

TOWN OF PROSPER, TEXAS

ORDINANCE NO. 16-27

AN ORDINANCE AMENDING PROSPER'S ZONING ORDINANCE; GRANTING A SPECIFIC USE PERMIT (SUP) FOR A CHILD DAY CARE CENTER AND PRIVATE ATHLETIC STADIUM OR FIELDS (WITH NO LIGHTS), LOCATED ON A TRACT OF LAND CONSISTING OF 51.729 ACRES, MORE OR LESS, SITUATED IN THE J. BATES SURVEY, ABSTRACT NO. 1620 AND IN THE C. SMITH SURVEY, ABSTRACT NO. 1681, IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS; DESCRIBING THE TRACT TO BE REZONED; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVING AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the Town Council of the Town of Prosper, Texas (the "Town Council") has investigated and determined that the Zoning Ordinance should be amended; and

WHEREAS, the Town of Prosper, Texas ("Prosper") has received a request from Catholic Diocese of Fort Worth ("Applicant") for a Specific Use Permit (SUP) for a Child Day Care Center and Private Athletic Stadium or Fields (with no lights), on a tract of land zoned Planned Development-40 (PD-40), consisting of 51.729 acres of land, more or less, situated in the J. Bates Survey, Abstract No. 1620 and in the C. Smith Survey, Abstract No. 1681, in the Town of Prosper, Denton County, Texas, and being more particularly described in Exhibit "A," attached hereto and incorporated herein for all purposes; and

WHEREAS, the Town Council has investigated and determined that the facts contained in the request are true and correct; and

WHEREAS, all legal notices required to grant a Specific Use Permit (SUP) have been given in the manner and form set forth by law, Public Hearings have been held, and all other requirements of notice and completion of such procedures have been fulfilled; and

WHEREAS, the Town Council has further investigated into and determined that it will be advantageous and beneficial to Prosper and its inhabitants to rezone this property as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS:

SECTION 1

Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2

Specific Use Permit Granted. The Town's Zoning Ordinance is amended as follows: Applicant is granted a Specific Use Permit (SUP) for a Child Day Care Center and Private Athletic Stadium or Fields (with no lights), on a tract of land zoned Planned Development-40 (PD-40), consisting of 51.729 acres of land, more or less, situated in the J. Bates Survey,

Abstract No. 1620 and in the C. Smith Survey, Abstract No. 1681, in the Town of Prosper, Denton County, Texas, and being more particularly described in Exhibit "A," attached hereto and incorporated herein for all purposes as if set forth verbatim.

The property shall continue to be used in a manner consistent with the conditions expressly stated in the conceptual layout attached hereto as Exhibit "B," the conceptual elevations attached hereto as Exhibit "C," and the conceptual landscape plan attached hereto as Exhibit "D," which is incorporated herein for all purposes as if set forth verbatim.

All development plans, standards, and uses for the Property shall comply fully with the requirements of all ordinances, rules, and regulations of the Town of Prosper, as they currently exist or may be amended.

Two original, official and identical copies of the zoning exhibit map are hereby adopted and shall be filed and maintained as follows:

- a. One copy shall be filed with the Town Secretary and retained as an original record and shall not be changed in any manner.
- b. One copy shall be filed with the Building Official and shall be maintained up-to-date by posting thereon all changes and subsequent amendments for observation, issuing building permits, certificates of compliance and occupancy and enforcing the zoning ordinance. Reproduction for information purposes may from time-to-time be made of the official zoning district map.

SECTION 3

No Vested Interest/Repeal. No developer or property owner shall acquire any vested interest in this Ordinance or in any other specific regulations contained herein. Any portion of this Ordinance may be repealed by the Town Council in the manner provided for by law.

SECTION 4

Unlawful Use of Premises. It shall be unlawful for any person, firm or corporation to make use of said premises in some manner other than as authorized by this Ordinance, and shall be unlawful for any person, firm or corporation to construct on said premises any building that is not in conformity with the permissible uses under this Zoning Ordinance.

SECTION 5

Penalty. Any person, firm, corporation or business entity violating this Ordinance or any provision of Prosper's Zoning Ordinance No. 05-20, or as amended, shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be fined any sum not exceeding Two Thousand Dollars (\$2,000.00). Each continuing day's violation under this Ordinance shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Prosper from filing suit to enjoin the violation. Prosper retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6

Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Prosper hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

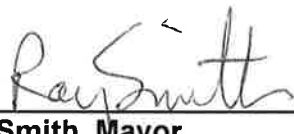
SECTION 7

Savings/Repealing Clause. Prosper's Zoning Ordinance No. 05-20 shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the appeal prevent a prosecution from being commenced for any violation if occurring prior to the repealing of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8

Effective Date. This Ordinance shall become effective from and after its adoption and publications as required by law.

DULY PASSED, APPROVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF PROSPER, TEXAS, ON THIS 26TH DAY OF APRIL, 2016.



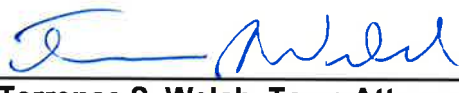
Ray Smith, Mayor

ATTEST:



Robyn Battle, Town Secretary

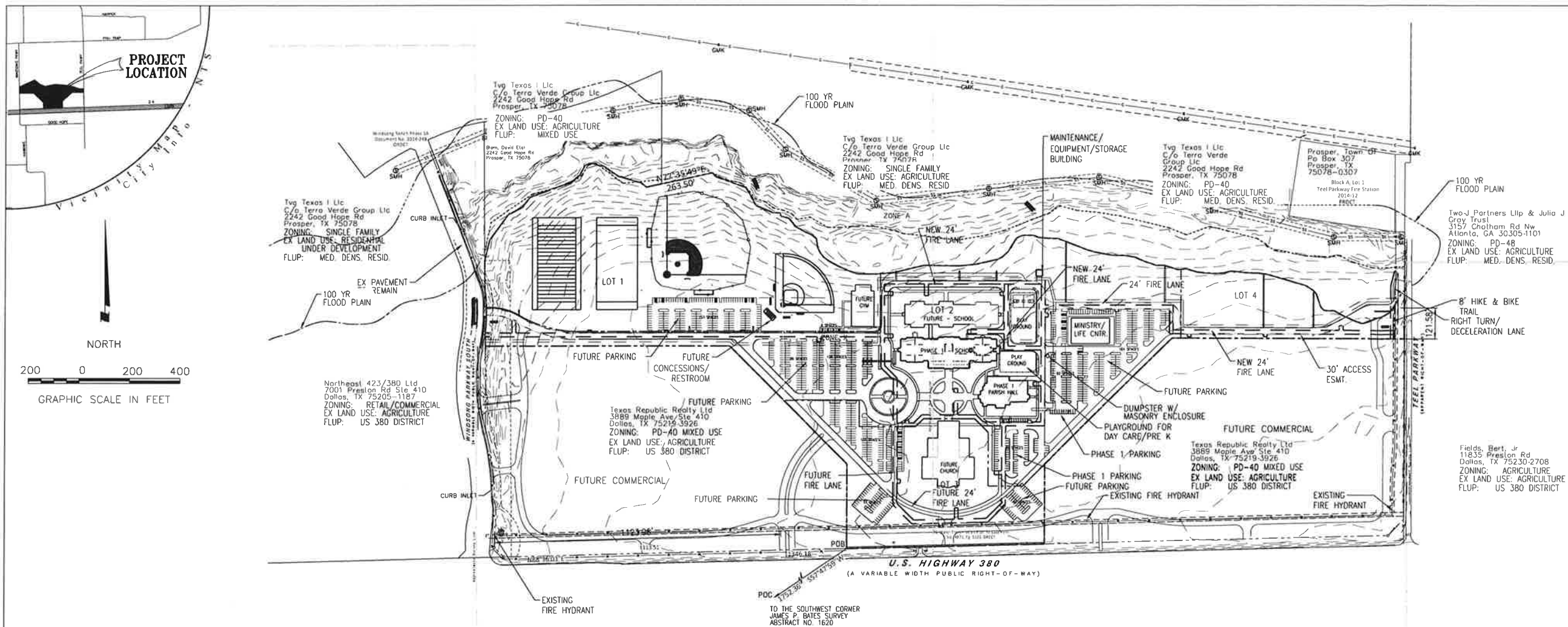
APPROVED AS TO FORM AND LEGALITY:



Terrence S. Welch, Town Attorney



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ST. MARTIN de PORRES FULL DEVELOPMENT

SCALE: 1" = 200' ZONING: PD-40

SPECIFIC USE PERMIT FOR CHILD DAY CARE CENTER AND
PRIVATE ATHLETIC FIELDS (WITH NO LIGHTS)

SITE DATA SUMMARY TABLE

Existing Zoning	PD-40				
Proposed Zoning	PD-40 With Amendments				
Lot Area	Lot 1	Lot 2	Lot 3	Lot 4	
SF	741736	987048	358814	179329	
Acres	17.028	22.660	8.237	4.117	
School/Parish					
Proposed Land Use	Athletics	Hall	Church	Open Space/Drive	
Building Area - Phase 1	0	58020	0		
Building Area - Phase 2	14850	64000	38000		
Building Area - Full Development	14850	122020	38000		
Building Height - Phase 1	<40'	55 Ft.	NA		
Building Height - Full Development	<40'	55 Ft.	70 Ft.		
Lot Coverage (Full Development)	0.02	0.09	0.10		
Floor Area Ratio (Full Development)	0.02	0.12	0.11		
Total Parking Required - Phase 1		78			
Total Parking Provided - Phase 1		298			
Total Parking Required - Full Dev		945			
Total Parking Provided - Full Dev		955			
Handicap Parking Required Phase 1		8			
Handicap Parking Provided Phase 1		8			
Interior Landscaping Required - Phase 1		4470	SF		
Interior Landscaping Provided - Phase 1		16344	SF		
Interior Landscaping Required - Full Dev		14445	SF		
Interior Landscaping Provided - Full Dev		50605	SF		
Square Footage of Impervious Surface		370782	SF Phase 1:		
Day Care Play Area:					
Required	100	Students	65	SF/Child	6500
Provided					SF
Parking Calculation - Master Plan Full Development					
Church	2000	seats	667	1 sp/3 seats	
Parish Hall	600	seats	200	1 sp/3 seats	
School - Future	36	Classrooms	54	1.5 sp/classroom	
Day Care	96	Students	10	1 sp/10 students+ 1 per teacher	
	8	Teachers	8		
Office (In School)	1900	SF	6	1 sp/350 SF	
Total Parking Required					945
Total Parking Provided					967

SITE PLAN NOTES:

Any revision to this plan will require town approval and will require revisions to any corresponding plans to avoid conflicts between plans.

- 1) Dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
- 2) Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- 3) Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Ordinance.
- 4) Landscaping shall conform to landscape plans approved by the Town.
- 5) All elevations shall comply with the standards contained within the Zoning Ordinance.
- 6) Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
- 7) Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
- 8) Two points of access shall be maintained for the property at all times.
- 9) Speed bumps/bumps are not permitted within a fire lane.
- 10) Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
- 11) All signage is subject to Building Official approval.
- 12) All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
- 13) All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
- 14) Sidewalks of not less than six (6) feet in width along thoroughfares and collectors and five (5) feet in width along residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
- 15) Approval of the site plan is not final until all engineering plans are approved by the Engineering Department.
- 16) Site plan approval is required prior to grading release.
- 17) All new electrical lines shall be installed and/or relocated underground.
- 18) All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
- 19) Conceptual layout subject to detailed review at the time of Final Site Plan. All Town Codes and Ordinances shall be applicable, unless otherwise specified in Exhibit C.

OWNER/DEVELOPER
THE CATHOLIC DIOCESE OF FORT WORTH
800 WEST LOOP 820 SOUTH
FORT WORTH, TEXAS 76108
CONTACT: GARY FRAGOSSO
817-560-2452

Being a 51.729 acre tract of land situated in the
**J Bates Survey, Abstract No. 1620 &
C. Smith Survey, Abstract No. 1681**
Town of Prosper, Denton County, Texas

SURVEYOR AND ENGINEER:

BHB BAIRD, HAMPTON & BROWN, INC.
ENGINEERING & SURVEYING

6300 Ridgley Place, Ste 700 Fort Worth, TX 76116 Tel: 817-338-1277 Fax: 817-338-9245
TBP Firm 000044 E-Mail: mail@bhinc.com Web Site: www.bhinc.com TBP Firm 10011300

REVISIONS

S16-0004

**Hahnfeld
Hoffer
Stanford**

architects planners interiors

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**STEELE &
FREEMAN, INC.**

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THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF
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UNDER THE
AUTHORITY OF
JOHN W. BAIRD, JR.
P.E. Tx No. 42645
IT IS NOT INTENDED
FOR CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.

**A New School and Parish Hall/Chapel
St. Martin de Porres Catholic Church
Roman Catholic Diocese of Fort Worth
Prosper, Texas**

PROJECT: 15888-01 MANAGER: BB
ISSUED FOR: Progress Set CHARTER: LB
DATE: 01/04/04 CHECKED: BB

SHEET EXHIBIT B
**ST. MARTIN de PORRES
ADDITION**

OF SHEETS

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Hoffer
Stanford

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FAX 817.338.9245

PRELIMINARY ONLY:
NOT FOR BIDDING, PERMIT,
OR CONSTRUCTION.
DATE: 25 Feb. 2016

MICHAEL HOFFER
TEXAS REGISTRATION:

A New Chapel/Parish Hall and School
Roman Catholic Diocese of Fort Worth
St Martin de Porres Catholic Church
Prosper, Texas

PROJECT # 15099-00 MANAGER MJH
ISSUED FOR: Final Des Sub DRAFTER WJW
DATE: 25 Feb. 2016 CHECKED: WJW

Exterior Elevations - Unit a

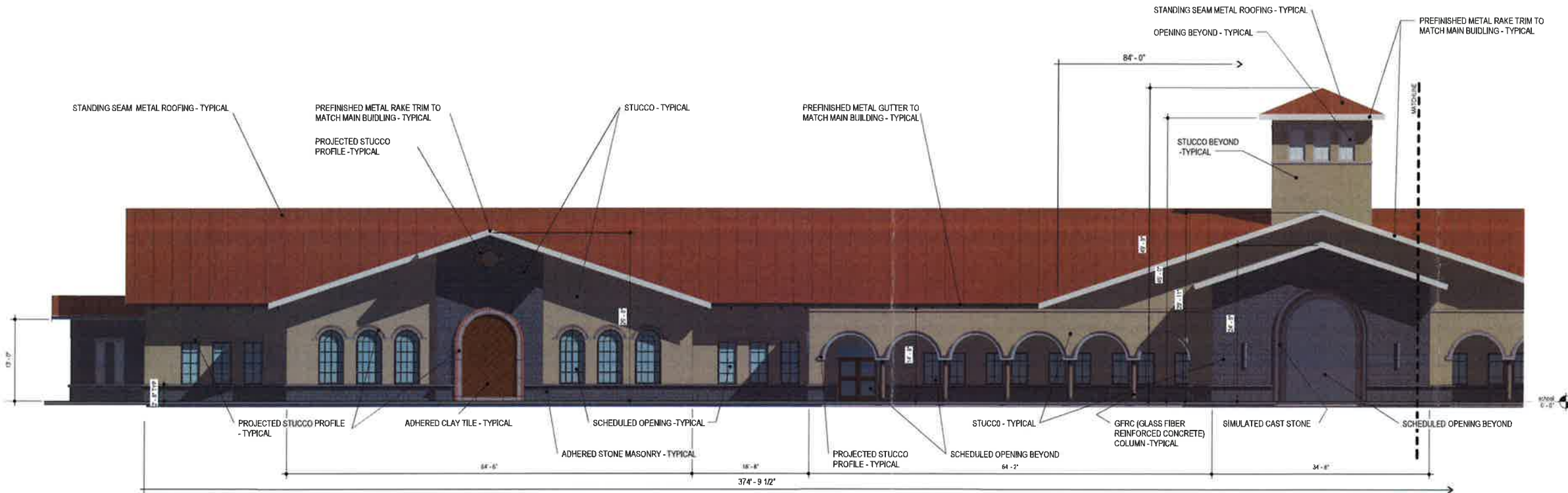
S16-0004

SHEET

Exhibit C
St Martin de Porres
Addition

OF SHEETS

Copy 2016 2016 Hahnfeld Hoffer Stanford



1 PARTIAL SOUTH ELEVATION - SCHOOL
1/8" = 1'-0"



3 Building Footprint - School
1" = 67'-0"

Material Calculations - South

	Color	Area (Square Feet)	Percentage
Gross Area		8592	
Net Surface Area		7330	85% of Gross
Stucco		4946	68% of Net Surface
Hand Troughed Stucco	Bone	4615	63
Stucco Profile	Bone	333	5%
Masonry		2382	32% of Net Surface
Manufactured Adhered Stone veneer	Sand	2045	28%
Simulated Cast Stone	Chalk	122	1%
Adhered Clay Tile	Red Clay	214	3%
Door and Window Surface Area		1262	15% of Gross
Window	Clear Glazing	1139	13%
Door	Clear Anodized Aluminum	123	2%

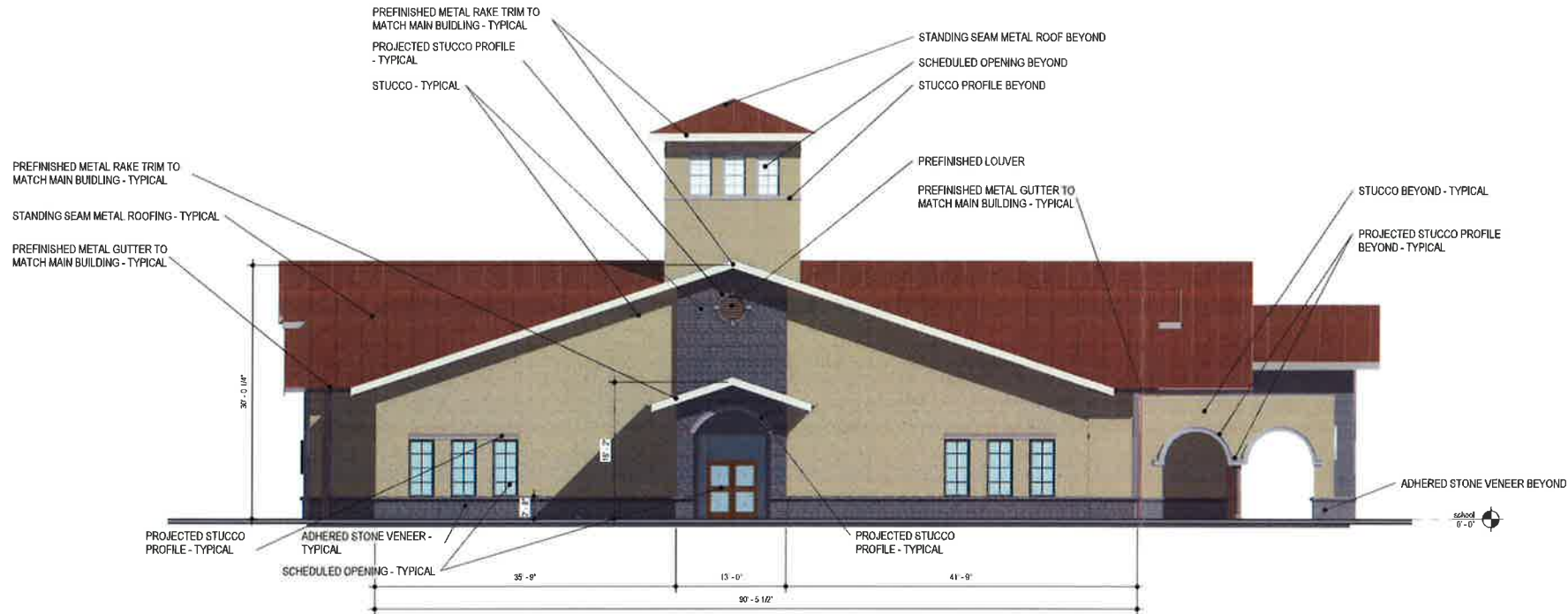


2 PARTIAL SOUTH ELEVATION - SCHOOL - CONTINUED
1/8" = 1'-0"
NOTE: REFER TO "1" FOR TYPICAL NOTES AND DIMENSIONS

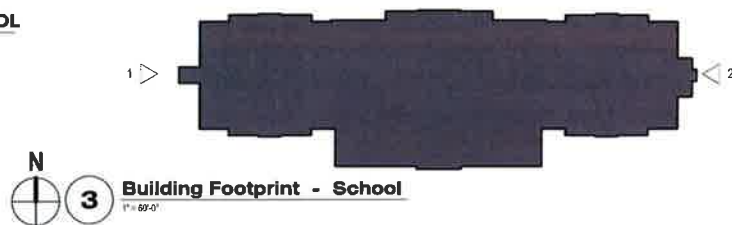
- Notes:
1. These Conceptual Elevations are for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
 2. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
 3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
 4. All signage areas and locations are subject to approval by the Building Inspection Department.
 5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Being a 51.729 acre tract of land situated in the
J Bates Survey, Abstract No. 1620 &
C. Smith Survey, Abstract No. 1681
Town of Prosper, Denton county, Texas

BHB BAIRD, HAMPTON & BROWN, INC.
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TDFE Form 0000-44 E-Mail mail@bhbinc.com Web Site www.bhbinc.com TDFE Form 10011360



1 WEST ELEVATION - SCHOOL
1/8" = 1'-0"



2 EAST ELEVATION - SCHOOL
1/8" = 1'-0"

NOTE: REFER TO "I" FOR TYPICAL NOTES, DIMENSIONS AND MATERIAL CALCULATIONS

Notes:

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Material Calculations - West

	Color	Area (Square Feet)	Percentage
Gross Area		2176	
Net Surface Area		1899	88% of Gross
Stucco		1409	74% of Net Surface
Hand Troughed Stucco	Bone	1371	72%
Stucco Profile	Bone	38	2%
Masonry		490	26% of Net Surface
Manufactured Adhered Stone veneer	Sand	490	26
Glazing Surface Area		271	12% of Gross
Window	Clear Glazing	230	10%
Door	Clear Anodized Aluminum	41	2%

Material Calculations - East

	Color	Area (Square Feet)	Percentage
Gross Area		2235	
Net Surface Area		1936	86% of Gross
Stucco		1159	60% of Net Surface
Hand Troughed Stucco	Bone	1115	58%
Stucco Profile	Bone	44	2%
Masonry		779	40% of Net Surface
Manufactured Adhered Stone veneer	Sand	779	40%
Glazing Surface Area		287	14% of Gross
Window	Clear Glazing	235	11%
Door	Clear Anodized Aluminum	62	3%

Hahnfeld Hoffer Stanford

architects planners interiors

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DATE: 25 Feb. 2016

MICHAEL HOFFER
TEXAS REGISTRATION:

A New Chapel/Parish Hall and School
Roman Catholic Diocese of Fort Worth
St Martin de Porres Catholic Church
Prosper, Texas

PROJECT # 15999-00	MANAGER: M.H.
ISSUED FOR: Prelim Des Sub	DRAFTER: W.W.
DATE: 25 Feb. 2016	CHECKED: W.W.

Exterior Elevations - Unit a

S16-0004

SHEET

Exhibit C
St Martin de Porres
Addition

OF SHEETS

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Being a 51.729 acre tract of land situated in the J Bates Survey, Abstract No. 1620 & C. Smith Survey, Abstract No. 1681 Town of Prosper, Denton county, Texas

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Prosper, Texas

PROJECT # 15069-00 MANAGER M.H.
ISSUED FOR: Prelim Des. Set DRAFTER W.W.
DATE: 25 Feb. 2016 CHECKED: W.W.

Exterior Elevations - Unit a

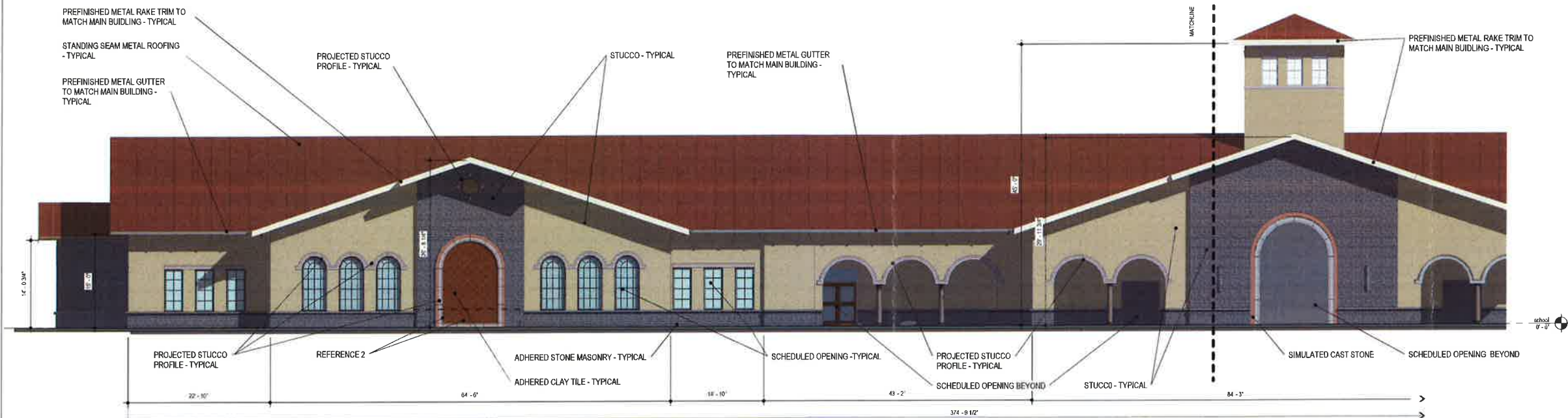
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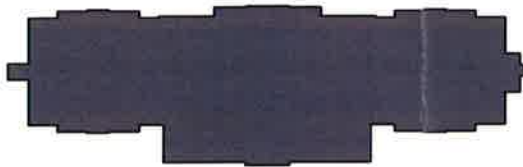
Exhibit C
**St Martin de Porres
Addition**

OF SHEETS

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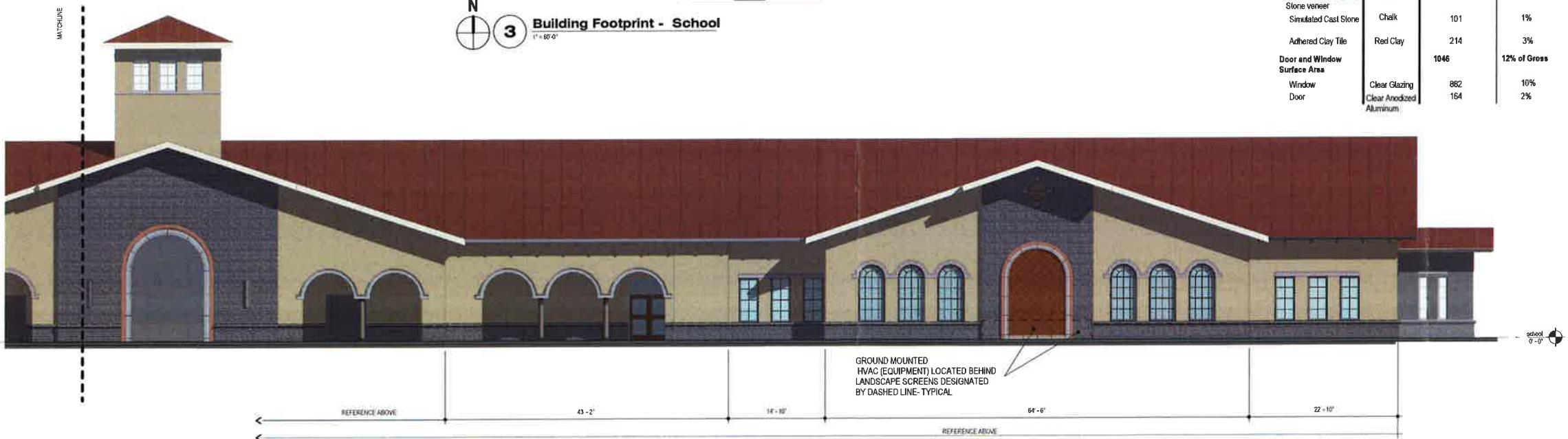
1 PARTIAL NORTH ELEVATION - SCHOOL
1/8" = 1'-0"



3 Building Footprint - School
1" = 60'-0"

Material Calculations - North

	Color	Area (Square Feet)	Percentage
Gross Area		9164	
Net Surface Area		8118	88% of Gross
Stucco		5585	60% of Net Surface
Hand Troweled Stucco	Bone	5272	65%
Stucco Profile	Bone	313	4%
Masonry		2533	31% of Net Surface
Manufactured Adhered Stone Veneer	Sand	2218	27%
Simulated Cast Stone	Chalk	101	1%
Adhered Clay Tile	Red Clay	214	3%
Door and Window Surface Area		1046	12% of Gross
Window	Clear Glazing	882	10%
Door	Clear Anodized Aluminum	164	2%



2 PARTIAL NORTH ELEVATION - SCHOOL - CONTINUED
1/8" = 1'-0"

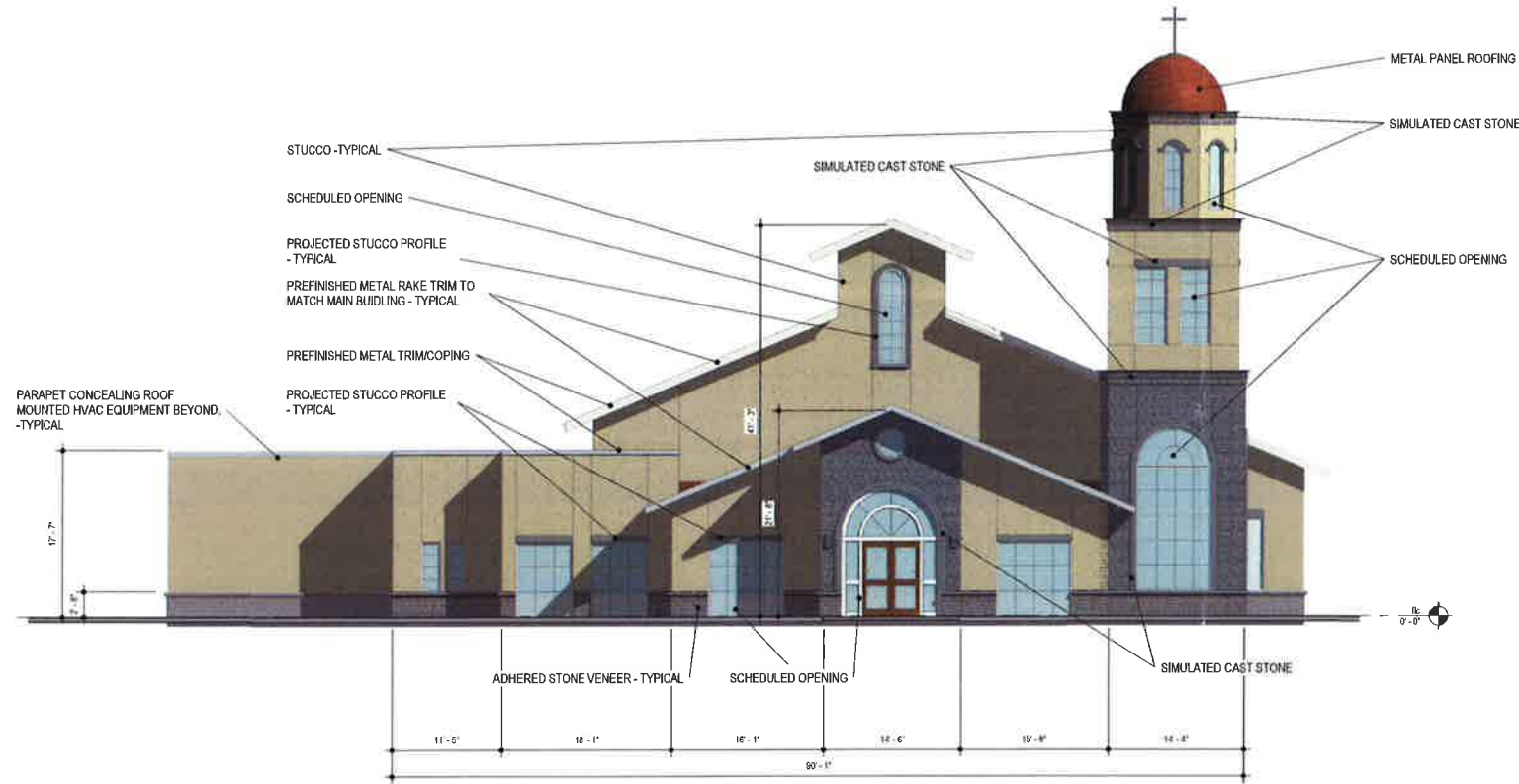
NOTE: REFER TO "1" FOR TYPICAL NOTES AND DIMENSIONS

Notes:

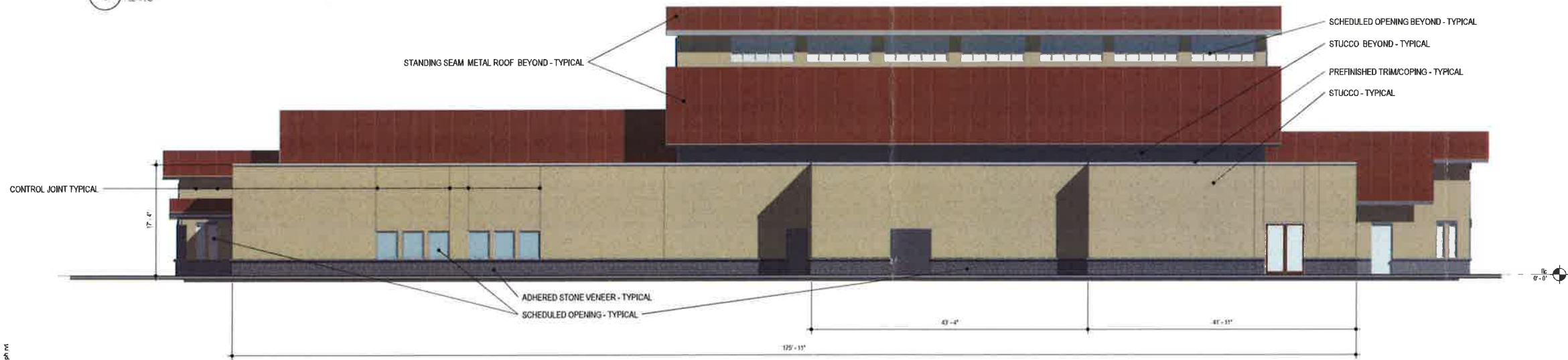
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5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Being a 51.729 acre tract of land situated in the
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C. Smith Survey, Abstract No. 1681**
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TDEP Firm 000041 E-Mail mjb@bhbm.com Web Site www.bhbm.com TDEP License 100133000



1 WEST ELEVATION - PARISH HALL
1/8" = 1'-0"



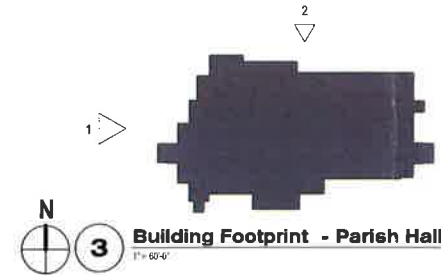
2 NORTH ELEVATION - PARISH HALL
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Material Calculations - West

	Color	Area (Square Feet)	Percentage
Gross Area		2685	
Net Surface Area		2068	77% Of Gross Area
Stucco		1548	75% of Net Surface
Hand Troughed Stucco	Bone	1509	73%
Stucco Profile	Bone	40	2%
Masonry		520	25% of Net Surface
Manufactured Adhered Stone veneer	Sand	480	23%
Simulated Cast Stone	Chalk	40	2%
Glazing Surface Area		816	22% of Gross Area
Window	Clear Glazing	575	20%
Door	Clear Anodized Aluminum	41	2%



Material Calculations - North

	Color	Area (Square Feet)	Percentage
Gross Area		3070	
Net Surface Area		2588	85% of Gross Area
Stucco		2166	84% of Net Surface
Hand Troughed Stucco	Bone	2166	84%
Masonry		423	16% of Net Surface
Manufactured Adhered Stone veneer	Sand	423	16%
Glazing Surface Area		481	15% of Gross Area
Window	Clear Glazing	377	12%
Door	Clear Anodized Aluminum	104	3%

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FAX 817.338.9245

PRELIMINARY ONLY:
NOT FOR BIDDING, PERMIT,
OR CONSTRUCTION.
DATE: 25 Feb, 2016

MICHAEL HOFFER
TEXAS REGISTRATION:

A New Chapel/Parish Hall and School
Roman Catholic Diocese of Fort Worth
St Martin de Porres Catholic Church
Prosper, Texas

PROJECT # 1599-00	MANAGER BAH
ISSUED FOR Prelim Des Sub	DRAWER WAW
DATE 25 Feb 2016	CHECKED WAW

Exterior Elevations - Unit b

S16-0004

SHEET

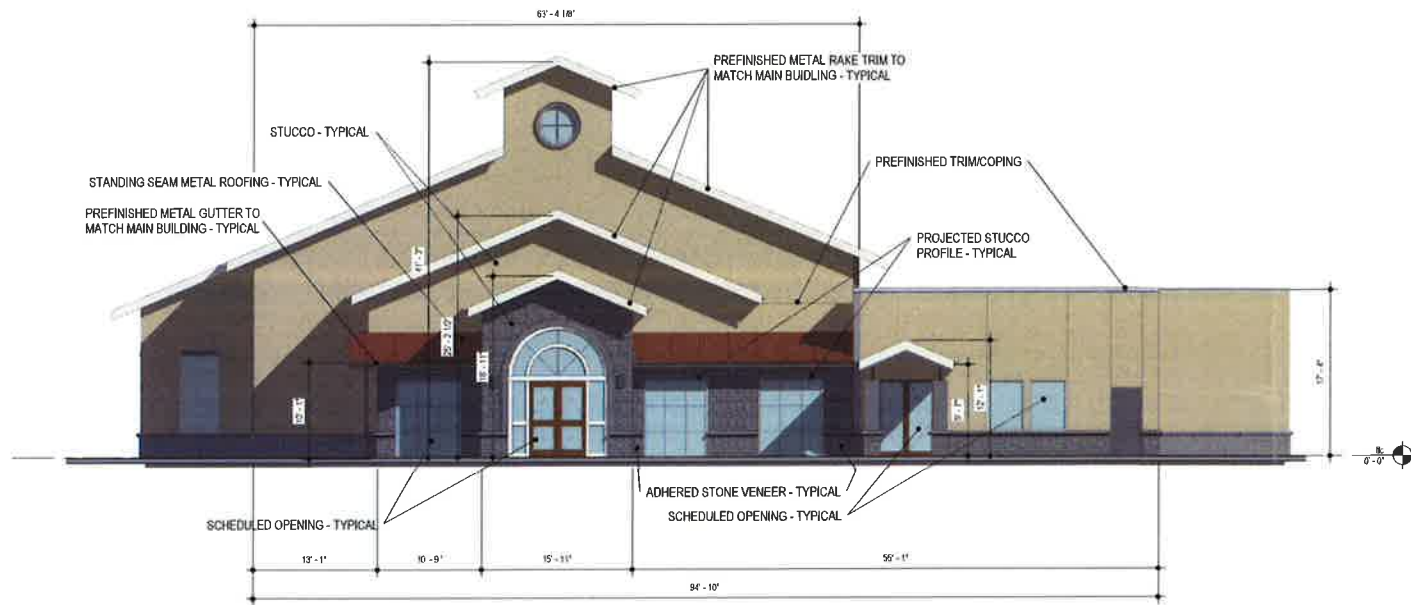
Exhibit C
St Martin de Porres Addition

OF SHEETS

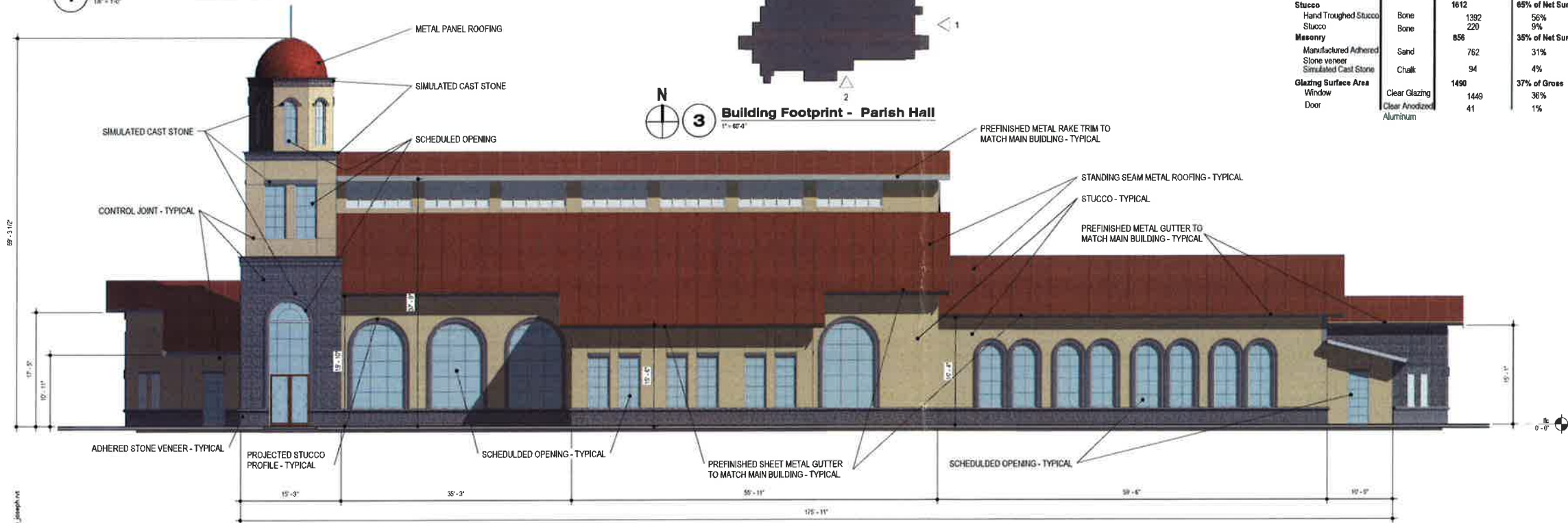
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Being a 51.729 acre tract of land situated in the J Bates Survey, Abstract No. 1620 & C. Smith Survey, Abstract No. 1681 Town of Prosper, Denton county, Texas

BHB BAIRD, HAMPTON & BROWN, INC.
ENGINEERING & SURVEYING
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TDFE Plan 000044 E-Mail: baigh@bhbinc.com Web Site: www.bhbinc.com TDFE PLAN 10011006



1 EAST ELEVATION - PARISH HALL
1/8" = 1'-0"



2 SOUTH ELEVATION - PARISH HALL
1/8" = 1'-0"

3 Building Footprint - Parish Hall
1" = 60'-0"

Material Calculations - East

	Color	Area (Square Feet)	Percentage
Gross Area		2288	
Net Surface Area		1888	83% of Gross
Stucco		1448	76% of Net Surface
Hand Troughed Stucco	Bone	1434	75%
Stucco Profile	Bone	14	1%
Masonry		440	24% of Net Surface
Manufactured Adhered Stone veneer	Sand	420	22%
Simulated Cast Stone	Chalk	20	2%
Glazing Surface Area		400	17% of Gross
Window	Clear Glazing	319	14%
Door	Clear Anodized Aluminum	81	3%

Material Calculations - South

	Color	Area (Square Feet)	Percentage
Gross Area		3958	
Net Surface Area		2468	63% of Gross
Stucco		1612	65% of Net Surface
Hand Troughed Stucco	Bone	1392	56%
Stucco	Bone	220	9%
Masonry		856	35% of Net Surface
Manufactured Adhered Stone veneer	Sand	762	31%
Simulated Cast Stone	Chalk	94	4%
Glazing Surface Area		1490	37% of Gross
Window	Clear Glazing	1449	36%
Door	Clear Anodized Aluminum	41	1%

Notes:

1. These Conceptual Elevations are for conceptual purposes only. All building plans require review and approval from the Building Inspection Division.
2. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
4. All signage areas and locations are subject to approval by the Building Inspection Department.
5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

Being a 51.729 acre tract of land situated in the
**J Bates Survey, Abstract No. 1620 &
C. Smith Survey, Abstract No. 1681**
Town of Prosper, Denton county, Texas

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PRELIMINARY ONLY:
NOT FOR BIDDING, PERMIT,
OR CONSTRUCTION.
DATE: 25 Feb. 2016

MICHAEL HOFFER
TEXAS REGISTRATION:

A New Chapel/Parish Hall and School
Roman Catholic Diocese of Fort Worth
St Martin de Porres Catholic Church
Prosper, Texas

PROJECT # 15095-00 MANAGER MJR
ISSUED FOR: Prelim Des Sub DRAFTER W.W.
DATE: 25 Feb. 2016 CHECKED: W.W.

Exterior Elevations - Unit b

S16-0004

SHEET

Exhibit C
St Martin de Porres
Addition

OF SHEETS

Scale: 1/8" = 1'-0"

Blom, David Elai
2242 Good Hope Rd
Prosper, TX 75078

Tvg Texas I Llc
C/o Terra Verde Group Llc
2242 Good Hope Rd
Prosper, TX 75078

Tvg Texas I Llc
C/o Terra Verde
Group Llc
2242 Good Hope Rd
Prosper, TX 75078

Prosper, Town Of
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Prosper, TX
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Hoffer
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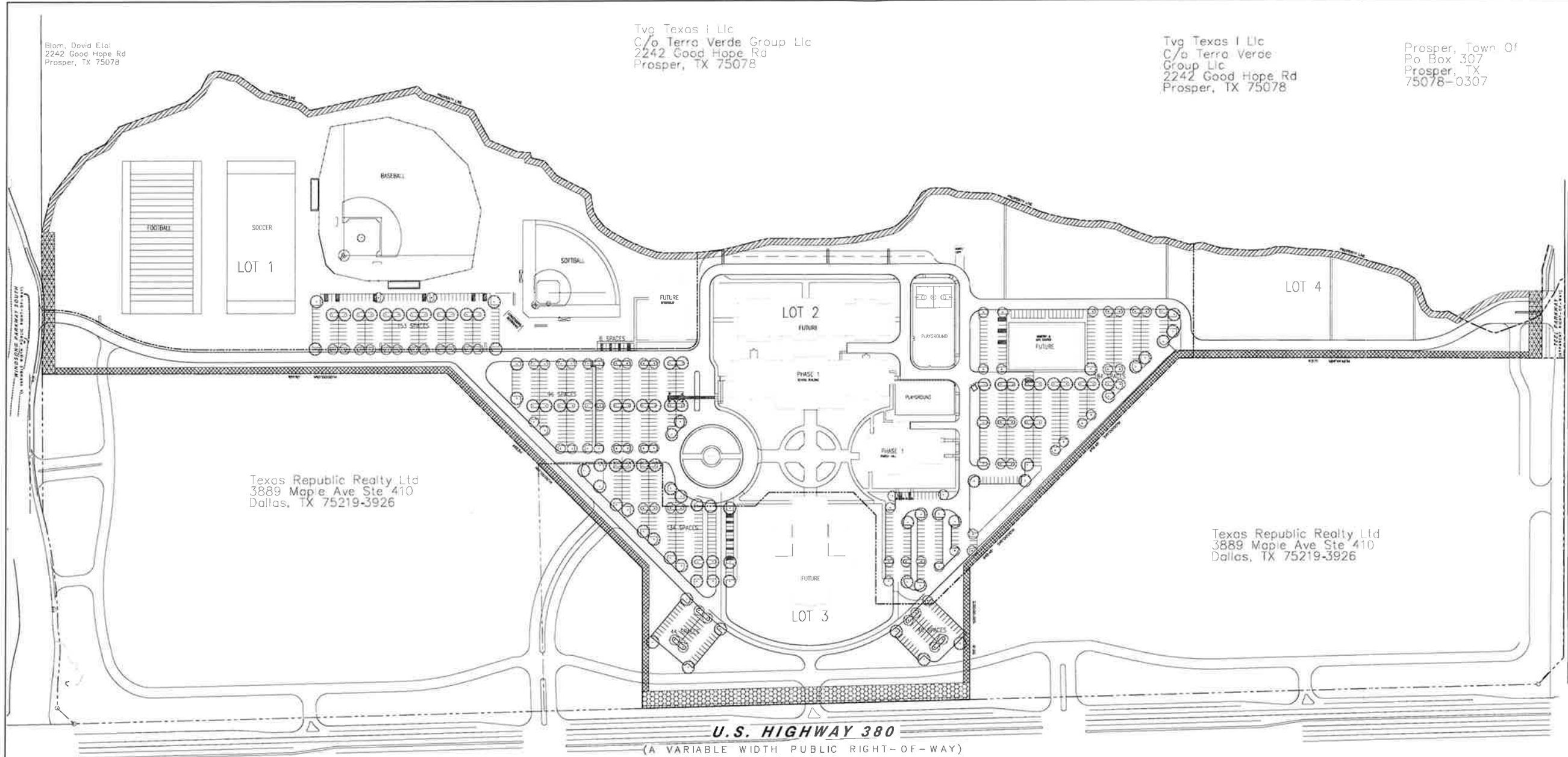
**A New School and Parish Hall/Chapel
St. Martin de Porres Catholic Church
Roman Catholic Diocese of Fort Worth
Prosper, Texas**

PROJECT # 1599.00 MANAGER RB
DESIGNED FOR Progress Set DRAFTER SB
DATE 10/05/15 CHECKED TK

SHEET EXHIBIT D - OVERALL
LANDSCAPE PLAN

L1.0

OF 1 SHEETS



Texas Republic Realty Ltd
3889 Maple Ave Ste 410
Dallas, TX 75219-3926

Texas Republic Realty Ltd
3889 Maple Ave Ste 410
Dallas, TX 75219-3926

U.S. HIGHWAY 380

(A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

KEY

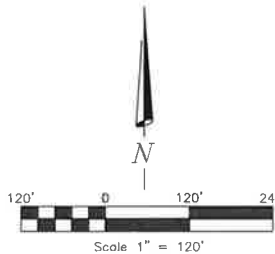
25 FEET WIDE LANDSCAPE AREA AT FRONTAGE OF
TEEL PARKWAY AND WINDSONG PARKWAY. AREA WILL
BE LANDSCAPED AS PER ORDINANCE REQUIREMENTS.

30 FEET WIDE LANDSCAPE AREA AT FRONTAGE OF U.S.
HIGHWAY 380. THIS AREA IS ENTIRELY WITHIN A 75 FEET
WIDE CITY OF IRVING WATER LINE EASEMENT. AREA WILL
BE LANDSCAPED AS PER ORDINANCE REQUIREMENTS.
TREES PLANTED WILL BE SMALL TREE SPECIES INCLUDED
IN A LIST PREPARED BY THE CITY OF IRVING.

5 FEET WIDE LANDSCAPE AREA ADJACENT TO FUTURE
RETAIL USE. AREA WILL BE LANDSCAPED AS PER
ORDINANCE REQUIREMENTS.

5 FEET WIDE LANDSCAPE AREA AT NORTH PROPERTY LINE.
AREA WILL BE LANDSCAPED WITH SMALL TREES AS PER
ORDINANCE REQUIREMENTS. THE SHRUB REQUIREMENT FOR
THIS AREA HAS BEEN WAIVED BY THE TOWN OF PROSPER.

PARKING LOT TREES AS PER ORDINANCE REQUIREMENTS.
TREES SHOWN ON THIS EXHIBIT ARE SCHEMATIC.
ADDITIONAL TREES WILL BE ADDED IF REQUIRED.



REVISIONS

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S16-0004