA	AREA (S.F.)	% OF NET AREA
MR#01 - STONE VENEER	808 S.F.	47%	524 S.F.	42%	737 S.F.	42%	806 S.F.	51%
MR#02 - BRICK VENEER	760 S.F.	45%	690 S.F.	55%	837 S.F.	48%	718 S.F.	46%
MR#03 - E.I.F.S.	152 S.F.	8%	50 S.F.	3%	183 S.F.	10%	46 S.F.	3%
DOOR	71 S.F.	-	118 S.F.	-	24 S.F.	-	69 S.F.	-
GLAZING	133 S.F.	-	118 S.F.	-	19 S.F.	-	44 S.F.	-

FACADE PLAN NOTES:

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DEPARTMENT.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DEPARTMENT.
- WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.



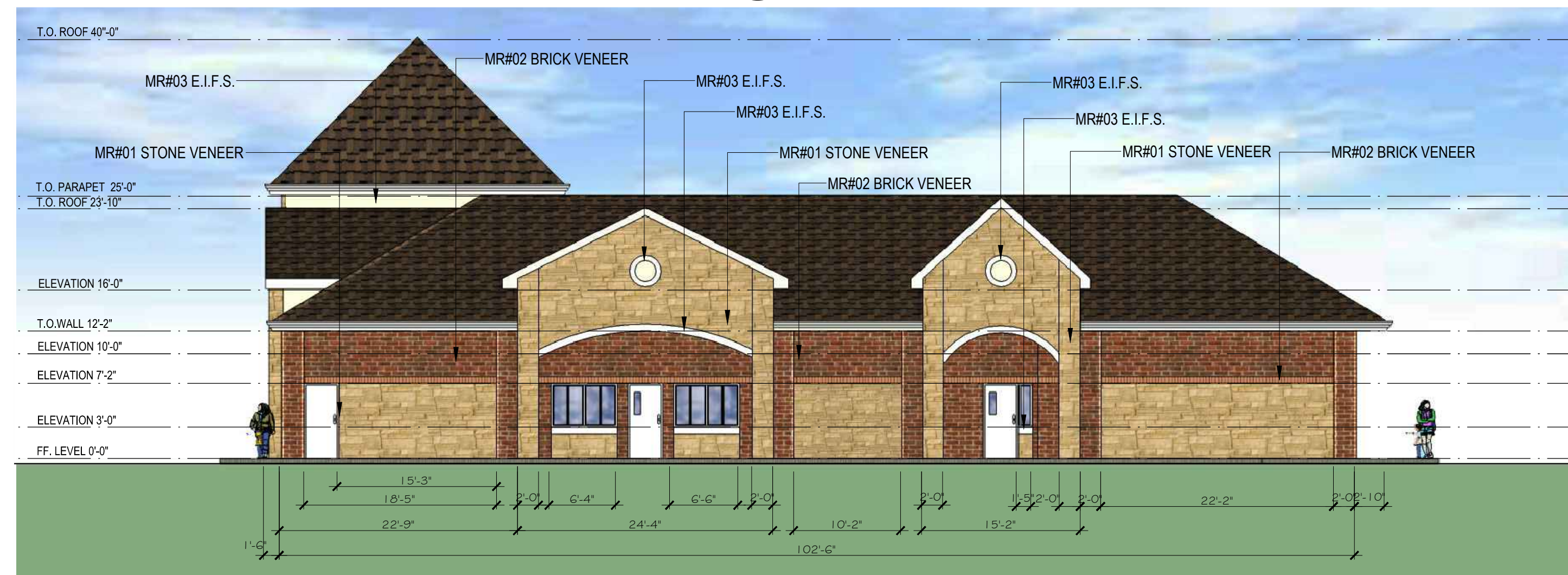
1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
SCALE: 3/32" = 1'-0"

LINE LEGEND:

- ELEVATION GRID
- - - - - WALL MOUNTED SIGNAGE AREA

LEGEND:

- T.O. = TOP OF
F.F. = FINISHED FLOOR
M.R. = MATERIAL

ASA SURVEYOR
ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9661 FAX (972) 248-9681

APPLICANT
DAWN ROGY-MEYER
ROGY'S LEARNING PLACE
1619 W. LUTHY DR.,
PEORIA, IL 61615
(309) 427-5090 EXT.1
(309) 369-3958 CELL

OWNER
MICHAEL CRISE
175 RIDGE ROAD, SUITE 600
MCKINNEY, TX 75070-5108
(214) 726-0468

FOR REVIEW ONLY
FACADE PLAN
FOR
ROGY'S LEARNING PLACE
WHISPERING GABLES ADDITION
LOT 3, BLOCK "A" 1.57 ACRES
H.JAMISON SURVEY, ABSTRACT NO.480
TOWN OF PROSPER
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JUNE 29, 2015

FACADE PLAN

FOR
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WHISPERING GABLES ADDITION
LOT 3, BLOCK "A"
THE H. JAMISON SURVEY, ABSTRACT NO.480
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ROGY'S LEARNING PLACE
1619 W. LUTHY DR. PEORIA, IL 61615
(309) 427-5090 EXT.1
(309) 369-3958 CELL

ASA ENGINEERING

17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9661 FAX (972) 248-9681
T.B.P.E. FIRM LICENSED NO. E-6874
T.B.P.L.S. FIRM REGISTERED NO. 100433

SCALE: AS SHOWN
DESIGNED BY: PSA
DRAWN BY: PSA
CHECKED BY: PSA
PROJECT NO. 21517.RLP

SHEET
A-1

JUNE 29, 2015